



COMMUNITY DEVELOPMENT SERVICES PLANNING AND BUILDING DEPARTMENT

2850 Fairlane Court, Placerville, CA 95667
Phone: (530) 621-5355 www.edcgov.us/Planning/

APPLICATION FOR: **CONDITIONAL/MINOR USE PERMIT** FILE # CUP22-0001

ASSESSOR'S PARCEL NO.(s) 082-381-004

PROJECT NAME/REQUEST: (Describe proposed use) QUICK QUACK CARWASH - STORE 26-620, NEW CAR WASH FACILITY, INCLUDING CONCRETE WALKS, DRIVE AISLES, CURBS, LANDSCAPING, VACUUM STATIONS, UTILITIES AND ALL ASSOCIATED FIXTURES, FURNISHINGS AND EQUIPMENT.

APPLICANT/AGENT Doug Livingston, Quik Quack Car Wash

Mailing Address 1380 Lead Hill Blvd., Suite 260 Roseville CA 95661
P.O. Box or Street City State & Zip

Phone (909) 860-1010 EMAIL: dlivingston@dontdrivedirty.com

PROPERTY OWNER Doug Livingston - Quick Quack Car Wash

Mailing Address 1380 Lead Hill Blvd., Suite 260 Roseville CA 95661
P.O. Box or Street City State & Zip

Phone (888) 772-2792 EMAIL: dlivingston@dontdrivedirty.com

LIST ADDITIONAL PROPERTY OWNERS ON SEPARATE SHEET IF APPLICABLE

ENGINEER/ARCHITECT LA Design Group, Inc.

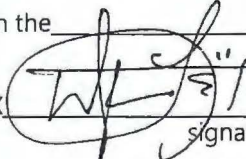
Mailing Address 21671 Gateway Center Drive, Suite 213 Diamond Bar CA 91765
P.O. Box or Street City State & Zip

Phone (909) 860-1010 EMAIL: SShantiyai@ladesigngroup.net

LOCATION: The property is located on the North side of MERRYCHASE DRIVE
N / E / W / S street or road

West of the intersection with CAMEO DRIVE
N / E / W / S major street or road

in the _____ area. PROPERTY SIZE One (1) ACRE
acreage / square footage

X  Date January 03, 2022
signature of property owner or authorized agent

FOR OFFICE USE ONLY

Date 1/10/2022 Fee \$ 2883.00 Receipt # R26603 E11397 Rec'd by MAA2 Census _____

Zoning _____ GPD _____ Supervisor Dist _____ Sec _____ Twn _____ Rng _____

ACTION BY PLANNING COMMISSION
ZONING ADMINISTRATOR

ACTION BY BOARD OF SUPERVISORS

Hearing Date _____

Hearing Date _____

Approved _____ Denied _____
findings and/or conditions attached

Approved _____ Denied _____
findings and/or conditions attached

APPEAL:
Approved _____ Denied _____

Executive Secretary _____



COMMUNITY DEVELOPMENT SERVICES PLANNING AND BUILDING DEPARTMENT

2850 Fairlane Court, Placerville, CA 95667

Phone: (530) 621-5355 www.edcgov.us/Planning/

Conditional/Minor Use Permit

REQUIRED SUBMITTAL INFORMATION

The following items 1 through 9 must be provided with all applications. The remaining items shall be required where applicable. **If all the required and applicable information is not provided, the application will be deemed incomplete and will not be accepted.** For your convenience, please use the check (✓) column on the left to be sure you have all the required and applicable information. **All plans and maps MUST be folded to 8½" x 11"**.

FORMS AND MAPS REQUIRED

Check (✓)
Applicant County

- _____ 1) Application form, completed and signed.
- _____ 2) Letter of authorization from all property owners authorizing agent to act as applicant, when applicable.
- _____ 3) Proof of ownership (Grant Deed), if the property has changed title since the last tax roll.
- _____ 4) A copy of official Assessor's map, showing the property outlined in red.
- _____ 5) An 8 ½ x 11" vicinity map showing the location of the project in relation to the distance to major roads, intersections, and town sites.
- _____ 6) Environmental Questionnaire form, completed and signed.
- _____ 7) Provide name, mailing address and phone number of all property owners and their agents.
- _____ 8) A record search for archaeological resources shall be conducted through the North Central Information Center located at CSU-Sacramento, 6000 J Street, Adams Bldg, #103, Sacramento, CA 95819-6100, phone number (916) 278-6217. If the record search identifies a need for a field survey, a survey shall be required. (A list of Archaeological Consultants and survey requirements is available at the Planning Department.) Archaeological surveys shall meet the "Guidelines for Cultural Resource Studies" approved by the Board of Supervisors, available at the Planning Department.
- _____ 9) A traffic impact determination shall be provided utilizing El Dorado County's "Transportation Impact Study (TIS) – Initial Determination Form, located on the Planning Services website under "Applications and Forms".
- _____ 10) If public sewer or water service is proposed, obtain and provide a Facilities Improvement Letter if the project is located within the EID service area, or a similar letter if located in another sewer/water district.

CUP 22-0001

CUP22-0001

FORMS AND MAPS REQUIRED

Check (✓)
Applicant County

- 11) If off-site sewer or water facilities are proposed to serve the project, provide four (4) copies of a map showing location and size of proposed facilities. If ground water is to be used for domestic water, submit a report noting well production data for adjacent parcels, or submit a hydrological report prepared by a geologist noting the potential for water based on the nature of project site geology.
- X 12) In an accompanying report, provide the following data for area on each proposed parcel that is to be used for sewage disposal:
- X a) Percolation rate and location of test on 4.5 acres or smaller
 - X b) Depth of soil and location of test
 - X c) Depth of groundwater and location of test
 - d) Direction and percent of slope of the ground
 - e) Location, if present, of rivers, streams, springs, areas subject to inundation, rock outcropping, lava caps, cuts, fills, and easements
 - f) Identify the area to be used for sewage disposal
 - g) Such additional data and information as may be required by the Division Director of Environmental Management to assess the source of potable water, the disposal of sewage and other liquid wastes, the disposal of solid wastes, drainage, and erosion control
- X 13) Preceding parcel map, final map, or record of survey, if any exists.
- X 14) Preliminary grading, drainage plan, and report. The plan should be of sufficient detail to identify the scope of grading, including quantities, depths of cut and fills (for roads and driveways where cuts/fills exceed 6 feet, and mass pad graded lots), location of existing drainage, proposed modifications, and impacts to downstream facilities. (See Section 110.14.240 of County Grading Ordinance for submittal detail)
- N/A 15) If located within one of the five Ecological Preserve - EP overlay zones (Mitigation Area 0), rare plants may exist on-site. The State Department of Fish & Wildlife will require an on-site biological plant survey to determine the extent and location of rare plants on the project site. Such a survey can only occur from March 15 through August 15 when plants are readily visible. Therefore, if the State Department of Fish & Wildlife requires the plant survey, a substantial delay in the processing of your application could result. To avoid potential delays, you may choose to provide this survey with application submittal. (A list of possible Botanical Consultants is available at Planning Services.)
- N/A 16) Name and address of Homeowner's Association, CSA 9 Zone of Benefit, or other road maintenance entity if it exists in the project area.
- N/A 17) A site-specific wetland investigation shall be required on projects with identified wetlands as delineated on the applicable U.S.G.S. Quadrangle and/or by site visit, when proposed improvements will directly impact the wetland (reduce the size of the wetland area) or lie near the wetlands. (Available from Planning Services are the U.S. Corps of Engineers requirements for a wetlands delineation study. A list of qualified consultants is also available.)

- _____ 18) An acoustical analysis shall be provided whenever a noise-sensitive land use (residences, hospitals, churches, libraries) are proposed adjacent to a major transportation source, or adjacent or near existing stationary noise sources. Such study shall define the existing and projected noise levels and define how the project will comply with standards set forth in the General Plan.
- N/A_____ 19) Where potential for special status plant and/or animal habitats are identified on the parcel(s), an on-site biological study shall be required to determine if the site contains special status plant or animal species or natural communities and habitats.
- _____ 20) An air quality impact analysis shall be provided utilizing the El Dorado County Air Pollution Control District's "Guide to Air Quality Assessment."

OAK TREE/OAK WOODLAND REMOVAL

The following supplemental information shall be required if any Oak Woodlands, Individual Native Oak Trees, or Heritage Trees, as defined in Section 130.39.030 (Definitions) will be impacted by the project (i.e. cut down) consistent with Section 130.39.070 (Oak Tree and Oak Woodland Removal Permits – Discretionary Development Projects).

Check (√)
Applicant County

- N/A _____ 1) Oak Resources Code Compliance Certificate.
- N/A _____ 2) Oak Resources Technical Report prepared by a Qualified Professional consistent with Section 2.5 (Oak Resources Technical Reports) of the Oak Resources Management Plan.
- N/A _____ 3) Completed Oak Resources Technical Report Checklist, including supplemental data for impacted Individual Native Oak Trees within Oak Woodlands, as applicable.
- N/A _____ 4) Security deposit for on-site oak tree/oak woodland retention and/or replacement planting (if proposed as part of project mitigation) consistent with Section 130.39.070.F (Security Deposit for On-Site Oak Tree/Oak Woodland Retention and Section 130.30.070.G (Security Deposit for On-Site Oak Tree/Oak Woodland Replacement Planting).
- N/A _____ 5) Reason and objective for impact to oak trees and/or oak woodlands.

SITE PLAN REQUIREMENTS

Five (5) copies plus an electronic copy (CD-ROM or other medium) of the site plan detailing what exists on the site at time of application shall be submitted on 24" x 36" sheets or smaller, drawn to scale, and of sufficient size to clearly show all details and required data. **All plans MUST be folded to 8½" x 11", plus one 8½" x 11" reduction. NO ROLLED DRAWINGS WILL BE ACCEPTED.**

For your convenience, please check the Applicant column on the left to be sure you have all the required submittal information.

Check (√)
Applicant County

- X _____ 1) Project name (if applicable).
- X _____ 2) Name, address of applicant and designer (if applicable).

- X ___ 3) Date, north arrow, and scale.
- X ___ 4) Entire parcel of land showing perimeter with dimensions.
- X ___ 5) All roads, alleys, streets, and their names.
- X ___ 6) Location of easements, their purpose and width.
- X ___ 7) All existing and proposed uses (i.e. buildings, driveways, dwellings, utility transmission lines, etc.).
- X ___ 8) Parking and loading stalls with dimensions (refer to Zoning Ordinance Chapter 130.35 and the Community Design Standards-Parking and Loading Standards).
- X ___ 9) Trash and litter storage or collection areas, and propane tank location(s).
- X ___ 10) Total gross square footage of proposed buildings.
- X ___ 11) Proposed/existing fences or walls.
- X ___ 12) Sign locations and sizes (if proposed) (refer to Zoning Ordinance Chapter 130.16).
- X ___ 13) Pedestrian walkways, courtyards, etc. (if proposed).
- X ___ 14) Exterior lighting plan (if proposed), along with a Photometric Study and fixture specifications (refer to Zoning Ordinance Chapter 130.34 and the Community Design Standards-Outdoor Lighting Standards) .
- X ___ 15) Existing/proposed water, sewer, septic systems, and wells (if applicable).
- X ___ 16) Existing/proposed fire hydrants.
- X ___ 17) Tentative subdivision or parcel map (if applicable).
- X ___ 18) Public uses (schools, parks, etc.)
- X ___ 19) The location, if present, of rock outcropping, lava caps, drainage courses, lakes, canals, reservoirs, rivers, streams, spring areas subject to inundation and wetlands. (Show respective 100-foot and 50-foot septic system setbacks when a septic system is proposed).
- X ___ 20) Identify areas subject to a 100-year flood on perennial streams or creeks, and show high water level (100-year) on map. Where this data is not readily available, January 1997 flood level can be shown if known. (Refer to the Federal Emergency Management Agency (FEMA) website).
- X ___ 21) Note any proposed trails within the project; and where applicable, connection to existing or proposed trail systems.

PRELIMINARY LANDSCAPE PLAN REQUIREMENTS

Required when parking facilities are proposed or otherwise at planner's discretion. (Refer to Zoning Ordinance Chapter 130.33 and the Community Design Standards – Landscaping and Irrigation Standards).

(Five (5) copies plus an electronic copy (CD-ROM or other medium), **folded to 8½" x 11", plus one 11" x 17" reduction**).

Check (√)
Applicant County

- _____ 1) Location, quantity, and a gallon size of proposed plant material (See Zoning Ordinance Chapter 130.33 and the Community Design Standards – Landscaping and Irrigation Standards).
- _____ 2) Note quantity/type of trees to be removed.
- _____ 3) Location, general type (pine, oak, etc.) and size of all existing trees, in those areas that are subject to grading or otherwise may be removed/affected by proposed improvements. Note quantity of trees to be removed.
- _____ 4) List of both common and botanical names of plant material (use of drought tolerant species is highly recommended). A recommended list of drought-tolerant species is available at Planning Services.
- _____ 5) Location of irrigation proposed. (NOTE: The final Landscape Plan will ultimately be required to meet the County's Water Conserving Landscape Standards. Copies are available at Planning Services).

PRELIMINARY GRADING AND DRAINAGE PLAN

Required whenever any grading is proposed.

(Five (5) copies plus an electronic copy (CD-ROM or other medium), **folded to 8½" x 11", plus one 8.5" x 11" reduction**).

Check (√)
Applicant County

- _____ 1) Contours or slope data (pursuant to Chapter 110.14 of County Code Grading, Erosion, and Sediment Control Ordinance).
- _____ 2) Drainage improvements, culverts, drains, etc.
- _____ 3) Limits of cut and fill. _____

PLAN OF BUILDING ELEVATIONS

Required whenever a new structure or addition is proposed.

(Five (5) copies plus an electronic copy (CD-ROM or other medium), **folded to 8½" x 11", plus one 8.5" x 11" reduction**).

Check (√)
Applicant County

- _____ 1) Building design, elevations of all sides.
- _____ 2) Exterior materials, finishes, and colors.
- _____ 3) Existing/proposed signs showing location, height and dimensions. Include sign plan for project with multiple businesses.

Planning Services reserves the right to require additional project information as provided by Section 15060 of the California Environment Quality Act, or as required by the General Plan development policies, when such is necessary to complete the environmental assessment.

NOTE: APPLICATION WILL BE ACCEPTED BY APPOINTMENT ONLY. MAKE YOUR APPOINTMENT IN ADVANCE BY CALLING (530) 621-5355.



COMMUNITY DEVELOPMENT SERVICES PLANNING AND BUILDING DEPARTMENT

2850 Fairlane Court, Placerville, CA 95667
Phone: (530) 621-5355 www.edcgov.us/Planning/

EL DORADO COUNTY PLANNING SERVICES ENVIRONMENTAL QUESTIONNAIRE

PLANNING AND BUILDING DEPARTMENT
2850 FAIRLANE COURT
PLACERVILLE, CA 95667
(530) 621-5355

File Number _____

Date Filed _____

Project Title Quick Quack Carwash Store 26-620 Lead Agency _____

Name of Owner Quick Quack Carwash Telephone (888) 772-2792

Address 1380 Lead Hill Blvd., Suite 260, Roseville, CA 95661

Name of Applicant Doug Livingston Telephone (888) 772-2792

Address 1380 Lead Hill Blvd., Suite 260 SUITE 213, Roseville, CA 95661

Project Location CAMEO DRIVE & MERRYCHASE DRIVE, CAMERON PARK, CA

Assessor's Parcel Number(s) 082-381-004 Acreage 1 Acre Zoning CC

Please answer all of the following questions as completely as possible. Subdivisions and other major projects will require a Technical Supplement to be filed together with this form.

- Type of project and description:
NEW CAR WASH FACILITY INCLUDING NEW CONCRETE WALKS, DRIVE AISLES, CURBS, LANDSCAPING, VACUUM STATIONS, UTILITIES AND ALL ASSOCIATED FIXTURES, FURNINSHINGS, AND EQUIPMENTS.
- What is the number of units/parcels proposed? 1

GEOLOGY AND SOILS

- Identify the percentage of land in the following slope categories:
 0 to 10% 11 to 15% 16 to 20% 21 to 29% over 30%
- Have you observed any building or soil settlement, landslides, rock falls or avalanches on this property or in the nearby surrounding area? NO
- Could the project affect any existing agriculture uses or result in the loss of agricultural land? NO

DRAINAGE AND HYDROLOGY

6. Is the project located within the flood plain of any stream or river? NO
If so, which one? _____
7. What is the distance to the nearest body of water, river, stream or year-round drainage channel?
N/A Name of the water body? _____
8. Will the project result in the direct or indirect discharge of silt or any other particles in noticeable amount into any lakes, rivers or streams? NO
9. Will the project result in the physical alteration of a natural body of water or drainage way?
If so, in what way? NO
10. Does the project area contain any wet meadows, marshes or other perennially wet areas?
NO

VEGETATION AND WILDLIFE

11. What is the predominant vegetative cover on the site (trees, brush, grass, etc.)? Estimate percentage of each:

Site is vacant land populated by native vegetation. There are six mature trees on this site.
12. How many trees of 6-inch diameter will be removed when this project is implemented?
Six (6)

FIRE PROTECTION

13. In what structural fire protection district (if any) is the project located? CA Department of Forestry
14. What is the nearest emergency source of water for fire protection purposes (hydrant, pond, etc.)? Fire Hydrants across the street on both Merrychase Dr. & Cemeo Dr.
15. What is the distance to the nearest fire station? Two Miles
16. Will the project create any dead-end roads greater than 500 feet in length? NO
17. Will the project involve the burning of any material including brush, trees and construction materials? NO

NOISE QUALITY

18. Is the project near an industrial area, freeway, major highway or airport? El Dorado FWY 50
If so, how far? 1/8 Mile
19. What types of noise would be created by the establishment of this land use, both during and after construction? Construction equipment during construction and Minimal noise by vacuums during operation.

AIR QUALITY

20. Would any noticeable amounts of air pollution, such as smoke, dust or odors, be produced by this project? NO

WATER QUALITY

21. Is the proposed water source public or private, treated or untreated?

22. What is the water use (residential, agricultural, industrial or commercial)? COMMERCIAL

AESTHETICS

23. Will the project obstruct scenic views from existing residential areas, public lands, and/or public bodies of water or roads? NO

ARCHAEOLOGY/HISTORY

24. Do you know of any archaeological or historical areas within the boundaries or adjacent to the project? (e.g., Indian burial grounds, gold mines, etc.) NONE

SEWAGE

25. What is the proposed method of sewage disposal? septic system sanitation district
Name of district: EL DORADO IRRIGATION DISTRICT

26. Would the project require a change in sewage disposal methods from those currently used in the vicinity? NO

TRANSPORTATION

27. Will the project create any traffic problems or change any existing roads, highways or existing traffic patterns? NO

28. Will the project reduce or restrict access to public lands, parks or any public facilities?
NO

GROWTH-INDUCING IMPACTS

29. Will the project result in the introduction of activities not currently found within the community?
NO

30. Would the project serve to encourage development of presently undeveloped areas, or increases in development intensity of already developed areas (include the introduction of new or expanded public utilities, new industry, commercial facilities or recreation activities)? NO

31. Will the project require the extension of existing public utility lines? NO
If so, identify and give distances: _____

GENERAL

32. Does the project involve lands currently protected under the Williamson Act or an Open Space Agreement? NO

33. Will the project involve the application, use or disposal of potentially hazardous materials, including pesticides, herbicides, other toxic substances or radioactive material?
NO

34. Will the proposed project result in the removal of a natural resource for commercial purposes (including rock, sand, gravel, trees, minerals or top soil)? Removal of existing trees

35. Could the project create new, or aggravate existing health problems (including, but not limited to, flies, mosquitoes, rodents and other disease vectors)? NO

36. Will the project displace any community residents? NO

DISCUSS ANY YES ANSWERS TO THE PREVIOUS QUESTIONS (attached additional sheets if necessary)

MITIGATION MEASURES (attached additional sheets if necessary)

Proposed mitigation measures for any of the above questions where there will be an adverse impact:

Form Completed by: Doug Livingston Date: January 3, 2022



LADG | LA DESIGN GROUP, INC.
Architecture, Planning, Interiors, Management

2022 JAN 24 PM 4: 1
RECEIVED
PLANNING DEPARTMENT

LETTER OF TRANSMITTAL

Date: January 12, 2022

To: **County of El Dorado**
Attn: Matthew Aselage, AICP Candidate
Planning Service Division
2850 Fairlane Court
Placerville, CA 95667

Regarding: Quick Quack Carwash Store #26-620, **LADG Project #:** 210813
Cameo & Merrychase Drive
Cameron Park, California

Transmitted are the following: [via]

Mail Overnight Mail Hand Other UPS

For your:

Use As Requested Action Approval Review & Comment

Enclosed are the following:

- 5 – Copies of 24"x 36" set of plans fold to 8.5"x11"
- 1 – Copy of 8.5"x 11" plan
- 1 – Signed CUP Application
- 1 – Environmental Report Phase I
- 1 – Geotechnical Report
- 1 – Title Report
- 1 – 8.5"x 11" Tract Map
- 1 – 8.5"x 11" Vicinity Map
- 1 – 11"x 17" Material Board fold to 8.5"x11"
- 1 – 11"x 17" Sign Package fold to 8.5"x11"
- 1 – DVD disc contains Digital plan

Attached please find documents required for the CUP submittal for the above mentioned project.
Please let us know if any additional information is needed.

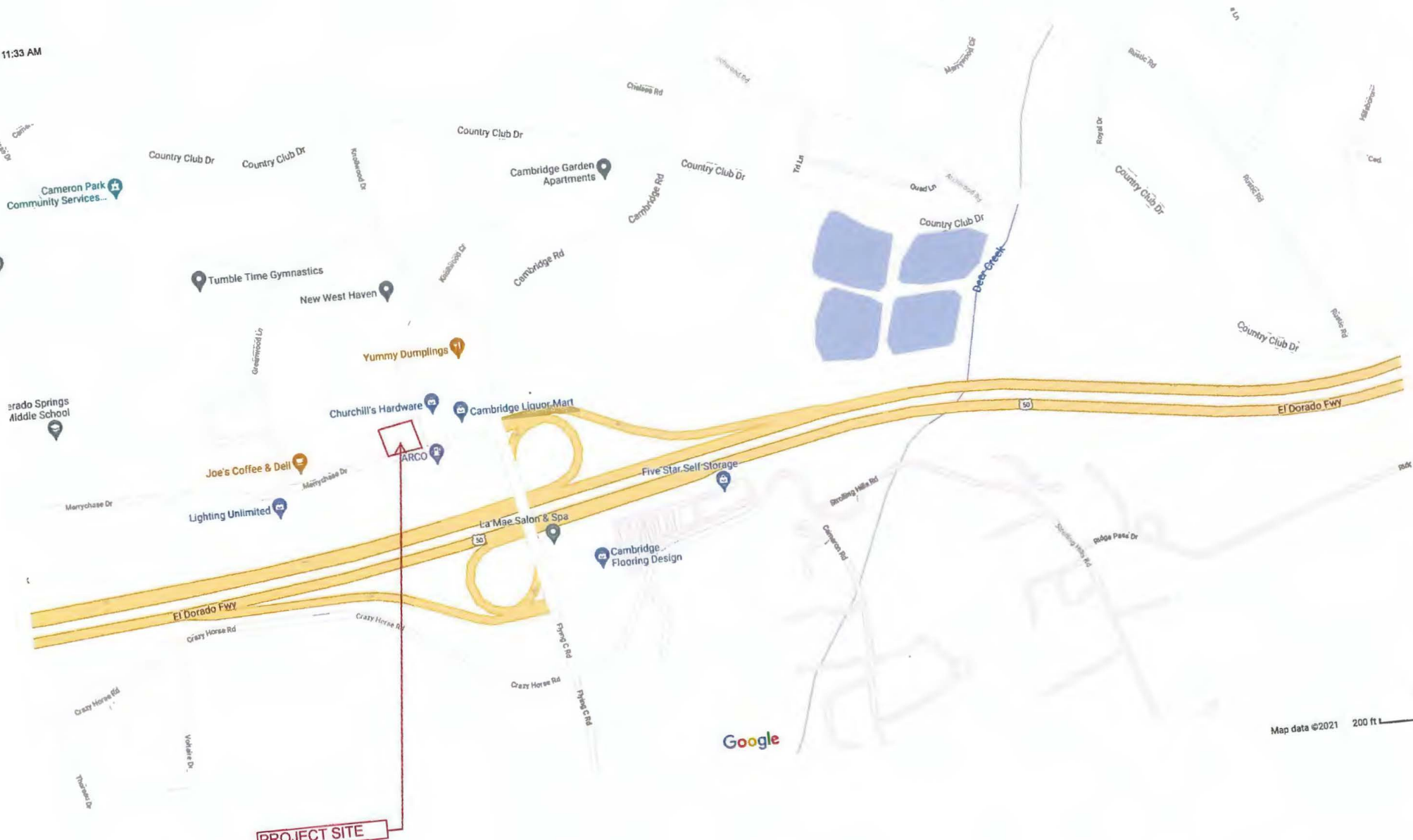
Best Regards,
Saeid Shantiyai , C: 626.429-7671 Sshantiyai@ladesigngroup.net

CUP22-0001

2022 JAN 24 PM 4:10
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PLANNING DEPARTMENT

11:33 AM

Google Maps



PROJECT SITE

Map data ©2021 200 ft

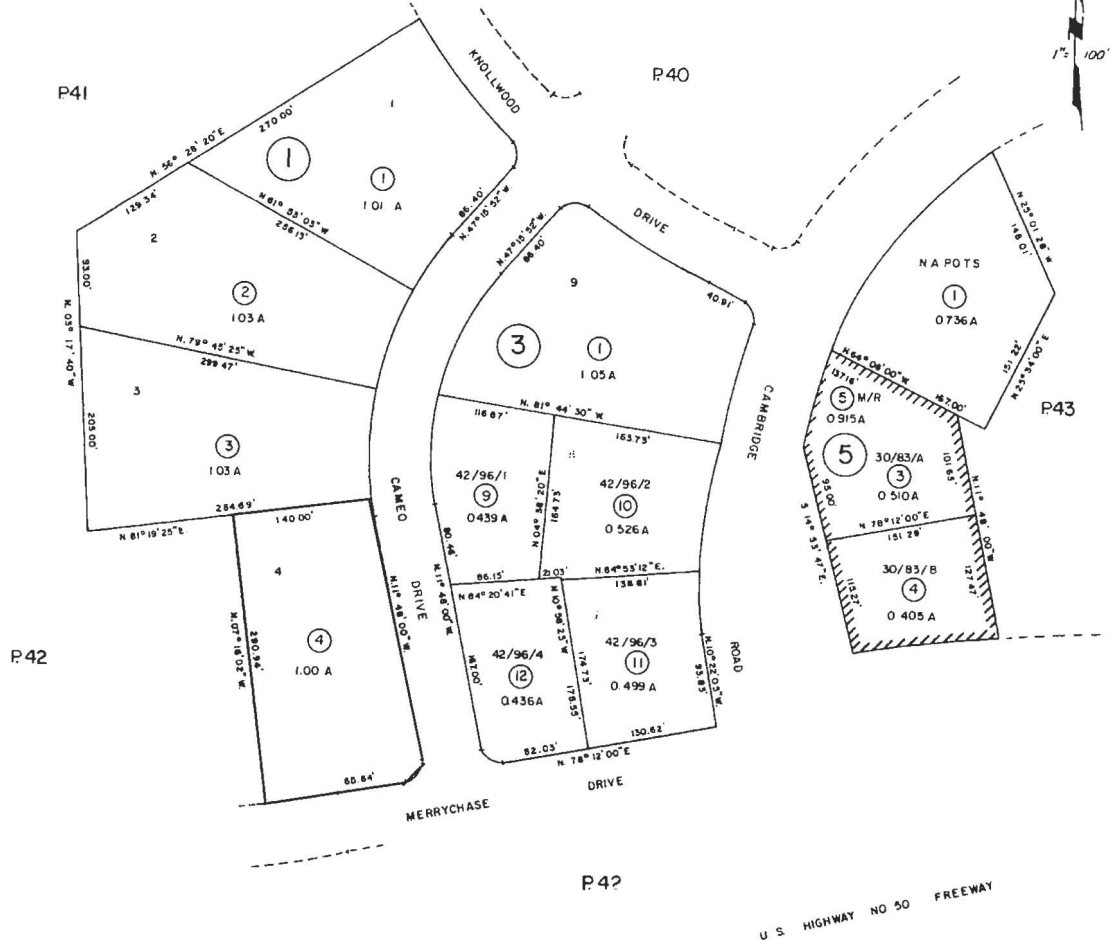
https://www.google.com/maps/@38.6576324,-120.9954621,17z

CUP22-0001

POR. SEC. 4, T.9N., R.9E., M.DM
CAMERON PARK NORTH UNIT NO. 4
D-36

Tax Area Code

82:38



2022
PLAT FILED

THIS MAP IS NOT A SURVEY, It is prepared by the El Dorado Co. Assessor's office for assessment purposes only

NOTE - Assessor's Block Numbers Shown in Ellipses
Assessor's Parcel Numbers Shown in Circles

Assessor's Map Bk. 82 .. Pg. 38
County of El Dorado, California
1-7-02

CUP22-0001

22-0950 A 14 of 36

This map/plat is being furnished as an aid in locating the herein described Land in relation to adjoining streets, natural boundaries and other land, and is not a survey of the land depicted. Except to the extent a policy of title insurance is expressly modified by endorsement, if any, the Company does not insure dimensions, distances, location of easements, acreage or other matters shown thereon.



STORE 26-620
 CAMEO & MERRYCHASE DRIVE
 CAMERON PARK, CA

2022 JAN 24 PM 4:1
 RECEIVED
 PLANNING DEPARTMENT

PROJECT SUMMARY

OWNER/DEVELOPER	QUICK QUACK CAR WASH 1380 LEAD HILL BOULEVARD, SUITE 200 ROSEVILLE, CA 95611
PROPERTY ADDRESS	CAMEO & MERRYCHASE DRIVE CAMERON PARK, CA
APN	082-381-004
ZONING	COMMERCIAL COMMUNITY ZONING DISTRICT "CC"
GROSS LAND AREA	1,000 AC 43,578 SF
EXISTING LAND USE	VACANT LOT
PROPOSED LAND USE	COMMERCIAL - CAR WASH FACILITY
ADJACENT NORTH	VACANT LAND
ADJACENT SOUTH	COMMERCIAL - GAS STATION & STORE
ADJACENT EAST	COMMERCIAL - RETAIL STORE
ADJACENT WEST	VACANT LAND
PROPOSED CARWASH AREA	
GROSS BUILDING AREA	3,598 SF
MAXIMUM BUILDING HEIGHT	29'-0"
CONSTRUCTION TYPE	VB
OCCUPANCY	B
SPRINKLERS	NO
PARKING REQUIRED	2 STALLS
PARKING PROVIDED	5 STALLS
VACUUM STALLS	17 STALLS
BICYCLE SPACES REQUIRED	1
BICYCLE SPACES PROVIDED	2
SITE COVERAGE SUMMARY	
BUILDING COVERAGE (FAR)	8.25%
LANDSCAPE AREA	15,349 SF
LANDSCAPE COVERAGE	35.22%
PROPOSED PAY STATION CANOPY AREA	
AREA	490 SF
STORIES	1 STORY
HEIGHT	9'-0"
CONSTRUCTION TYPE	VB
OCCUPANCY	B
SPRINKLERS	NO
PROPOSED NORTH CANOPY AREA	
AREA	1,300 SF
STORIES	1 STORY
HEIGHT	9'-0"
CONSTRUCTION TYPE	VB
OCCUPANCY	B
SPRINKLERS	NO
PROPOSED SOUTH CANOPY AREA	
AREA	1,412 SF
STORIES	1 STORY
HEIGHT	9'-0"
CONSTRUCTION TYPE	VB
OCCUPANCY	B
SPRINKLERS	NO



LA Design Group, Inc.
 21071 GATEWAY CENTER DRIVE, STE 213
 DIAMOND BAR, CA 91765
 (714) 909-8600



NOTE: This information is considered to be true and is subject to adjustments pending further investigation and Client, Council, and Governmental Agency (contractual) approvals. No warranties or guarantees of any kind are given or implied by the architect.

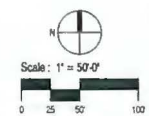
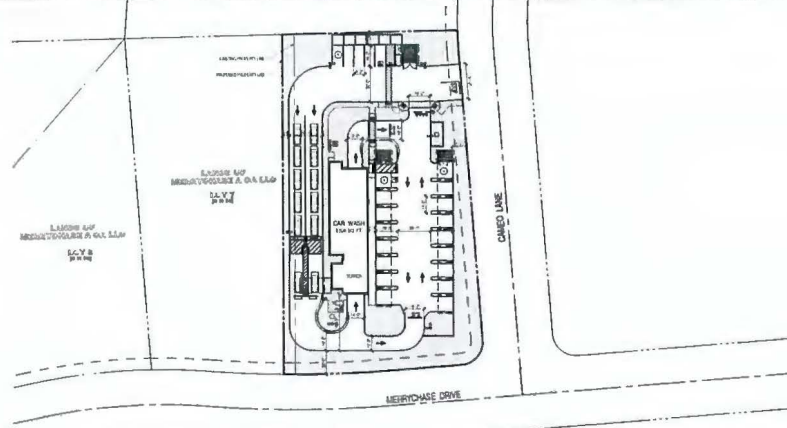
A Project No.:



(STORE 26-620)
 CAMEO & MERRYCHASE DRIVE
 CAMERON PARK, CA

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE UNINCORPORATED AREA OF, IN THE COUNTY OF EL DORADO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS
 LOT 4, AS SHOWN ON THAT CERTAIN MAP ENTITLED "CAMERON PARK NORTH, UNIT NO. "A" FILED IN THE OFFICE OF THE COUNTY RECORDER OF EL DORADO COUNTY ON MAY 5, 1965 IN MAP BOOK D AT PAGE 36
 APN 082-381-004



SITE PLAN SCALE 1" = 50'-0"

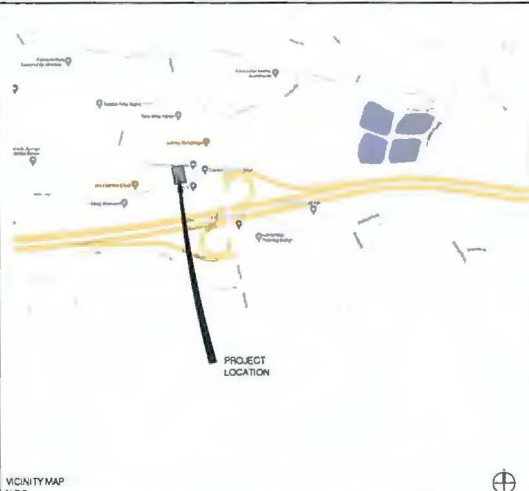
SCOPE OF WORK

NEW CAR WASH FACILITY, INCLUDING BUT NOT LIMITED TO NEW CONCRETE WALKS, DRIVE AISLES, CURBS, LANDSCAPING, VACUUM STATIONS, UTILITIES AND ALL ASSOCIATED FIXTURES, FURNISHINGS AND EQUIPMENT

CODES AND REGULATIONS

THESE PLANS SHALL COMPLY WITH THE 2019 CALIFORNIA BUILDING CODE AND ALL APPLICABLE COUNTY AND NATIONAL CITY CODES AND ORDINANCES
 2019 CALIFORNIA ADMINISTRATIVE CODE (PART 1)
 2019 CALIFORNIA BUILDING CODE (CBC), VOLUMES 1 AND 2 (TITLE 24, PART 2)
 2019 CALIFORNIA ELECTRICAL CODE (CEC), (TITLE 24, PART 3)
 2019 CALIFORNIA MECHANICAL CODE (CMC), (TITLE 24, PART 4)
 2019 CALIFORNIA PLUMBING CODE (CPC), (TITLE 24, PART 5)
 2019 CALIFORNIA ENERGY CODE, (TITLE 24, PART 6)
 2019 CALIFORNIA FIRE CODE, (TITLE 24, PART 8)
 2019 CALIFORNIA GREEN BUILDING CODE (TITLE 24, PART 11)

VICINITY MAP



VICINITY MAP NTS

DIRECTORY

OWNER: QUICK QUACK CAR WASH
 1380 LEAD HILLS BLVD, SUITE 200
 ROSEVILLE, CA 95661
 CONTACT: VANCE SHANNON
 vshannon@doorstodiversity.com

APPLICANT: LADG | LA DESIGN GROUP, INC.
 21071 GATEWAY CENTER DRIVE, SUITE 213
 DIAMOND BAR, CA 91765
 Phone: (909) 860-1010
 CONTACT: SAIED SHANTAYIA
 SShantayia@ladesigngroup.net

ARCHITECT: LADG | LA DESIGN GROUP, INC.
 21071 GATEWAY CENTER DRIVE, SUITE 213
 DIAMOND BAR, CA 91765
 Phone: (909) 860-1010
 CONTACT: SAIED SHANTAYIA
 SShantayia@ladesigngroup.net

CIVIL ENGINEER: AMS ASSOCIATES, INC.
 801 YGNACIO VALLEY ROAD, SUITE 220
 WALNUT CREEK, CA 94596
 Phone: (925) 943-3777
 CONTACT: ALI SHAKHSHI
 ali@amsassociates.us

LANDSCAPE: OLIVE STREET
 P.O. BOX 2083
 PETALUMA, CA 94952
 Phone: (707) 280-8990
 CONTACT: ROO SCACCALOSI
 Rod@olivestreetlandscape.com

SHEET INDEX

SHEET LIST	DESCRIPTION
C 0.01	COVER SHEET
C 0.1	ALTA SURVEY SHEET 1
C 0.2	ALTA SURVEY SHEET 2
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C 2.1	HORIZONTAL CONTROL PLAN
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AS 1.01	SITE PLAN
L 1	LANDSCAPE PLAN (RENDERED)
L 1	LANDSCAPE PLAN
LP	PROPOSED LIGHTING AND PHOTOMETRICS
A 2.01	FLOOR PLAN
A 2.02	ROOF PLAN
A 3.01	NORTH AND WEST ELEVATIONS
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A 3.03	SOUTH AND WEST COLORED ELEVATIONS
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MB	FRESH AND MATERIAL BOARD
SP	SIGN PACKAGE

Client:

QUICK QUACK CAR WASH
 1380 LEAD HILL BLVD, STE 200
 ROSEVILLE, CA 95661

Revisions:

CLIENT COORDINATION 11/29/2021
 No Description Date
 Project No: 210813
 Drawn By: TC
 Reviewed By: AS NOTED
 Name: AS NOTED
 Date:
 Filename:
 Sheet Title:

COVER SHEET

Sheet #

G 0.01

CUP22-0001

TABLE A REQUIREMENTS NOTES

- 1) No address was observed while conducting the fieldwork (VACANT LOT)
- 2) The subject parcel DOES NOT lie within a Special Flood Hazard. Refer to Note # 04 for Flood zone classification.
- 3) The Gross land area is 1.00 ± ACRES (43,578 ± Square Feet)
- 4) Vertical relief of the surveyed parcel shown is based upon a ground survey. The contour interval shown hereon is 1 foot. Refer to Note # 3 for benchmark information and vertical datum.
- 5) A zoning report HAS NOT been provided to the surveyor. See Zoning Map on this sheet for details. (Refer to Note # 02)
- 6) Subsurface features observed in the process of conducting the fieldwork are noted hereon.
- 7) The location of utilities existing on or serving the surveyed property is a plotted hereon. The location of these underground utility lines has been confirmed from available plans and no warranty is implied as to the exact location of these lines. Said subsurface utilities may include but are not limited to: concrete footings, under, showing, structural piles, utility vaults, piping, underground tanks, and any other subsurface structures not revealed by a surface inspection.
- 8) Names of adjoining owners according to current tax records are noted hereon.
- 9) The distance to the nearest intersecting street is shown hereon.
- 10) There was NO evidence of natural earth moving work, building construction, or building additions observed in the process of conducting the fieldwork.
- 11) Any (officially filed) i.e., apartment, assessments or liens disclosed in documents presented or obtained by the surveyor as a part of the survey pursuant to Sections 5 and 8 (and applicable selected Table A items) are shown hereon. (NONE FOUND)

LEGEND

PROPERTY LINE	---
ADJACENT PROPERTY LINE	---
CENTERLINE	---
MOUNUMENT LINE	---
EASEMENT	---
BUILDING LINE WINDOW	---
BUILDING OVERLAP	---
FOUND MONUMENT AS NOTED	■
FOUND IRON PIPE OR AS NOTED	○
LIGHT	○
STREET LIGHT	○
TRANSFORMER	□
FIRE HYDRANT	○
STORM DRAIN MANHOLE	○
SANITARY SEWER MANHOLE	○
CLEAN OUT	○
GAS METER	○
VALVE	○
CATCH BASIN / DROP INLET	○
WATER METER	○
FIRE DEPARTMENT CONNECTION	○
BACKFLOW PREVENTER	○
PORT INDICATOR VALVE	○
UTILITY BOX (SIZE VARIES)	□
SIGN	○
TITLE REPORT EXCEPTION NUMBER	○
RECORD INFORMATION W/ REFERENCE	○
TREE W/ SIZE AND ELEVATION	○
SPOT ELEVATION	○
CONTOUR	---
RIDGE / GUTTER	---
CURB	---
CURB & GUTTER	---
CONCRETE	---
FENCE	---
EDGE OF PAVEMENT	---
SANITARY SEWER	---
STORM DRAIN	---
WATER	---
GAS	---

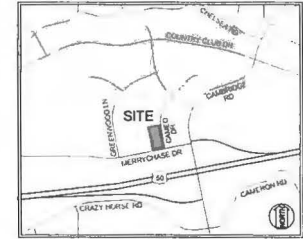
ABBREVIATIONS

EB	ELECTRIC BOX
EP	EDGE OF PAVEMENT
FC	FACE OF CURB
EV	ELECTRIC VALVE
LS	LANDSCAPE
PD	PEDESTAL
SDMH	STORM DRAIN MANHOLE
SSMH	SANITARY SEWER MANHOLE
TE	TRASH ENCLOSURE
TB	TELEPHONE BOX
TC	TOP OF CURB

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE UNINCORPORATED AREA OF IN THE COUNTY OF EL DORADO STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

Lot 4 as shown on that certain map entitled "Cameron Park North, Unit No. 4", Rec'd in the Office of the County Recorder of El Dorado County on May 5, 1943 in Map Book D of page 38



VICINITY MAP
NOT TO SCALE

EXCEPTIONS TABLE

- 1) Property taxes, which are a lien not yet due and payable, including any assessments collected with taxes to be levied for the fiscal year 2021-2022. (NOT A SURVEY MATTER)
- 2) Prior to date of encow, please contact the Tax Collector's Office to confirm all amounts owed, including current fiscal year taxes, supplemental taxes, unpaid assessments and any delinquencies. (NOT A SURVEY MATTER)
- 3) The lien of supplemental or a stopped assessments of property taxes, if any, made pursuant to the provisions of Chapter 3.5 commencing with Section 735 or Part 2, Chapter 3, Article 3 and 4, respectively of the Revenue and Taxation Code of the State of California as a result of the transfer of title to the vendor named in Schedule A as a result of changes in ownership or new construction occurring prior to Date of Policy. (NOT A SURVEY MATTER)
- 4) Taxes and assessments levied by the El Dorado Irrigation District. (NOT A SURVEY MATTER)
- 5) Easements for the purposes shown below and rights in kind thereon as delineated or as otherwise indicated, on the map of said project:
 Purpose: Public Utilities
 Address: The South 100 feet of the Eastern 100 feet
 Recording No: Book D of Maps, Page 38
 The site and rear public utilities easements were vacated pursuant to Resolution 129-2008 received May 14, 2008 by Ordinance No. 2008-022321 of Official Records (EASEMENT PLOTTED HEREON)
- 6) Covenants, conditions and restrictions that apply to any easements or restrictions, if any, including but not limited to those based upon race, color, religion, sex, gender, gender identity, gender expression, sexual orientation, marital status, national origin, ancestry, familial status, source of income, disability, veteran or military status, genetic information, medical condition, citizenship, primary language, and immigration status, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is approved by applicable law, as set forth in the document:
 Recording Date: June 02, 1943
 Recording No: Book 743, Page 74 of Official Records
 Said covenants, conditions and restrictions provide that a violation thereof shall not be the basis of any mortgage or deed of trust made in good faith, and for value.
 Recording Date: September 22, 1983
 Recording No: Book 737, Page 756 of Official Records
 Modifications of said covenants, conditions and restrictions:
 Recording Date: 8/20/1948
 Recording No: Book 779 Page 61 of Official Records (NOT PLOTTABLE)
- 7) Water rights, claims or title to water, whether or not disclosed by the public records. (NOT A SURVEY MATTER)
- 8) Any rights of the parties in possession of a portion of, or all of, said land, which rights are not disclosed by the public records.
 The Company will require, for review, a full and complete copy of any unrecorded agreement, contract, lease, rental lease, together with all appurtenances, assignments and amendments thereto, before issuing any policy of title insurance without excepting the same from coverage.
 The Company reserves the right to accept additional items and/or make additional requirements after reviewing said documents. (NOT A SURVEY MATTER)
- 9) Please be advised that our search did not disclose any open Deeds of Trust of record if you should have knowledge of any outstanding obligation, please contact the Title Department immediately for further review prior to closing. (NOT A SURVEY MATTER)
- 10) The Company will require the following documents for review prior to the issuance of any title insurance indicated upon a conveyance or encumbrance from the entity named below:
 Limited Liability Company: Merrychase LLC, a California limited liability company
 a) A copy of its operating agreement, if any, and all amendments, supplements and/or modifications thereto, certified by the appropriate manager or member.
 b) If a domestic Limited Liability Company, a copy of its Articles of Organization and all amendments thereto with the appropriate filing stamp.
 c) If the Limited Liability Company is a member-managed, a full and complete current list of members certified by the appropriate manager or member.
 d) A current dated certificate of good standing from the proper governmental authority of the state in which the entity is properly domiciled.
 e) If less than all members or managers, an appropriate, will be assisting the closing documents, a written consent of the authority of those agents.
 f) Limited Liability Company is a Single Member Entity, a Statement of Information for the Single Member will be required.
 g) Each member and manager of the LLC without an Operating Agreement must execute in the presence of a duly public the Certificate of California LLC without an Operating Agreement Statute and Authority form. (NOT A SURVEY MATTER)
- 11) The information contemplated in connection with this Report is subject to the review and approval of the Company's Computer Programming Department. The Company reserves the right to add additional terms or make further report updates after such review. (NOT A SURVEY MATTER)

NOTES

- 1) All distances shown hereon are in U.S. Survey feet and decimals thereof.
- 2) This survey was prepared from information furnished in a Preliminary Title Report, prepared by Fidelity National Title Company, dated August 29, 2021. Title No. 2105041-C10-PLA-0. No liability is assumed for matters of record not stated in said Preliminary Title Report that may affect the boundary lines, easements, or easements affecting the property.
- 3) The (types, locations, sizes and/or depths of existing underground utilities as shown on this topographic survey were obtained from records of varying reliability. The contractor is cautioned that only actual excavations will reveal the types, exact sizes, locations and depths of such underground utilities. (A reasonable effort has been made to locate and determine all unknown underground utilities.) However, the contractor can assume no responsibility for the completeness or accuracy of its delineation of such underground utilities which may be encountered but which are not shown on these drawings.
- 4) A.P.N. 063-381-006
- 5) Zoning Note:
 This survey makes no evaluation as to compliance with zoning and building codes and/or ordinances other than current municipal building setback line locations.
 The subject property is currently zoned "CC" Commercial Community Zoning District.
 Information was obtained from the El Dorado County Planning Department Website on September 21, 2021.
- 6) Basis of Bearings and Benchmarks:
 The bearings shown hereon are based upon the California Coordinate System of 1983 Zone 2. Epoch Date of 2010.00 in accordance with the California Public Resources Code Sections 8401.4819, and bearings are based locally upon GPS field-observed points to the following California State Reference Network, or benchmark stations:
 CORS ID: RD
 P140: DM7533 2,046,694.478 8,513,533.590 3,879.487
 SACK: DM7575 2,061,011.123 8,516,006.086 124.442
- 7) Flood Zone Note:
 The subject property is shown on the Federal Emergency Management Agency Flood Insurance Rate Map, Community Flood Number 06040 0722 E, dated September 26, 2004, as being located in Flood Zone X-1.
 Areas of determined to be outside the 0.2% annual chance flood.
 Information was obtained from the FEMA website from a map page on September 07, 2021.

PARKING SUMMARY

DESCRIPTION	STALLS
STANDARD PARKING	0
COMPACT PARKING	0
ACCESSIBLE PARKING	0
TOTAL	0

REFERENCES

- 1) CAMERON PARK NORTH UNIT NO. 4 (D.M. 84)
- 2) CAMERON PARK NORTH UNIT NO. 5 (D.M. 85)
- 3) PARCEL MAP (17 PM 150)

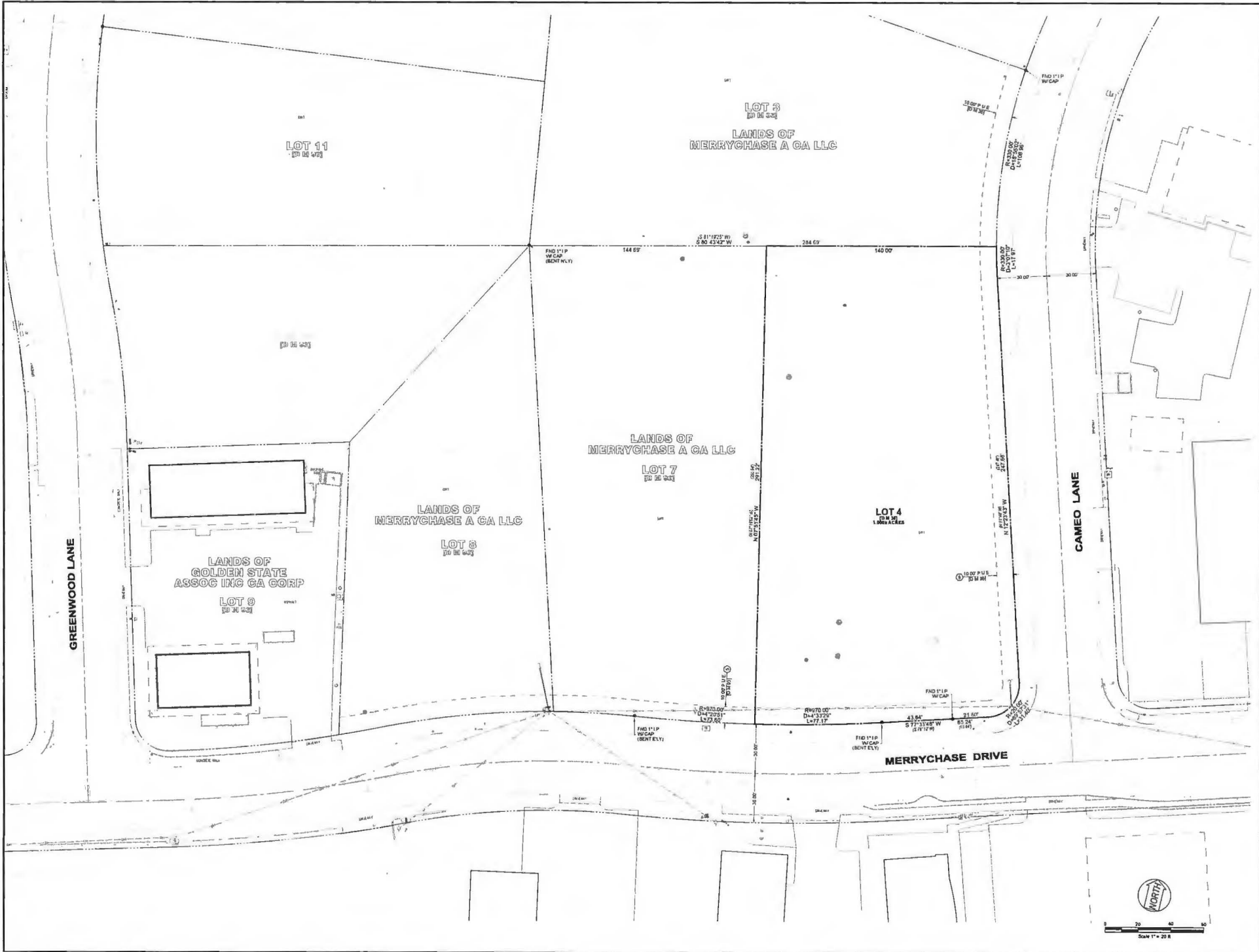
SURVEYOR'S CERTIFICATE

TO: David Quack Development, LLC, a California limited liability company
 AND: Fidelity National Title Insurance Company, a Title Company
 This is to certify that this map or plan and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and include Items 2, 3, 4, 5, 6(a), 6, 11(a), 13, 14, 16 and 18 of Table A thereof. The work was completed on September 13, 2021.

21 SEPT 2021
 DATE



ECE: W/SON
 DATE: _____
 DRAWN BY: _____
 CHECKED BY: _____
 TITLE: _____
 FIDELITY NATIONAL TITLE INSURANCE COMPANY
 1400 W. 14th Street, Suite 100, Campton Park, CA 95740
 (916) 939-4433
 FAX: (916) 939-4433
 www.fnti.com
 CAMERON PARK NORTH UNIT NO. 4
 MERRYCHASE DRIVE
 EL DORADO COUNTY
 CALIFORNIA
 95740
 21-2567
 SHEET 1 OF 2



SHEET 2 OF 2	PROJECT 21-2567	ALTA / NPS LAND TITLE SURVEY FOR QUICK QUACK CAR WASH		CAMERON PARK MERRYCHASE DRIVE EL DORADO COUNTY CALIFORNIA	ams 35 WEST 13TH, INC. PLANNING ENGINEERS SURVEING	3510 S. GARDEN VALLEY ROAD SUITE 200 HANFORD, CA 93230 559-945-2777 FAX 559-945-2778	DATE	SCALE	PROJECT NO.	SHEET NO.	DATE	DATE
		DATE	SCALE				PROJECT NO.	SHEET NO.	DATE	DATE		

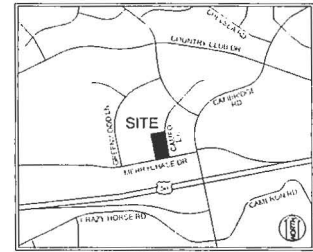
GENERAL ABBREVIATIONS / LEGEND

BFP	BACKFLOW PREVENTER	□	MONITORING WELL
CB	CATCH BASIN	○	POWER POLE
CL	CENTRAL LINE	○	IRON PIPE
DCV	DETECTOR CHECK VALVE	△	RAILROAD SPIKE
DE	DIRT ELEVATION	W	STANDARD CITY MONUMENT
DW	DRIVEWAY	○	UTILITY MONUMENT
E	ELECTRICAL LINE	○	STORM DRAIN MANHOLE
EB	ELECTRIC BOX	○	STREET SIGN
EP	EDGE OF PAVEMENT	○	STREET LIGHT
EX	EXISTING	○	WATER VALVE
FDC	FIRE DEPARTMENT CONNECTION	○	TREE WITH SIZE
FF	FINISHED FLOOR	○	TREE REMOVAL
FL	FLOWLINE	○	TRANSFORMER
FS	FINISHED SURFACE/FIRE SERVICES	○	BARBED WIRE FENCE
G	GAS PIPE	○	CHAIN-LINK FENCE
GB	GRADE BREAK	○	WOOD FENCE
GM	GAS METER	○	SAWCUT LINE
GP	GUARD POST	○	WALL
GR	GRATE	○	EXISTING STORM DRAIN CATCH BASIN
HCR	HANDICAP RAMP	○	EXISTING WATER METER / GAS METER
INV	INVERT	○	EXISTING SANITARY SEWER CLEANOUT
JP	JOINT POLE	○	EXISTING FIRE HYDRANT
JT	JOINT TRENCH	○	EXISTING SANITARY SEWER MANHOLE
LF	LINEAR FEET	○	STORM DRAIN MANHOLE
MW	MONITORING WELL	○	EXISTING WATER VALVE
OE	OVERHEAD ELECTRIC	○	EXISTING GAS VALVE
OHT	OVERHEAD TELEPHONE	○	EXISTING CONTOUR
PAE	PUBLIC ACCESS EASEMENT	○	SLOPE
PB	PULL BOX	○	PROPOSED CURB
PCC	PORTLAND CEMENT CONCRETE	○	PROPOSED BIOWALK CURB
PG&E	PACIFIC GAS & ELECTRIC	○	PROPOSED CURB AND GUTTER
PIV	POST INDICATOR VALVE	○	PROPOSED FIRE LANE
PUE	PUBLIC UTILITY EASEMENT	○	HANDICAP RAMP
PVC	POLYVINYL CHLORIDE PIPE	○	PROPOSED GAS VALVE
R	RIDGE LINE	○	OVERLAND RELEASE
RCP	REINFORCED CONCRETE PIPE	○	CONTROLLER CABINET
RFP	REDUCED PRESSURE PRINCIPLE BACKFLOW	○	FIRE HYDRANT
SD	STORM DRAIN PIPE	○	UTILITY POLE
SDCB	STORM DRAIN CATCH BASIN	○	HANDICAP SPACE
SDCO	STORM DRAIN CLEANOUT	○	PROPOSED STORM DRAIN CATCH BASIN
SDMH	STORM DRAIN MANHOLE	○	PROPOSED WATER METER / GAS METER
SS	SANITARY SEWER PIPE	○	PROPOSED SANITARY SEWER CLEANOUT
SSCO	SANITARY SEWER CLEANOUT	○	PROPOSED STORM DRAIN CLEANOUT
SSMH	SANITARY SEWER MANHOLE	○	PROPOSED FIRE HYDRANT
SW	SIDEWALK	○	PROPOSED SANITARY SEWER MANHOLE / STORM DRAIN MANHOLE
T	TELEPHONE LINE	○	
TC	TOP OF CURB	○	
TH	TOP OF CONCRETE HEADER	○	
TRM	TOP OF RETAINING WALL	○	
TP	TELEPHONE POLE	○	
TS	TRAFFIC SIGNAL	○	
TSB	TRAFFIC SIGNAL BOX	○	
VG	VALLEY GUTTER	○	
W	WATER PIPE	○	
WM	WATER METER	○	

6FS	PROPOSED FIRE SERVICE	○	PROPOSED STORM DRAIN CATCH BASIN
W	PROPOSED WATER LINE	○	PROPOSED WATER METER / GAS METER
2G	PROPOSED GAS LINE	○	PROPOSED SANITARY SEWER CLEANOUT
S	PROPOSED SANITARY SEWER LINE	○	PROPOSED STORM DRAIN CLEANOUT
E	PROPOSED ELECTRICAL LINE	○	PROPOSED FIRE HYDRANT
TEL	PROPOSED TELEPHONE LINE	○	PROPOSED SANITARY SEWER MANHOLE / STORM DRAIN MANHOLE
JUT	PROPOSED JOINT UTILITY TRENCH	○	
X	RIDGE LINE	○	
---	PROPOSED FENCE	○	
---	PROPERTY LINE	○	
---	WATCH LINE	○	
---	LIMIT OF DEMOLITION	○	
GB	GRADE BREAK	○	
307	PROPOSED CONTOUR	○	

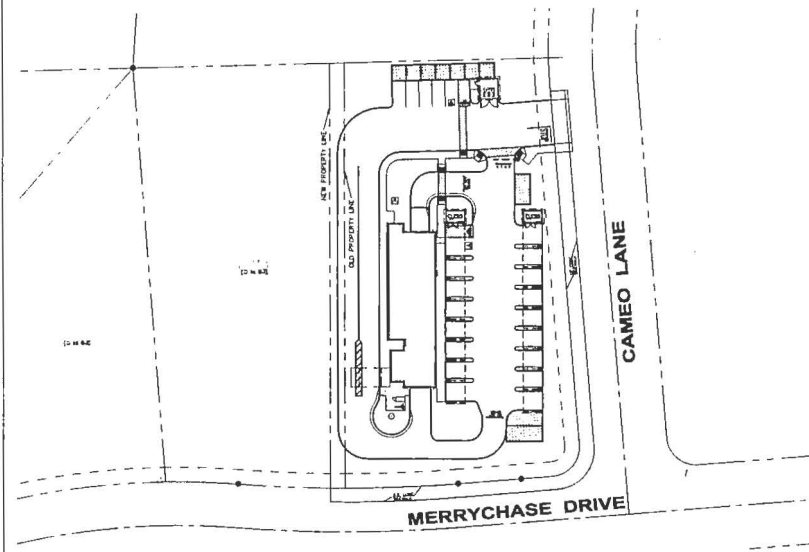
QUICK QUACK CAR WASH #26-620

MERRYCHASE AND CAMEO
CAMERON PARK
EL DORADO COUNTY
APN 082-381-004



VICINITY MAP
7/31/20 SCALE

SITE KEY MAP 1"=40'



SHEET INDEX

CIVIL	COVER SHEET
C-1.1	HORIZONTAL CONTROL PLAN
C-2.1	GRADING PLAN
C-3.1	UTILITY PLAN
C-4.1	STORM WATER CONTROL PLAN
C-5.1	

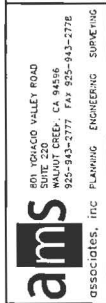
DATE	BY	DESCRIPTION
11-22-21	BY	
SCALE	BY	
DESIGNED	BY	
DRAWN	BY	
CHECKED	BY	
PROJ. MGR	BY	
FILE PATH	BY	

PROJECT CONTACTS

DEVELOPER QUICK QUACK CAR WASH 1350 LEAD HILL BLVD SUITE 200 ROSELILLE, CALIFORNIA 95664 PHONE: (916) 846-2100 EFRAN CURONA	FIRE DEPARTMENT CAMERON PARK FIRE AGENCY 3200 COUNTRY CLUB DRIVE CAMERON PARK, CA 95602 PHONE: (530) 877 6190
CIVIL ENGINEER ams associates, inc 801 TONACIO VALLEY ROAD, SUITE 220 WALNUT CREEK, CALIFORNIA 94596 PHONE: (925) 943-2777 FAX: (925) 943-2778 EMAIL: ALBANS@ASSOCIATES.US BOB BURDUE / AL SHAGHAGH	SEWER EL DORADO IRRIGATION DISTRICT 2850 MOSQUITO ROAD PLACERVILLE, CA 95267 PHONE: (530) 642-4028
ARCHITECT LA DESIGN GROUP, INC 21971 GATEWAY CENTER DRIVE, SUITE 213 POMONA, CALIFORNIA 91765 PHONE: (909) 860-1010 EMAIL: CHANDRA@LADSGROUP.NET SAJID SHAHJAHAN	WATER/DRAINAGE EL DORADO IRRIGATION DISTRICT 2850 MOSQUITO ROAD, PLACERVILLE, CA 95267 PHONE: (530) 642-4028
EL DORADO COUNTY 2850 FARLANE CT #C PLACERVILLE, CA 95667 PHONE: (530) 621-5377	

PROJECT DATA

BASIS OF BEARINGS AND BENCHMARK:			
THE BEARINGS SHOWN HEREON ARE BASES UPON THE CALIFORNIA COORDINATE SYSTEM OF 1983, ZONE 2, EPOCH DATE OF 2000.00 IN ACCORDANCE WITH THE CALIFORNIA PUBLIC RESOURCES CODE SECTIONS 8801-8819. SAID BEARINGS ARE BASED LOCALLY UPON GPS FIELD-OBSERVED TIES TO THE FOLLOWING CALIFORNIA SPATIAL REFERENCE NETWORK, OR EQUIVALENT STATIONS.			
CORS ID	PID	NORTHING	EASTING
FI40	DM7533	2,066,494.479	6,933,933.593
SACR	DM8725	2,001,011.123	6,746,066.488
ELEVATION 3,629.497 124.482			
FLOOD ZONE NOTE:			
THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 06040 0725 E, DATED SEPTEMBER 26, 2008, AS BEING LOCATED IN FLOOD ZONE "X".			
AREAS OF DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD INFORMATION WAS OBTAINED FROM THE FEMA WEBSITE (WWW.FEMA.GOV) ON SEPTEMBER 07, 2021			
UTILITY NOTE:			
THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL UNKNOWN UNDERGROUND UTILITIES.) THE CONTRACTOR SHALL ASCERTAIN THE TRUE LOCATION OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON.			

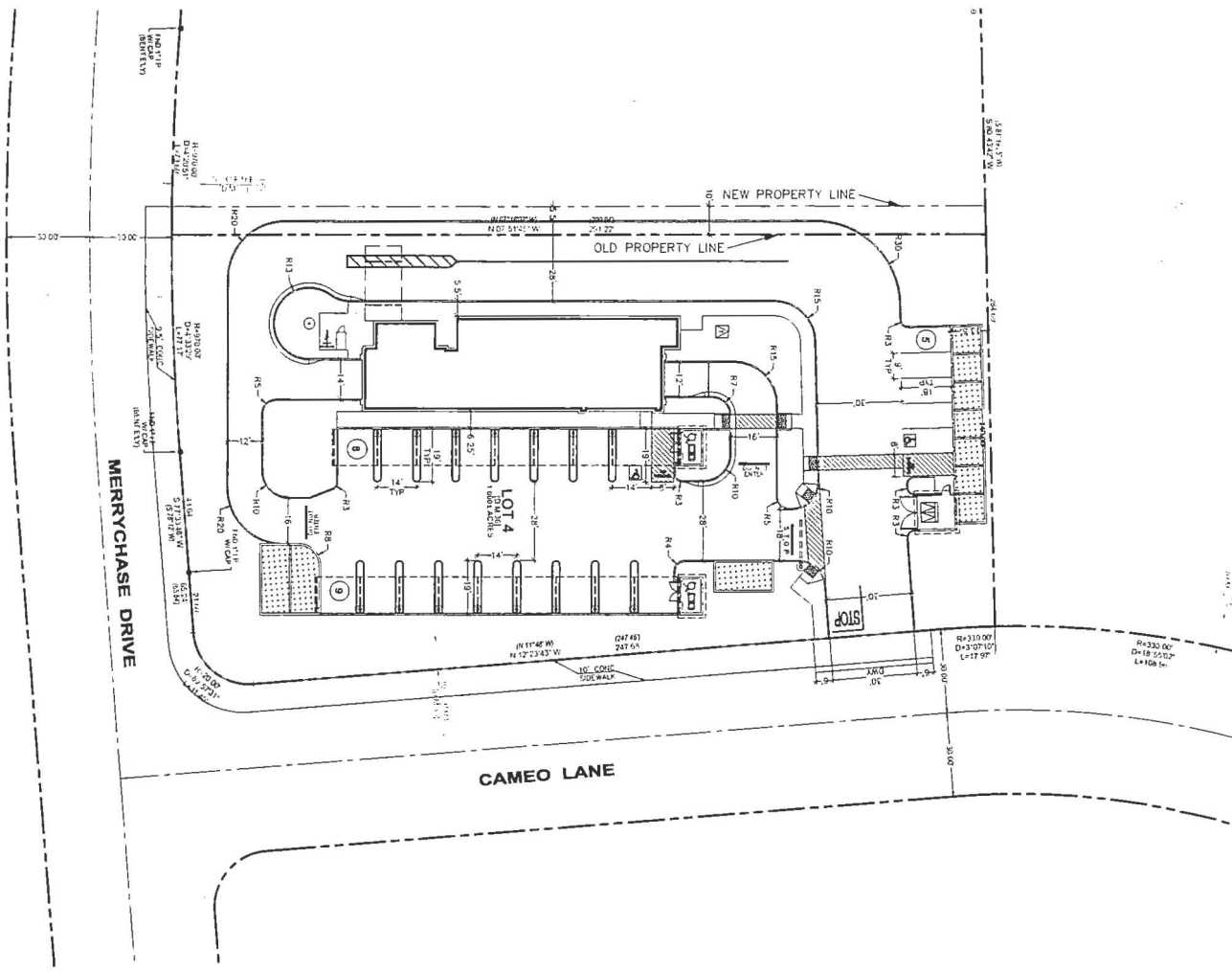


COVER SHEET
QUICK QUACK CAR WASH #26-620
MERRYCHASE & CAMEO
CAMERON PARK
EL DORADO COUNTY
CALIFORNIA

SHEET C-11
OF PROJECT 21-2567



THIS DOCUMENT AND THE IDEAS AND DESIGN INCORPORATED HEREIN AS AN INSTRUMENT OF PROFESSIONAL SERVICES IS THE PROPERTY OF AMS ASSOCIATES, INCORPORATED AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF AMS ASSOCIATES INCORPORATED.

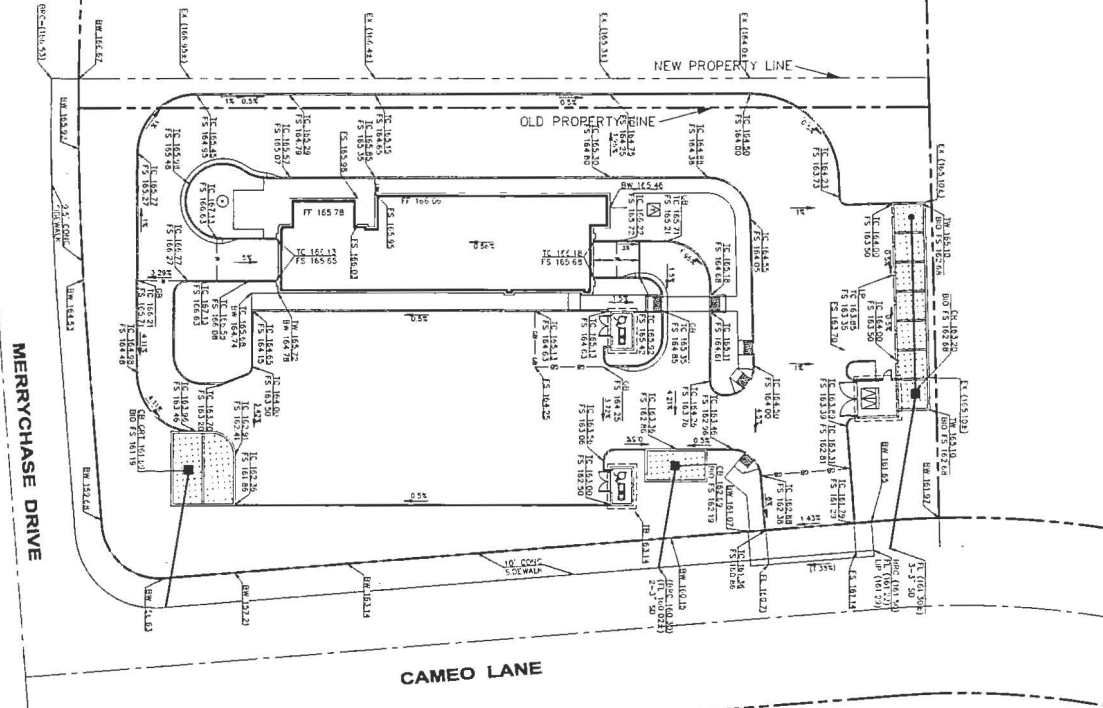


SHEET
C-2.1
 OF
 PROJECT
21-2567

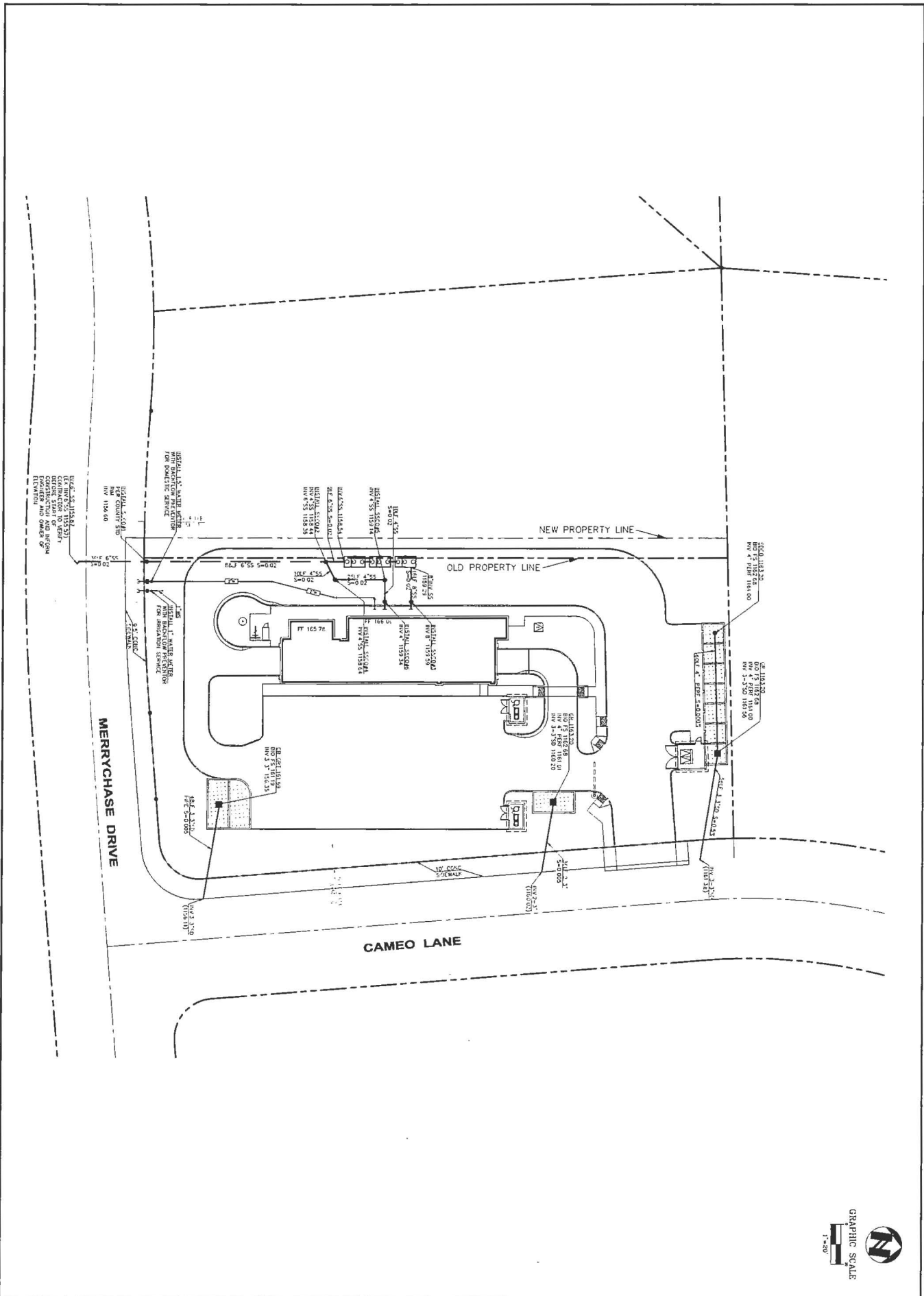
HORIZONTAL CONTROL PLAN
QUICK QUACK CAR WASH
 MERRYCHASE & CAMEO
 CAMERON PARK EL DORADO COUNTY CALIFORNIA

ams
 801 HONADO VALLEY ROAD
 SUITE 220
 WALNUT CREEK, CA 94596
 925-943-2777 FAX 925-943-2778
 assoc.ates, inc PLANNING ENGINEERING SURVEYING

DATE	12-29-21	REV #	BY	DATE	DESCRIPTION
SCALE					
DESIGNED	oms	▲			
DRAWN	oms	▲			
CHECKED	oms	▲			
PROJ. MGR.		▲			
FILE PATH					



SHEET C-3.1 OF PROJECT 21-2567	GRADING PLAN QUICK QUACK CAR WASH MERRYCHASE & CAMEO CAMERON PARK EL DORADO COUNTY CALIFORNIA	801 YONAH VALLEY ROAD SUITE 220 WALNUT CREEK, CA 94596 925-943-2777 FAX 925-943-2778 081900-0766, INC PLANNING ENGINEERING SURVEYING	DATE 12-29-21	REV #	BY	DATE	DESCRIPTION
			SCALE	DESIGNED oms	DRAWN oms	CHECKED oms	PROJ. MGR

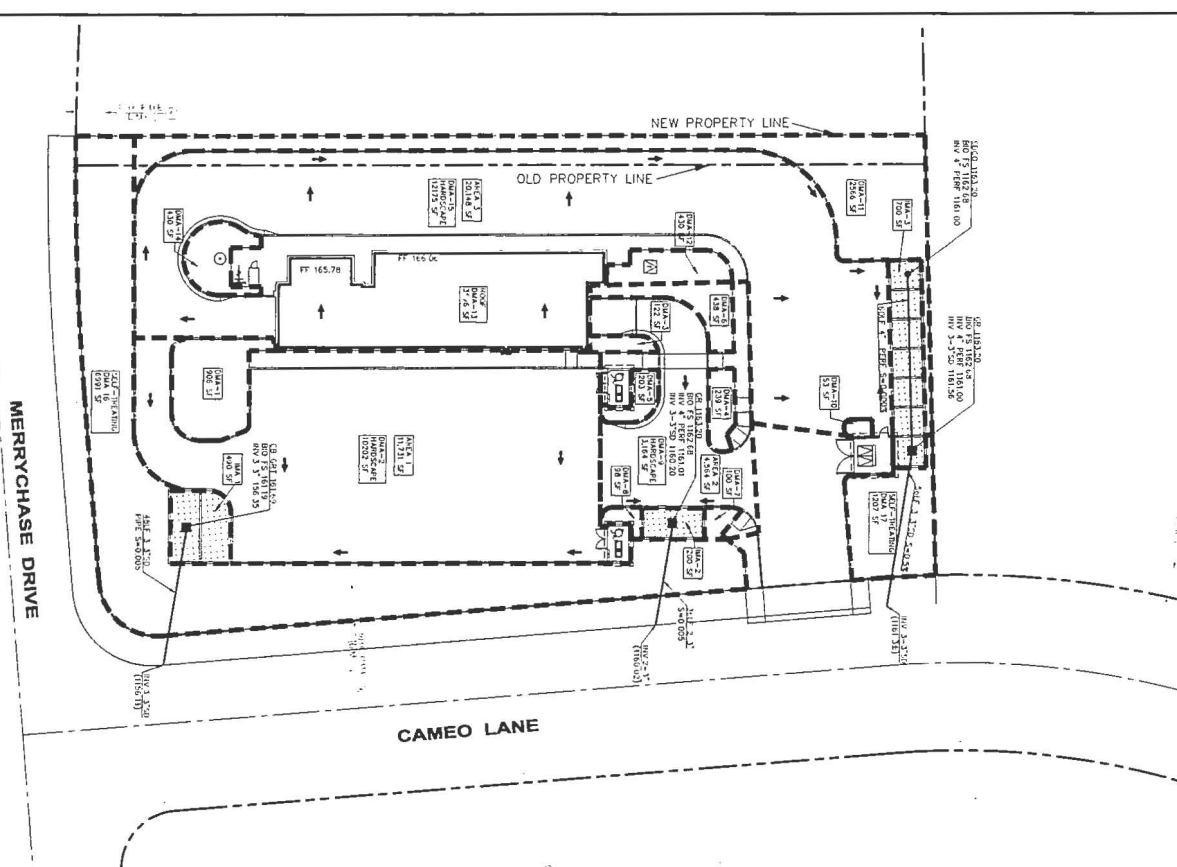


SHEET
C-4.1
 OF
 PROJECT
21-2567

UTILITY PLAN
QUICK QUACK CAR WASH
 MERRYCHASE & CAMEO
 CAMERON PARK, EL DORADO COUNTY, CALIFORNIA

ams
 associates, inc
 801 YONACID VALLEY ROAD
 SUITE 220
 WALNUT CREEK, CA 94596
 925-943-2777 FAX 925-943-2776
 PLANNING ENGINEERING SURVEYING

DATE	12-29-21	REV #	BY	DATE	DESCRIPTION
SCALE:					
DESIGNED:	ams	▲			
DRAWN:	ams	▲			
CHECKED:	ams	▲			
PROJ MGR:		▲			
FILE PATH:					



LEGEND

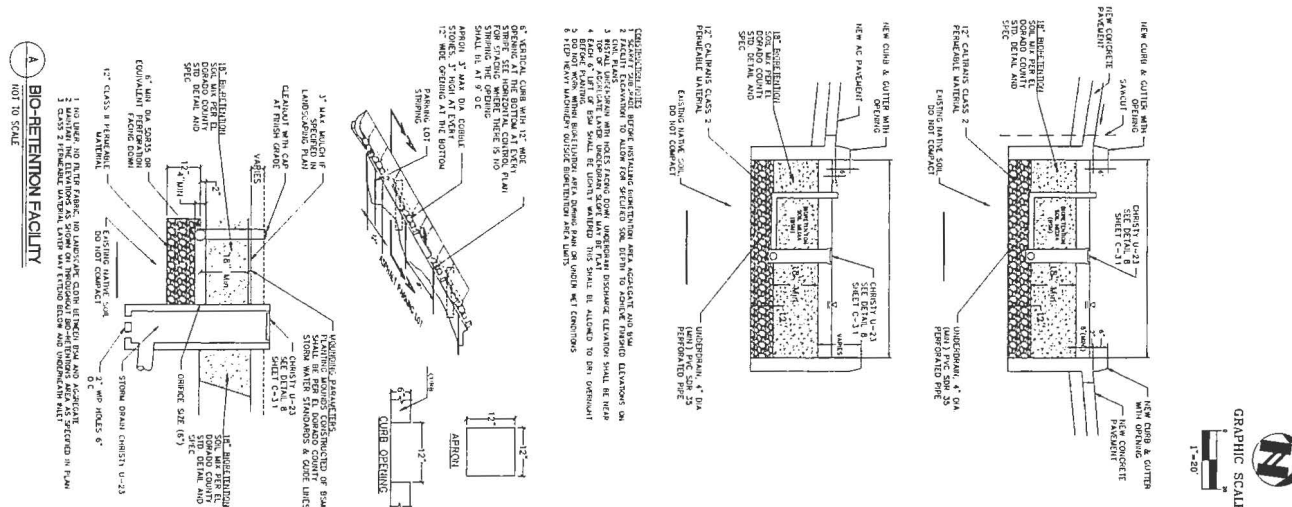
+

BORERATION

Project Name: 2017 QUICK QUACK CAMERON PARK
 Project Location: 44350
 Date: 12-22-21
 Scale: 1/8" = 1'-0"

Soil Boring DMAs

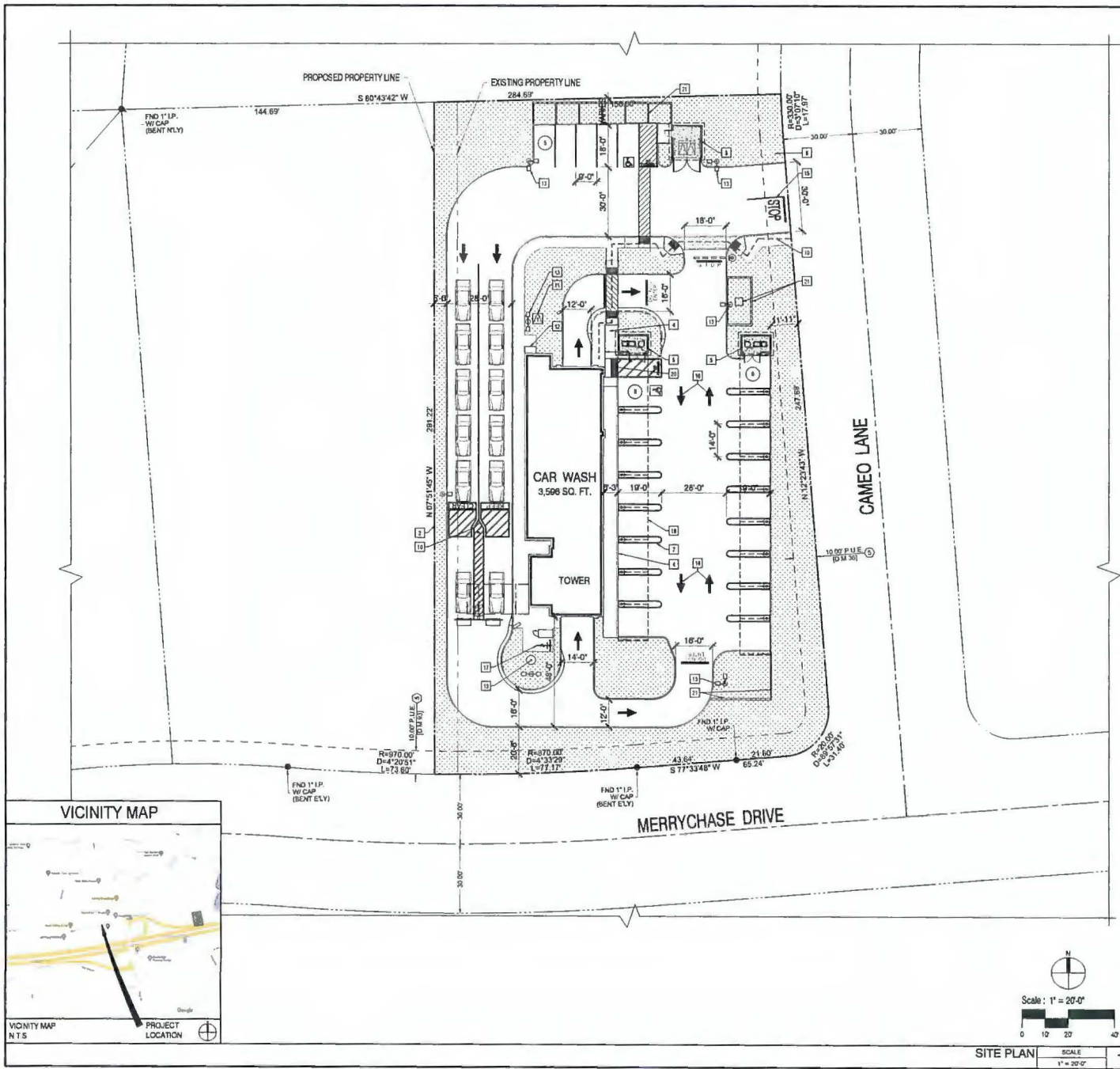
Area	Area (sq ft)	Soil Boring	DMAs	Notes
IV - Access Driveway to IMPs	1,000	1	DMAs 1-1, 1-2, 1-3, 1-4, 1-5, 1-6, 1-7, 1-8, 1-9, 1-10, 1-11, 1-12, 1-13, 1-14, 1-15, 1-16, 1-17, 1-18, 1-19, 1-20, 1-21, 1-22, 1-23, 1-24, 1-25, 1-26, 1-27, 1-28, 1-29, 1-30, 1-31, 1-32, 1-33, 1-34, 1-35, 1-36, 1-37, 1-38, 1-39, 1-40, 1-41, 1-42, 1-43, 1-44, 1-45, 1-46, 1-47, 1-48, 1-49, 1-50, 1-51, 1-52, 1-53, 1-54, 1-55, 1-56, 1-57, 1-58, 1-59, 1-60, 1-61, 1-62, 1-63, 1-64, 1-65, 1-66, 1-67, 1-68, 1-69, 1-70, 1-71, 1-72, 1-73, 1-74, 1-75, 1-76, 1-77, 1-78, 1-79, 1-80, 1-81, 1-82, 1-83, 1-84, 1-85, 1-86, 1-87, 1-88, 1-89, 1-90, 1-91, 1-92, 1-93, 1-94, 1-95, 1-96, 1-97, 1-98, 1-99, 1-100	



SHEET C-51	PROJECT 21-2567	STORMWATER CONTROL PLAN		ams	801 TOSHIBA VALLEY ROAD WALNUT CREEK, CA 94596 925-943-2777 FAX 925-943-2778	DATE	12-22-21	REV #		BY		DATE		DESCRIPTION
		DESIGNED	oms			DRAWN	oms	CHECKED	oms	PROJ. MGR.		FILE PATH:		

MERRYCHASE & CAMEO
CAMERON PARK EL DORADO COUNTY CALIFORNIA

associates, inc. PLANNING ENGINEERING SURVEYING



PROJECT SUMMARY

OWNER: QUICK QUACK CAR WASH
 1300 LEAD HILLS BLVD., SUITE 260
 ROSEVILLE, CA 95661
 VANCE SHANNON
 VSHANNON@DONTOREDIRTY.COM

APPLICANT: LA DESIGN GROUP, INC
 21671 GATEWAY CENTER DRIVE, SUITE 213
 DIAMOND BAR, CA 91765
 SAEID SHANTYIAI
 SSSHANTYIAI@LADESIGNGROUP.NET

PROPERTY ADDRESS: CAMEO & MERRYCHASE DRIVE
 CAMERON PARK, CA

APN: 062-361-004

GENERAL PLAN: COMMERCIAL COMMUNITY ZONING

GROSS LAND AREA: 1 AC 43,576 SF

EXISTING LAND USE: VACANT LOT

PROPOSED LAND USE: COMMERCIAL - CAR WASH FACILITY

PROPOSED CARWASH AREA: 3,008 SF

GROSS BUILDING AREA: 29'-0"

MAXIMUM BUILDING HEIGHT: VB

CONSTRUCTION TYPE: VB

OCCUPANCY: B

SPRINKLERS: NO

PARKING REQUIRED: 2 STALLS

PARKING PROVIDED: 5 STALLS

VACUUM STALLS: 17 STALLS

BICYCLE SPACES REQUIRED: 1

BICYCLE SPACES PROVIDED: 2

SITE COVERAGE SUMMARY:

BUILDING COVERAGE (FAR): 8.25%

LANDSCAPE AREA: 15,349 SF

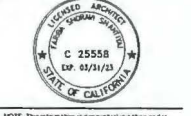
LANDSCAPE COVERAGE: 35.22%

KEYNOTES:

- 1 RETAINING WALL, SEE CIVIL DRAWINGS
- 2 EXISTING PROPERTY LINE, REFERENCE CIVIL DRAWINGS
- 3 TRASH ENCLOSURE, REFERENCE DETAIL 1 AS S 01
- 4 CONCRETE CURB OR CURB AND GUTTER, REFERENCE CIVIL DRAWINGS
- 5 VACUUM EQUIPMENT ENCLOSURE, REFERENCE DETAIL 3 AS S 01
- 6 WALKWAY - 4 CONCRETE WITH NATURAL GRAY CONCRETE MEDIUM BROOM FINISH
- 7 PARKING LOT STRIPING, 4 INCH LINES PAINTED WHITE TYPICAL
- 8 SITE ENTRANCE TOWARD AWAY SIGN
- 9 30 FLAG POLE STYLE, MEMORIAL UNCOMMON USA, INC
- 10 PIPE BOLLARD
- 11 TRANSFORMER AND PAD PROVIDED BY PG&E, REFERENCE CIVIL DRAWINGS
- 12 ELECTRIC METER CABINET LOCATION
- 13 LIGHT STANDARD BASE, REFERENCE ELECTRICAL DRAWINGS
- 14 PROVIDE STOP SIGN ON POLE
- 15 PAINT STOP SIGN PER CITY STANDARDS
- 16 PAINT PAVEMENT DIRECTIONAL ARROW
- 17 BIKE RACKS
- 18 LINE OF METAL CANOPY ABOVE
- 19 ACCESSIBLE PATH OF TRAVEL
- 20 ACCESSIBLE RAMP, REFERENCE CIVIL DRAWINGS
- 21 BIO RETENTION AREA, REFERENCE CIVIL DRAWINGS
- 22 LED ILLUMINATED PYLON SIGN, REFERENCE SIGN DRAWINGS

LEGEND:

- LIGHT STAND, REFERENCE ELECTRICAL DRAWINGS
- WALKWAY - 4 CONCRETE WITH NATURAL GRAY CONCRETE MEDIUM BROOM FINISH, REFERENCE LANDSCAPE DRAWINGS
- LANDSCAPING AND IRRIGATION SYSTEM, REFERENCE LANDSCAPE DRAWINGS
- VACUUM CANOPY SYSTEM (TYS)
- PROPERTY LINE
- ACCESSIBLE PATH OF TRAVEL
- INDICATED NUMBER OF PARKING SPACES



NOTE: This information is conceptual in nature and is subject to adjustment pending final verification and Client, Tenant, and Governmental Agency comments, approvals. No warranties or guarantees of any kind are given or implied by the Architect.



Client: CITIVEST REAL ESTATE
 4340 VAN KARMAN AVE., SUITE 200
 NEWPORT BEACH, CA 92660

ENTITLEMENT SUBMITTAL 12/22/2021
 CLIENT COORDINATION 12/10/2021
 No. Description Date
 Project No.: 210613.01
 Drawn By: _____
 Reviewed By: _____
 Scale: AS NOTED
 Date: _____
 Filename: _____
 Sheet Title: _____

SITE PLAN

Sheet #:

AS 1.01

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LA Design Group, Inc.
21671 GATEWAY CENTER DRIVE, STE. 213
DIAMOND BAR, CA 91765
(714) 859-1010

664
OLIVE STREET
LANDSCAPE ARCHITECTURE
P.O. Box 2053
Folsom, CA 95632
707-206-8995
Orwell@laidesigngroup.com
1001-1010-1010-1010



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A Project for

(STORE 26-620)
CAMERO DR. & MERRYCHASE DR.
CAMERON PARK, CA

Client:
CITIVEST REAL ESTATE
4340 VON KARMAN AVE., SUITE 200
NEWPORT BEACH, CA 92660

Revisions:

ENTITLEMENT SUBMITTAL 12/22/2021
CLIENT COORDINATION 12/10/2021
No Description Date
Project No. 210813 01
Drawn By _____
Reviewed By _____
Scale AS NOTED
Date _____
Filename _____
Sheet Title _____

LANDSCAPE PLAN

Sheet # L1

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PLANT SCHEDULE

TREE	QTY	BOTANICAL / COMMON NAME	CONT.	WUCOLS
	3	Acer rubrum 'October Glory' / October Glory Red Maple	15 gal.	Moderate
	10	Lagerstroemia indica 'Red' / Red Crape Myrtle	15 gal.	Low
	1	Quercus douglasii / Blue Oak	15 gal.	Low
	2	Zelkova serotina 'Green Vase' / Green Vase Sawtooth Zelkova	15 gal.	Moderate

SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT.	WUCOLS
	12	Arctostaphylos densiflora 'Howard McMin' / Howard McMin Vine Hill Manzanita	5 gal.	Low
	137	Callisanton viminalis 'Little John' / Little John Weeping Bottlebrush	5 gal.	Low
	73	Dialia 'Orange Drop' / Orange Drop Forsythia	5 gal.	Low
	97	Phloxum 'Dark Delight' / Dark Delight Purple Phlox	5 gal.	Low
	144	Rhapidois umbellata 'Eleanore Taber' / Yeadon Hawthorn	5 gal.	Low
	110	Yucca recurvifolia 'Wabastar' / Bright Star Soft Leaf Yucca	5 gal.	Low

VINES (ESPALETTES)	QTY	BOTANICAL / COMMON NAME	CONT.	WUCOLS
	10	Magnolia grandiflora 'Little Gem' / Espalier Little Gem Dwarf Southern Magnolia	15 Gal.	Moderate

GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT.	WUCOLS	SPACING
	332	Festuca ovina glauca 'Elijah Blue' / Elijah Blue Fescue	1 gal.	Low	30" o.c.
	132	Muhlenbergia rigens / Deer Grass	1 gal.	Low	42" o.c.
	138	Myoporum parviflorum / Trailing Myoporum	1 gal.	Low	54" o.c.

COMPLIANCE STATEMENT

I have complied with the criteria of the water use ordinance and applied them accordingly for the efficient use of water in the landscape design plan.
Polina Dussan 12-22-21

EXISTING TREE LEGEND

1. (Symbol) TREE TO BE REMOVED BY THE OWNER

GENERAL NOTES

- All landscape planting areas, except bio-retention areas, shall receive a minimum 2" layer of organic mulch top dressing.
- All trees, shrubs and groundcover shall be irrigated with a drip system, smart controller, weather sensor, etc. and shall meet City of Cameron Park Water Efficient standards/regulations.
- All new trees located within 5' of pavement or permanent structure shall have a root barrier.
- Soils type(s) are unknown at this time. A soils fertility analysis report and recommendations by a certified soils analysis laboratory shall be completed prior to construction. Soil samples shall be collected after site rough grading has been completed.

Water Efficient Landscape Worksheet- New plants

HYPOTHETICAL PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRG. METHOD	IRRG. EFFICIENCY (IE)	ETAF (PF/IE)	LANDSCAPE AREA (SQ FT)	ETAF x AREA	ESTIMATED TOTAL WATER USE (ETWU)
REGULAR LANDSCAPE AREA							
LOW WATER USE PLANTS	.3	+	.81	.37	14,242	5,277	143,223 GAL.
MODERATE WATER USE PLANTS (PF/IE)	.5	++	.81	.42	330	705	4,418 GAL.
TOTALS					14,572	5,982	

ETAF Calculations

Total ETAF x Area	(B) 5,982
Total Area	(A) 14,412
Average ETAF	(B / A) .42

NOTE: 1. A average ETAF for Regular Landscape Area should be factor .33 for bio-retention areas and .43 for non-retention areas.

Maximum Applied Water Allowance (MAWA) MAWA = $\frac{ETWU}{(30.5) (1.42)}$ (Conservation factor) $\frac{(ETAF)(Landscape Area)}{(1.43 \times 14,412)}$ $\times (1.1) (ETAF) \times (5.6)$ $\times (1.45) XG = 205,576$ GALLONS

Estimated Total Water use (ETWU) ETWU = $\frac{ETWU}{(30.5) (1.42)}$ (Conservation factor) $\frac{(ETAF)(Area)}{(1.43)}$ = 171,641 GALLONS



PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	COLT	WUCOLS	
	3	Acer rubrum 'October Glory' / October Glory Red Maple	15 gal	Moderate	
	10	Lagerstroemia indica 'Pud' / Red Crape Myrtle	15 gal	Low	
	1	Quercus douglasii / Blue Oak	15 gal	Low	
	2	Zea oaxacensis 'Green Vase' / Green Vase Sawtooth Zea oax	15 gal	Moderate	
SHRUBS	QTY	BOTANICAL / COMMON NAME	COLT	WUCOLS	
	12	Arctostaphylos densata 'Howard' / Howard / Arctostaphylos densata	5 gal	Low	
	137	Cocklebur venosus 'Little John' / Little John Weeping Bottlebrush	5 gal	Low	
	73	Dieris 'Orange Drop' / Orange Drop Partridge Lily	5 gal	Low	
	97	Pharosium 'Dark Delight' / Dark Delight Purple Fox	5 gal	Low	
	144	Rhaphisolepis umbellata 'Elegant Tabor' / Treado Hawthorn	5 gal	Low	
	110	Tucca recurvifolia 'Walbrun' / Bright Star Soil Lead Tucca	5 gal	Low	
VINES/SMALLERS	QTY	BOTANICAL / COMMON NAME	COLT	WUCOLS	
	10	Magnolia grandiflora 'Little Gem' / Espalier Little Gem Dwarf Southern Magnolia	15 Gal	Moderate	
COLORADO COVERS	QTY	BOTANICAL / COMMON NAME	COLT	WUCOLS	SPACING
	332	Festuca ovina glauca 'Elyon Blue' / Elyon Blue Fescue	1 gal	Low	30" o.c.
	132	Festuca ovina glauca 'Elyon Blue' / Elyon Blue Fescue	1 gal	Low	42" o.c.
	138	Hyppurum parviflorum / Trailing Hyppurum	1 gal	Low	5" o.c.

COMPLIANCE STATEMENT
 I have complied with the criteria of the water use ordinance and rippled them accordingly for the efficient use of water in the landscape design plan.
Peddy Simonsen 12-22-21

LLC

- GENERAL NOTES**
- All landscape planting area except bio-retention areas shall receive a minimum 3" layer of organic mulch top dressing.
 - All trees, shrubs and groundcover shall be irrigated with a drip system, smart controller weather sensor, etc. and shall meet City of Cameron Park Water Efficient standards/regulations.
 - All new trees located within 5' of pavement or permanent structure shall have a root barrier.
 - Soils type(s) are unknown at this time. A soils fertility analysis report and recommendations by a certified soils analysis laboratory shall be completed prior to construction. Soil samples shall be collected after site rough grading has been completed.

Water Efficient Landscape Worksheet- New plants

HYDROZONE/PLANTING DESCRIPTION	PLANT FACTOR (PF)	WUC	WUCO	ETAF (PF/E)	LANDSCAPE AREA (SQ. FT.)	ETAF x AREA	ESTIMATED TOTAL WATER USE (ETWU)
REGULAR LANDSCAPE AREA							
LOW WATER USE PLANTS	.3	1	.81	.37	14,267	5,277	165,293 GAL
MODERATE WATER USE PLANTS (PFLES)	.5		.81	.42	330	203	6,418 GAL
TOTALS					(4114,612)	(8) 5,482	

ETAF Calculations

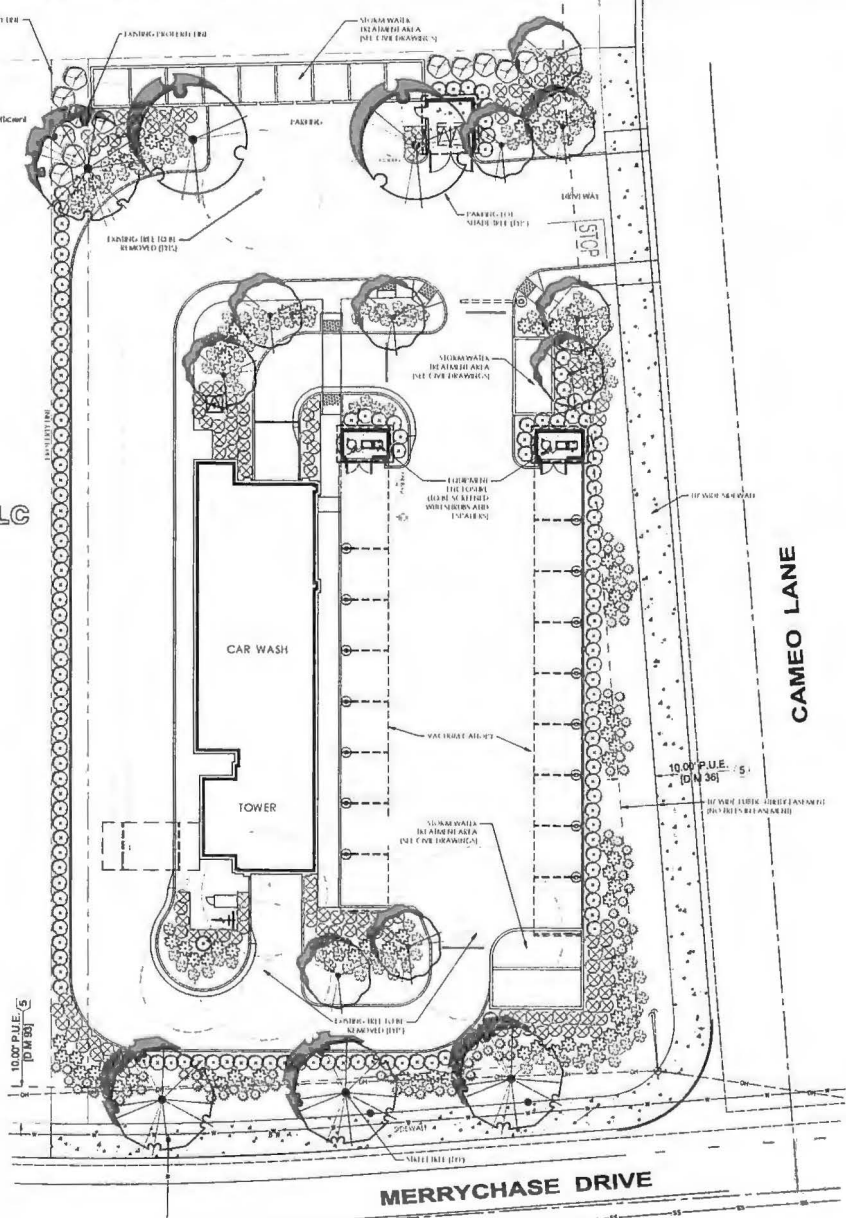
Regular Landscape Areas

Total ETAF x Area	(8) 5,482
Total Area	(4114,612)
Average ETAF	(8 / 4114,612) = .00194

Note: 1. Average ETAF for Regular Landscape Areas must be below .25 for residential areas and .45 for non-residential areas.

Maximum Applied Water Allowance (MAWA): $MAWA = \frac{ETAF \times (Conversion\ factor)}{.805} = \frac{[.00194] \times [146,000]}{.805} = 353,876\ GALLONS$

Estimated Total Water Use (ETWU): $ETWU = \frac{ETAF \times (Conversion\ factor) \times (ETAF\ Area)}{.805} = \frac{[.00194] \times [4114,612]}{.805} = 1,011,441\ GALLONS$



LA Design Group, Inc.
 21871 GATEWAY CENTER DRIVE, STE 213
 DIAMOND BAR, CA 91765
 (714) 909-6610

OLIVE STREET LANDSCAPE ARCHITECTURE
 P.O. Box 2083
 Redlands, CA 91752
 (714) 340-8990
 Olive@tree.landscape.com
 redlands.landscape.com

NOTE: This information is conceptual in nature and is subject to adjustments pending further verification and Client, Tenant, and Governmental Agency approval. No warranties or guarantees of any kind are given or implied by the Architect.

Quick Quack CAR WASH
 (STORE 26-620)
 CAMEO DR. & MERRYCHASE DR.
 CAMERON PARK, CA

CITIVEST REAL ESTATE
 4340 VON KARMAN AVE., SUITE 200
 NEWPORT BEACH, CA 92660

Revisions:

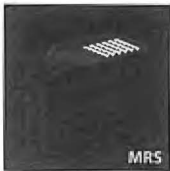
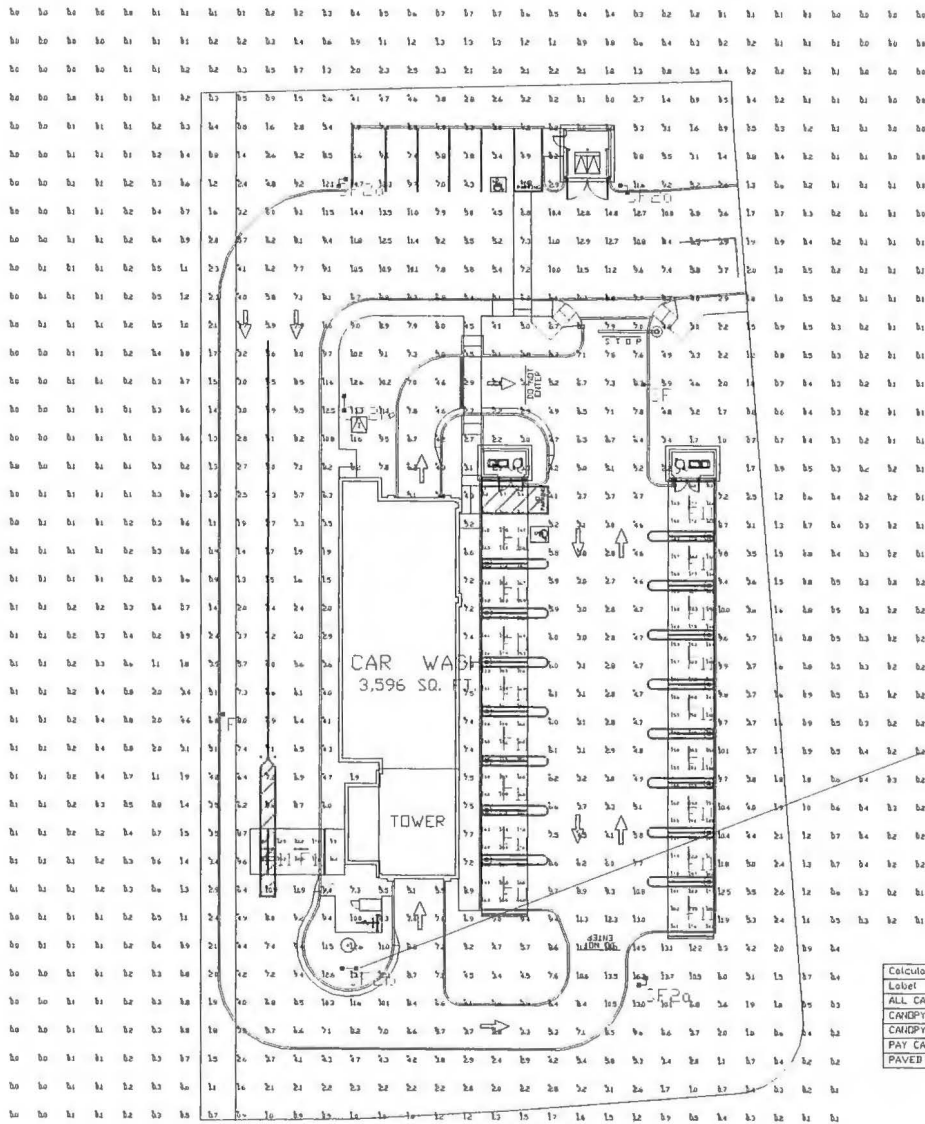
ENTITLEMENT SUBMITTAL	12/22/2021
CLIENT COORDINATION	12/10/2021
No. Description	Date
Project No.:	210613.01
Drawn By:	
Reviewed By:	
Scale:	AS NOTED
Date:	
Author:	
Sheet Title:	

LANDSCAPE PLAN

Sheet #:

L1

OLIVE STREET LANDSCAPE ARCHITECTURE



CAMEO LANE

Pole to be used for flag pole light
 NOTE: STANDARD 120-277v UNLESS OTHERWISE SPECIFIED

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC @ GRADE	Illuminance	Fc	3.07	16.2	0.0	NA	16.2
CANDY 1	Illuminance	Fc	15.40	20.0	5.0	3.08	4.16
CANDY 2	Illuminance	Fc	16.28	23.8	8.3	1.96	2.87
PAY CANDY	Illuminance	Fc	18.40	23.2	9.5	1.94	2.44
PAVED AREA	Illuminance	Fc	6.51	14.8	1.3	5.01	11.38

PHOTOMETRIC EVALUATION
 NOT FOR CONSTRUCTION

Based on the information provided, all dimensions and fixture locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions. This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with the Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in layout/LEDs and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Symbol	Qty	Label	Arrangement	Description	LLD	LDD	LLF	Arr. Lun Lumens	Arr. Watts
19	1	F11	SINGLE	VT3204HUNV50 (FIXTURE SUPPLIED BY HERITAGE)	1000	1000	1000	6778	51.95
2	2	SF	SINGLE	MRS-LED-1BL-SIL-FT-50-70CRI-SINGLE-16" POLE+2" BASE	1000	1000	1000	16890	135
3	2	SF2A	2 @ 90 DEGREES	MRS-LED-1BL-SIL-FT-50-70CRI-D90-16" POLE+2" BASE	1000	1000	1000	33780	270
2	2	SF2B	D180°	MRS-LED-1BL-SIL-FT-50-70CRI-D180-16" POLE+2" BASE	1000	1000	1000	33780	270

Total Project Watts
 Total Watts = 242705

LIGHTING PROPOSAL LD-15027

DATE: 08/20/2024
 PROJECT: 22-0950 A
 SHEET: 1 OF 1

SCALE: 1"=16'



LA Design Group, Inc.
 21671 GATEWAY CENTER DRIVE STE 213
 DIAMOND BAR CA 91765
 (714) 509-8800 1010



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Project No:



Don't Drive Dirty.™
 (STORE 26-620)
 CAMEO DR. & MERRYCHASE DR.
 CAMERON PARK, CA

Client: QUICK QUACK CAR WASH

1530 LEAD HILLS BLVD STE 250
 ROSEVILLE CA 95661

Revisions

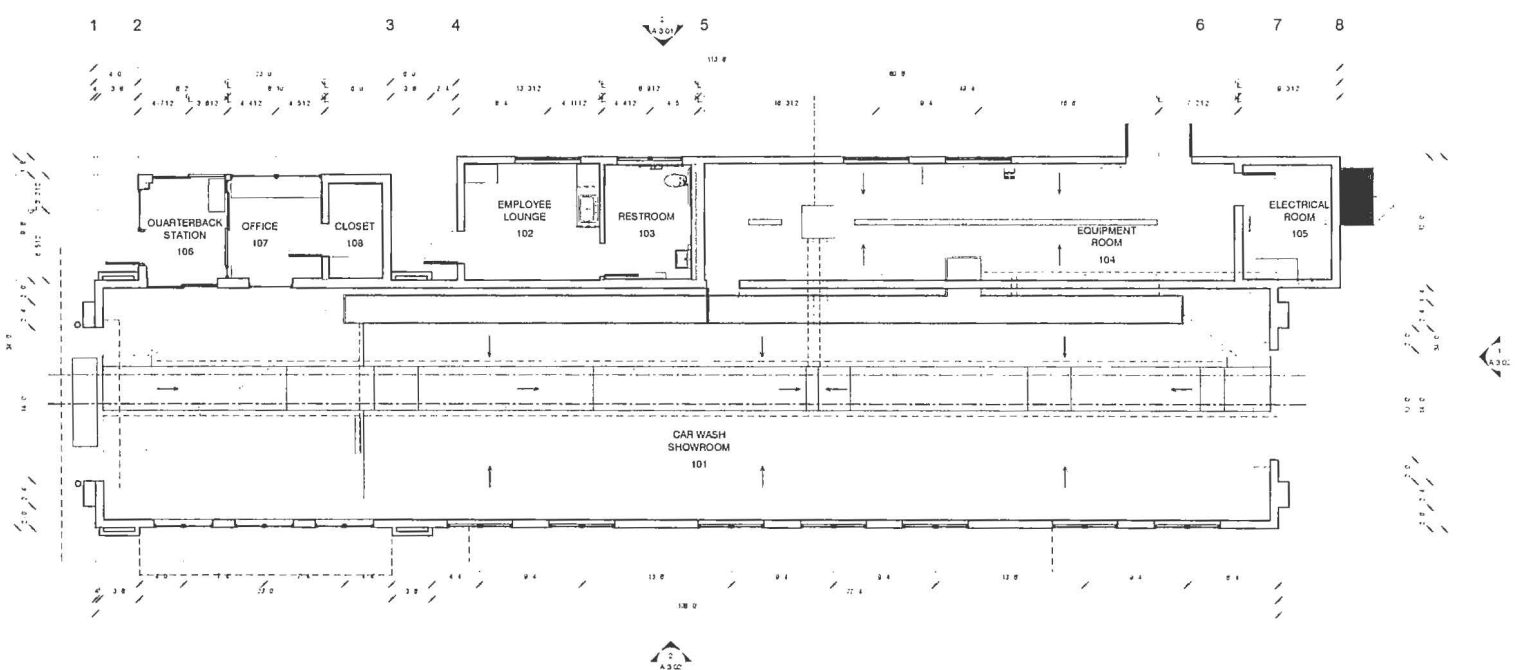
ESTIMATED PAK No.	12-01-2021	
CLIENT SUBMISSION	09-09-2021	
No.	Description	Date
Project No.	2105813	
Drawn By	ALW	
Reviewed By		
Scale	3/16" = 1'-0"	
Sheet		
Formate		
Sheet Title		

FLOOR PLAN



A 2.01

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FLOOR PLAN SCALE 3/16" = 1'-0" 1



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 DIAMOND BAR CA 91785
 (714) 800 1010



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A Project for



(STORE 26-820)
 CAMEO DR. & MERRYCHASE DR
 CAMERON PARK, CA

Client: **QUICK QUACK CAR WASH**
 1300 LEAD HILLS BLVD STE 200
 ROSEVILLE CA 95661

Revisions

ENTITLEMENT PACKAGE	12/01/2021
CLIENT COORDINATION	09/09/2021
No. Description	Date
Project No.	210813
Drawn By:	Author
Reviewed By:	-
Scale	3/16" = 1'-0"
Date	11/22/21
Filename	-
Sheet Title	-

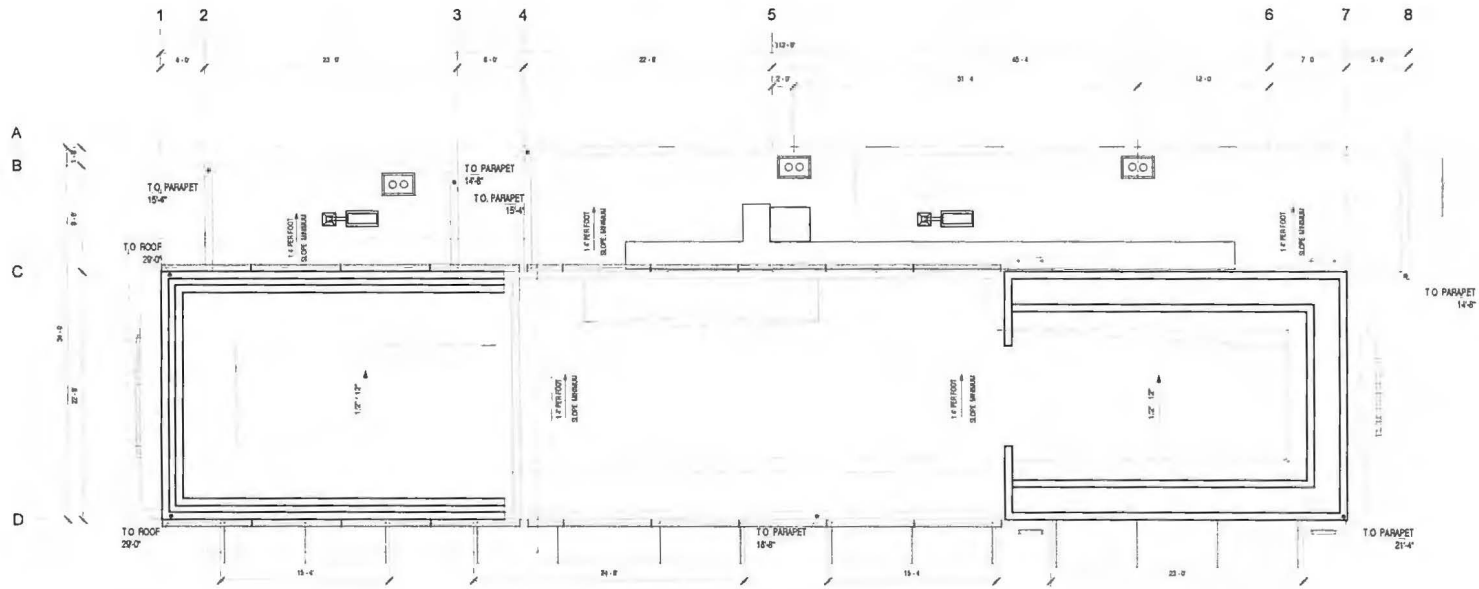
ROOF PLAN



Sheet # **A 2.02**

ROOF PLAN SCALE 3/16" = 1'-0" 1

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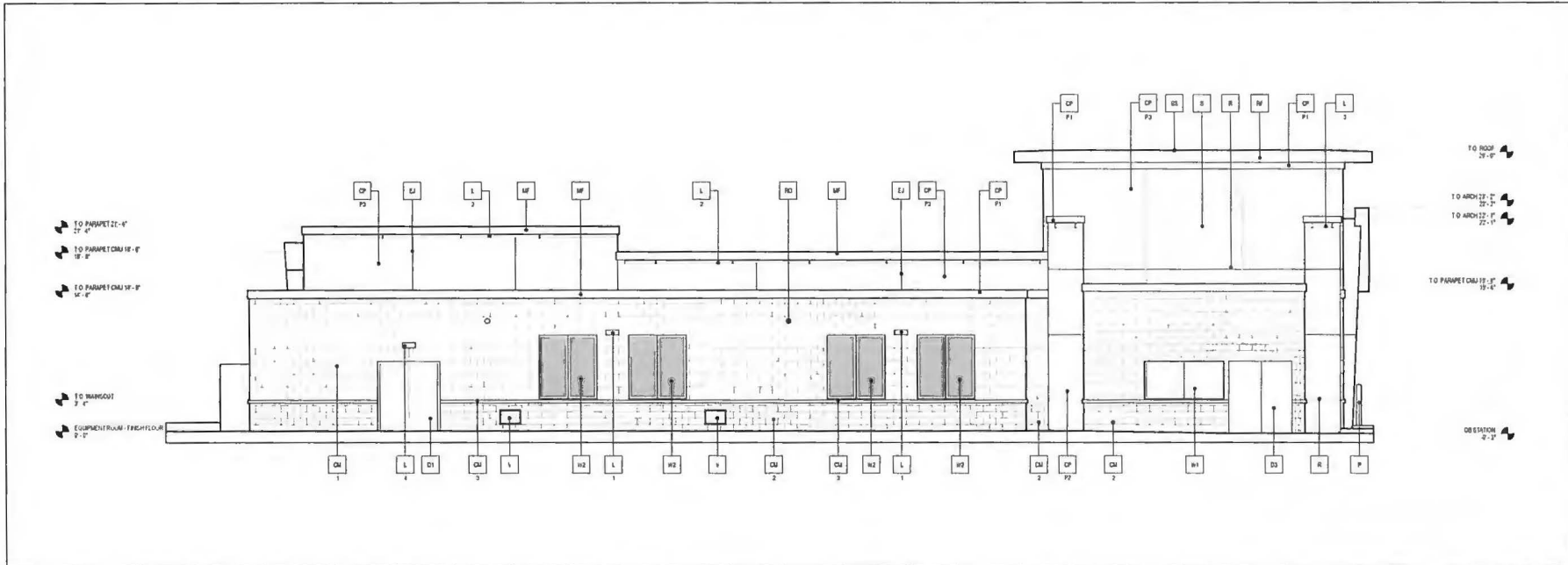


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21671 GATEWAY CENTER DRIVE STE. 213
DIAMOND BAR CA 91765
(714) 909 880 1010



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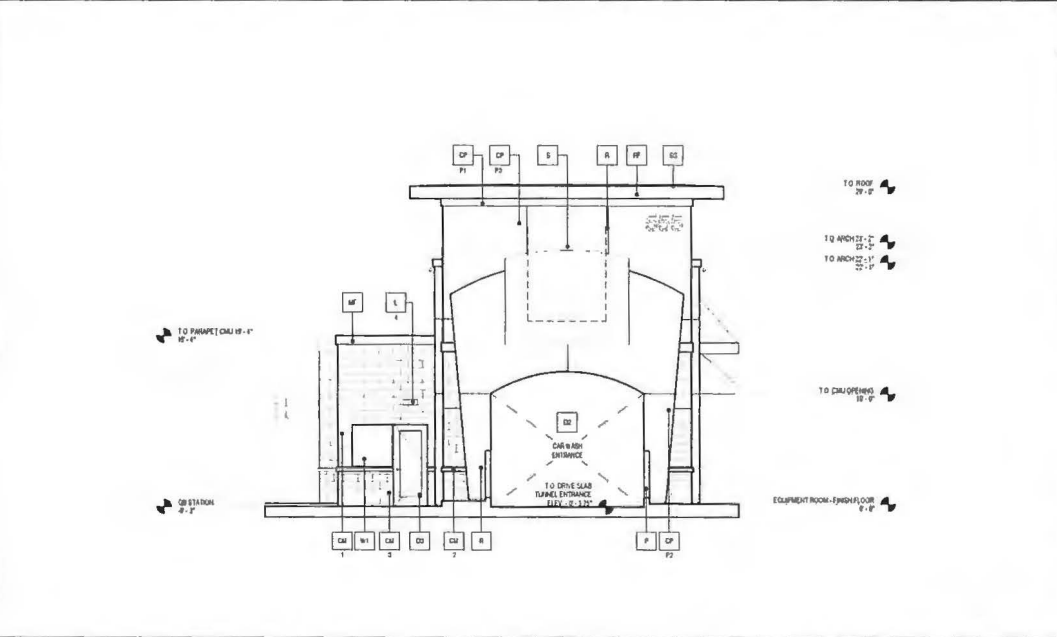
A Project for



WEST ELEVATION SCALE 3/16" = 1'-0" 2

KEYNOTES

<p>CU 1 BASALT SMOOTH HONEY COMB FACE CONCRETE MATCH SHERRILL WELLS- INTEGRAL COLOR STAIN/DYE #255 LIGHT GRAY WITH INTEGRAL FACTORY FINISH/LOC WATER REPELLENT ADJUSTURE MORTAR TO HAVE FINISH/LOC FOR MATCHER/CONCRETE MORTAR COLOR TO MATCH</p> <p>CU 2 BASALT SPILT FACE CONCRETE MASONRY UNITS- INTEGRAL COLOR STAIN/DYE #700 DARK GRAY WITH INTEGRAL FACTORY FINISH/LOC WATER REPELLENT ADJUSTURE MORTAR TO HAVE FINISH/LOC FOR MATCHER/CONCRETE MORTAR COLOR TO MATCH</p> <p>CU 3 PRE-CAST FACE CONCRETE MASONRY UNITS SILL INTEGRAL COLOR TO MATCH DARK GRAY FINISH/LOC WITH INTEGRAL FACTORY FINISH/LOC WATER REPELLENT ADJUSTURE MORTAR TO HAVE FINISH/LOC FOR MATCHER/CONCRETE MORTAR COLOR TO MATCH</p> <p>CP 4 ACRYLIC PLASTER COLOR 0041</p> <p>F 5 COLOR DE BRUNDAKI</p> <p>F1 6 MATCH SHERRILL WELLS- DARK GRAY GREY F2 7 MATCH SHERRILL WELLS- PINK DEEPLY YELLOW F3 8 MATCH SHERRILL WELLS- #300 SKIN-BOUND PLASTER COLOR COAT TO BE SAND FINISH</p> <p>D1 9 HOLLOW METAL DOOR- PAINT TO MATCH SHERRILL WELLS- #700 BACKDROP</p> <p>D2 10 OVERHEAD METAL DOOR- PAINT TO MATCH SHERRILL WELLS- #700 BACKDROP</p> <p>DR 11 CLEAR ANODIZED ALUMINUM COMMERCIAL GRADE STOREFRONT GLASS DOOR</p> <p>DR 12 8' X 8' THROUGH WALL SCULPTURE COLLECTOR AND DOWNSPOUT PAINT TO MATCH ADJACENT SURFACE</p> <p>L 13 1.4 DEEP METAL EXPANSION JOINT</p> <p>L 14 LIGHT FIXTURE</p> <p>L 15 TYPE</p> <p>L1 16 LED BIPHASE WALL SCULPTURE DOWN LIGHT L2 17 LINEAR FACADE WALL LIGHT DOWN LIGHT L3 18 3' FOOT LED PLASTER LIGHT DOWN LIGHT L4 19 WALL PACK DOWN LIGHT</p> <p>CONTACT STEEL FRAME (L1 & L2) SHALL MATCH WITH OTHER LIGHTING FOR COORDINATION LIGHTING AND ELECTRICAL</p> <p>MF 20 METAL FASCIA PAINT TO MATCH SHERRILL WELLS- DARK GRAY GREY (#0611)</p>	<p>P 1 8" PIPE BOLLARD FILLED WITH CONCRETE- MATCH SHERRILL WELLS- #800 ONE PER PAIR (YELLOW)</p> <p>R 2 2" WIDE X 1/4" DEEP CLEAR ANODIZED ALUMINUM PLASTER RE-VEAL</p> <p>RF 3 METAL ROOF FASCIA MATCH SHERRILL WELLS- QUICK QUACK GREEN (#0611)</p> <p>RO 4 PVC ROOF OVERHEAD SCULPTURE PAINT TO MATCH ADJACENT FINISH</p> <p>S 5 FINISH BY OTHERS SHOWN DASHED- FOR REFERENCE ONLY UNDER SEPARATE PERMIT GENERAL CONTRACTOR TO COORDINATE WITH SIGN COMPANY</p> <p>SR 6 STANDING SEAM METAL ROOF FASCIA (LCA - 24" X 6")</p> <p>T1 7 METAL WALL CHASIS SYSTEM- COLOR TO MATCH SHERRILL WELLS- QUICK QUACK GREY</p> <p>T2 8 WALL CHASIS SYSTEM- COLOR TO MATCH SHERRILL WELLS- QUICK QUACK GREEN</p> <p>V 9 24" WIDE X 8" HIGH VENT PAINT TO MATCH ADJACENT FINISH</p> <p>W1 10 EXTERIOR WINDOW ASSEMBLY- 1" TEMPERED GLASS CLEAR ANODIZED ALUMINUM STOREFRONT</p> <p>W2 11 EXTERIOR FAIR WINDOW ASSEMBLY- 1" TEMPERED GLASS CLEAR ANODIZED ALUMINUM STOREFRONT</p>
---	---



SOUTH ELEVATION SCALE 3/16" = 1'-0" 1

Client: QUICK QUACK CAR WASH

1300 LEAD HILLS BLVD. STE. 200
ROSEVILLE CA 95661

Revisions:

No.	Description	Date
1	ESTIMATE SET P&A	12/01/2021
2	CLIENT COORDINATION	09/19/2021

Project No: 210813
Drawn By: Author
Reviewed By: Author
Scale: As Indicated
Date: 12/01/2021
Filename: A3.01
Sheet Title: EXTERIOR ELEVATIONS

EXTERIOR ELEVATIONS

Sheet #

A 3.01

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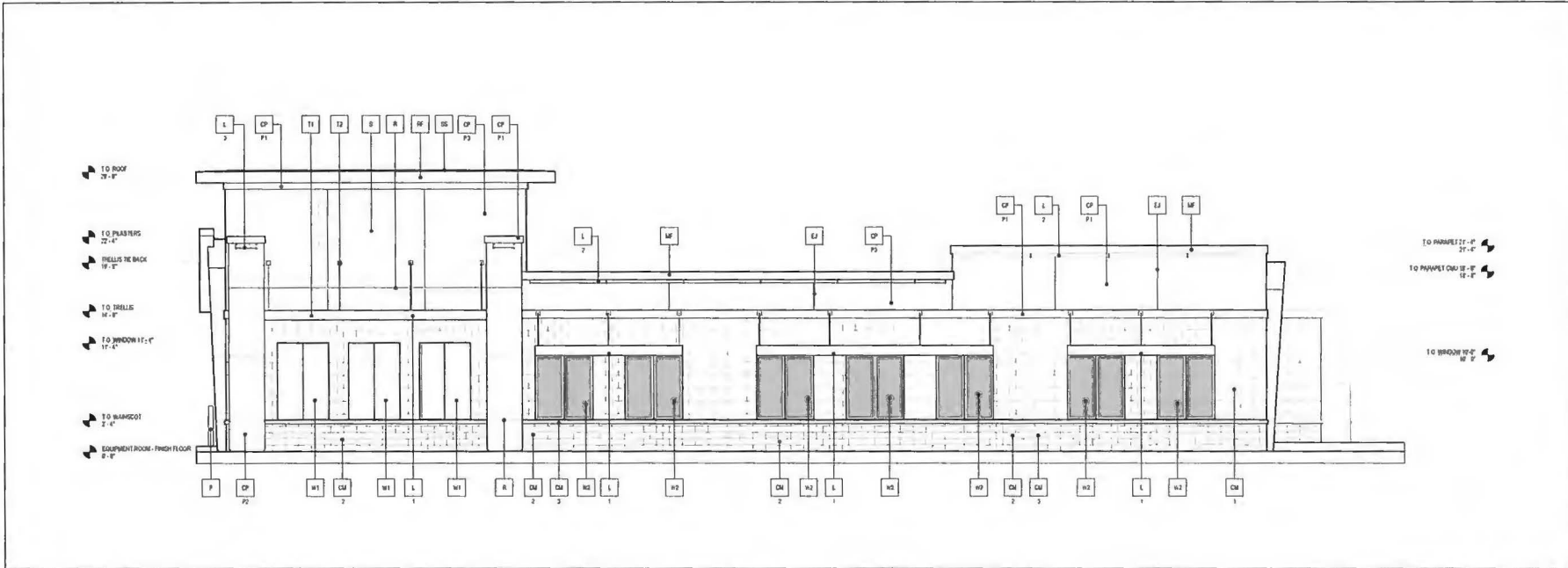


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A Project for:



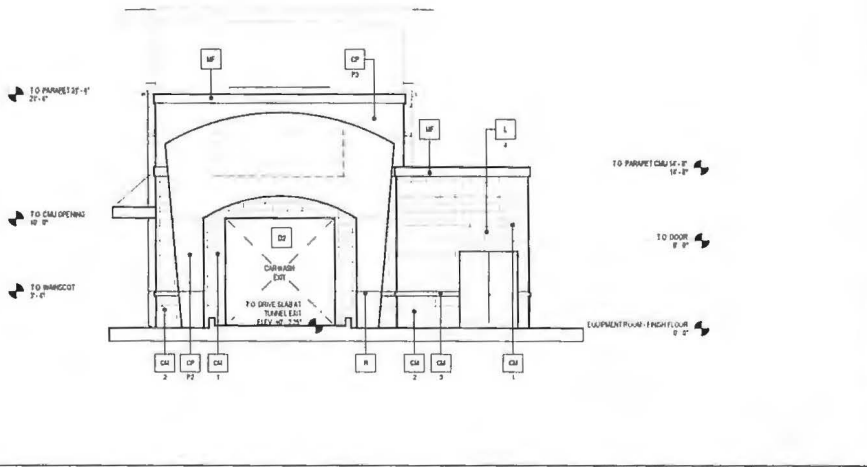
(STORE 26-620)
CAMERO DR. & MERRYCHASE
DR. CAMERON PARK CA



EAST ELEVATION SCALE 3/16" = 1'-0" 2

KEYNOTES

- CM BASALTITE SMOOTH POLISHED FACE COBALTITE MASONS UNITS - INTERIOR COLOR STAINWARD #225 LIGHT GRAY WITH INTERNAL FACTORY PARABLOC WATER REPELLENT ADJUSTURE MORTAR TO HAVE PARABLOC FOR MORTAR ADJUSTURE MORTAR COLOR TO MATCH
- CM BASALTITE SPIN FACE COBALTITE MASONS UNITS - INTERIOR COLOR STAINWARD #760 DARK GRAY WITH INTERNAL FACTORY PARABLOC WATER REPELLENT ADJUSTURE MORTAR TO HAVE PARABLOC FOR MORTAR ADJUSTURE MORTAR COLOR TO MATCH
- CM PRE-CAST FACE CONCRETE MASONS UNITS - INTERIOR COLOR TO MATCH DARK GRAY #ANSICOF WITH INTERNAL FACTORY PARABLOC WATER REPELLENT ADJUSTURE MORTAR TO HAVE PARABLOC FOR MORTAR ADJUSTURE MORTAR COLOR TO MATCH
- CP AGGREGATE PLASTER COLOR COAT
- F COLOR OR SITUATION:
F1 = MATCH SHEPHERD WILLIAMS QUICK QUACK GREEN
F2 = MATCH SHEPHERD WILLIAMS #8802 DECORATIVE STEEL GRAY
F3 = MATCH SHEPHERD WILLIAMS #7004 STAINWOOD
PLASTER COLOR COAT TO BE SHED FINISH
- DR HOLLOW METAL DOOR - PAINT TO MATCH SHEPHERD WILLIAMS #7004 BACKDROP
- DZ OVENHANG METAL DOOR - PAINT TO MATCH SHEPHERD WILLIAMS #7004 BACKDROP
- DD CLEAR ANODIZED ALUMINUM COMMERICAL GRADE 6'0" DEEP FRONT GLASS DOOR
- DD # 3/4" W/ THROUGH WALL SLOOPER, COLLECTOR AND DOWNCOURT PAINT TO MATCH ALUMINUM SURFACE
- EA 1-4 DEEP REVEAL EXPANSION JOINT
- L LIGHT FEATURE
1 TYPE
L1 = LED FROGLI IN ALL SCENES DOWNHILL ONLY
L2 = LED FROGLI IN ALL SCENES DOWNHILL ONLY
L3 = 2' FOOT LED WASH LIGHT DOWNHILL ONLY
L4 = WALL PACK DOWNHILL ONLY
CONTACT STEVE FREEMAN 1.263.344.5476 WITH CREW LIGHTING FOR ORDERING LIGHTING AND ELECTRICALS
- WF METAL FLASH - PAINT TO MATCH SHEPHERD WILLIAMS QUICK QUACK GREEN (GREEN)
- P # PIPE BOLLARD FILLED WITH CONCRETE - MATCH SHEPHERD WILLIAMS #8802 CHEERFUL (YELLOW)
- R 2 WIDE 2 1/4" DEEP CLEAR ANODIZED ALUMINUM PLASTER REVEAL
- RF METAL ROOF FLASH - MATCH SHEPHERD WILLIAMS QUICK QUACK GREEN (GREEN)
- RO P-C ROOF OVERHANG SLOOPER - PAINT TO MATCH ADJACENT BRN
- S FINISH BY OTHERS SHOWN DASHED FOR REFERENCE ONLY UNLESS OTHERWISE PERMIT GENERAL CONTRACTOR TO COORDINATE WITH SIGN CONTRACTOR
- EA STAINLESS STEEL METAL ROOF FLASH (SEE LUGS - DRAWING)
- TI METAL IN ALL CASES BY SYSTEM - COLOR TO MATCH SHEPHERD WILLIAMS QUICK QUACK GREEN
- TR BRICK CANOPY THE BACK SYSTEM - COLOR TO MATCH SHEPHERD WILLIAMS QUICK QUACK GREEN
- V 24 WIDE 3/4" HIGH VENT - PAINT TO MATCH ALUMINUM FINISH
- W1 EXTENSION WINDOW ASSEMBLY - TEMPERED GLASS CLEAR ANODIZED ALUMINUM STORE FRONT
- W2 LEFT SIDE RAIN WINDOW ASSEMBLY - WITH IN BLACK CHROMIUM FINISH TEMPERED SPANGLER GLASS CLEAR ANODIZED ALUMINUM STORE FRONT



NORTH ELEVATION SCALE 3/16" = 1'-0" 1

Client
QUICK QUACK CAR WASH
1380 LEAD HILLS BLVD STE 260
ROSEVILLE CA 95661

Revisions:

No	Description	Date
1	ENTIREMENT PACKAGE	12/01/2021
2	CLIENT COORDINATION	01/19/2022

Project No: 210813
Drawn By: AutoCAD
Reviewed By:
Scale: As Indicated
Fastener:
Sheet Title:

EXTERIOR ELEVATIONS

Sheet #
A 3.02

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A Project for



(STORE 26-620)
 CAMEO DR & MERRYCHASE DR.
 CAMERON PARK, CA



TO PARAPET 2'-0"
 TO PARAPET ORU 1'-0"
 TO PARAPET ORU 1'-0"
 TO PARAPET 2'-0"
 TO PARAPET 2'-0"
 EQUIPMENT ROOM FRESH FLOOR 0'-0"

TO ROOF 2'-0"
 TO ARCH 2'-0"
 TO ARCH 2'-0"
 TO PARAPET ORU 1'-0"
 TO PARAPET 2'-0"
 CEILING 0'-0"

WEST ELEVATION

SCALE
 3/16" = 1'-0"

2



TO PARAPET ORU 1'-0"
 TO PARAPET ORU 1'-0"
 CEILING 0'-0"

TO ROOF 2'-0"
 TO ARCH 2'-0"
 TO ARCH 2'-0"
 TO CAR OPENS 0'-0"
 EQUIPMENT ROOM FRESH FLOOR 0'-0"

SOUTH ELEVATION

SCALE
 3/16" = 1'-0"

1

Client: QUICK QUACK CAR WASH

1380 LEAD HILLS BLVD STE 260
 ROSEVILLE CA 95661

Revisions

INSTALLMENT PACKAGED	12/01/2021	
CLIENT COORDINATION	09/09/2021	
No	Description	Date
Project No	210813	
Drawn By	Auto	
Reviewed By		
Scale	3/16" = 1'-0"	
Date		
Filename		
Sheet Title		

EXTERIOR
 ELEVATIONS

Sheet #

A 3.03

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A Project for

Quick Quack CAR WASH
 Dont Drive Dirty.com
 (STORE 26-620)
 CAMERO DR & MERRYCHASE DR.
 CAMERON PARK, CA



TO ROOF 26'-0"
 TO PLASTER 22'-0"
 TO TRUSS TO BACK 18'-0"
 TO TRUSS 14'-0"
 TO WINDOW 17'-0"
 12'-0"
 TO BRICK/COT 3'-0"
 EQUIPMENT ROOM, FINISH FLOOR 8'-0"

TO PARAPET 21'-0"
 21'-0"
 TO WINDOW 17'-0"
 17'-0"

EAST ELEVATION

SCALE
 3/16" = 1'-0"

2



TO FINISH FLOOR 12'-0"
 TO CAR OPENING 19'-0"
 TO BRICK/COT 3'-0"

TO PARAPET 21'-0"
 TO DOOR 8'-0"
 EQUIPMENT ROOM, FINISH FLOOR 8'-0"

NORTH ELEVATION

SCALE
 3/16" = 1'-0"

1

Client: QUICK QUACK CAR WASH

1380 LEAD HILLS BLVD. STE. 260
 ROSEVILLE CA 95661

Revisions

No	Description	Date
1	ESTIMATE/PERMIT PACK/AR	12-01-2021
2	CLIENT CONTRACT/ORDINATION	09-19-2021
3	Project No	210813
4	Drawn By	AJWA
5	Reviewed By	
6	Scale	3/16" = 1'-0"
7	Date	
8	Revision	
9	Sheet Title	

EXTERIOR ELEVATIONS

Sheet #

A 3.04

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SOUTHWEST PERSPECTIVE ILLUSTRATION

SCALE
N.T.S.

2



NORTHEAST PERSPECTIVE ILLUSTRATION

SCALE
N.T.S.

1



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A Project for:



(STORE 26-620)
CAMERO DR. & MERRYCHASE
DR. CAMERON PARK, CA

Client:
QUICK QUACK CAR WASH
1380 LEAD HILLS BLVD. STE 250
ROSEVILLE CA 95661

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CLIENT COORDINATION 06/09/2024
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Project No 210813
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Scale
Date
Filename
Sheet Title

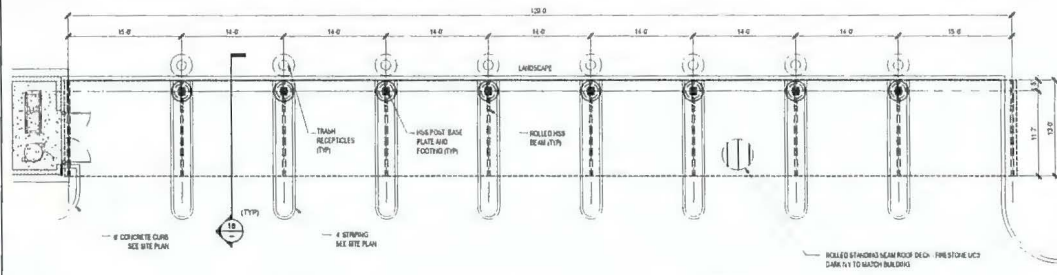
PERSPECTIVES

Sheet #
A 3.05

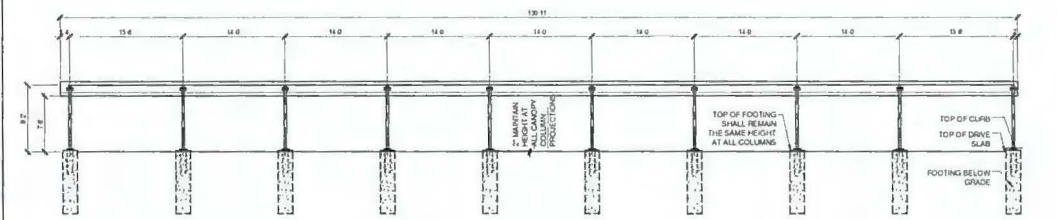
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NORTH VACUUM CANOPY
PHOTO SCALE N.T.S. 15



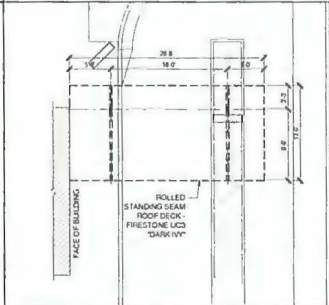
NORTH VACUUM CANOPY
FLOOR PLAN SCALE 1/8" = 1'-0" 4



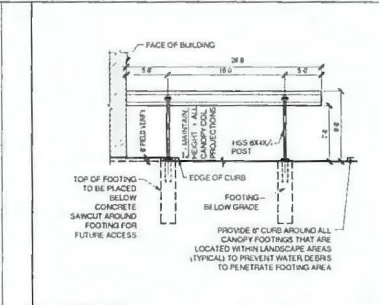
NORTH VACUUM CANOPY
ELEVATION SCALE 1/8" = 1'-0" 3



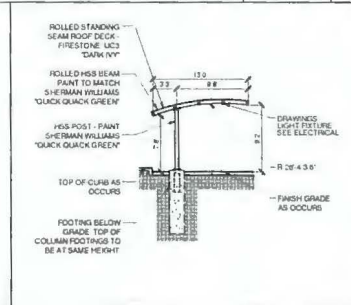
PAY STATION CANOPY
PHOTO SCALE N.T.S. 13



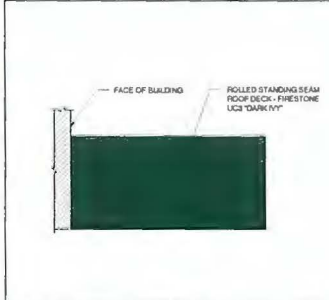
PAY STATION CANOPY
FLOOR PLAN SCALE 1/8" = 1'-0" 10



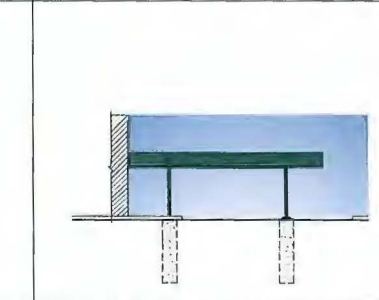
PAY STATION CANOPY
ELEVATION SCALE 1/8" = 1'-0" 6



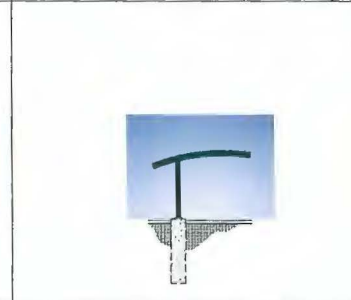
TYPICAL CANOPY
SECTION SCALE 1/8" = 1'-0" 2



PAY STATION CANOPY
COLOR ROOF PLAN SCALE 1/8" = 1'-0" 9



PAY STATION CANOPY
COLOR ELEVATION SCALE 1/8" = 1'-0" 5



TYPICAL CANOPY
COLOR SECTION SCALE 1/8" = 1'-0" 1



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A Project for:



(STORE 26-620)
CAMEO & MERRYCHASE DRIVE
CAMERON PARK, CA

Client:
QUICK QUACK CAR WASH
1380 LEAD HILL BLVD., STE 208
ROSEVILLE, CA 95661

Revision:	
Client Coordination	11/29/2021
No. Description	Date
Project No.:	210613
Drawn By:	TC
Reviewed By:	
Scale:	AS NOTED
Date:	
Author:	
Sheet Title:	

NORTH VACUUM CANOPY

Sheet #:

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A Project is:



(STORE 26-620)
 CAMEO & MERRYCHASE DRIVE
 CAMERON PARK, CA

QUICK QUACK CAR WASH
 1380 LEAD HILL BLVD., STE. 208
 ROSEVILLE, CA 95661

Revisions:

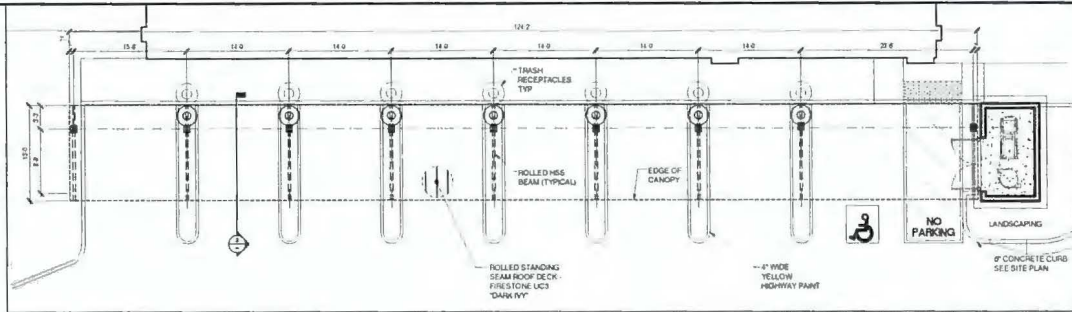
CLIENT COORDINATION	11/29/2021	
No.	Description	Date
Project No.:	210813	
Drawn By:	TC	
Reviewed By:		
Scale:	AS NOTED	
Drawn:		
Fastener:		
Sheet Title:		

SOUTH VACUUM CANOPY

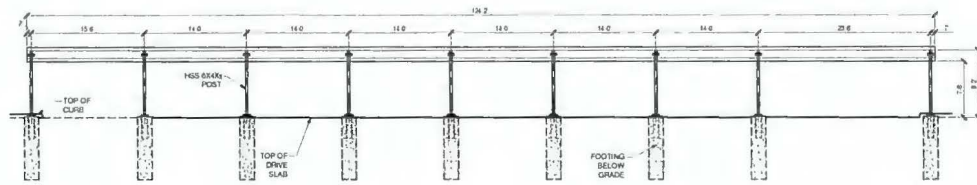
Sheet #

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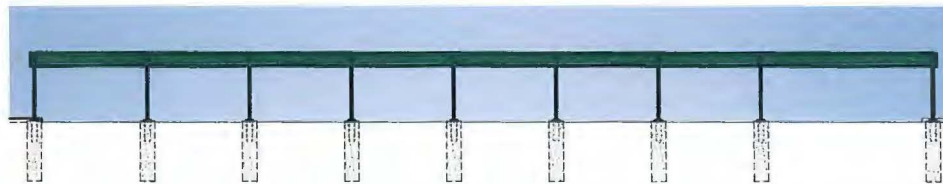
SOUTH VACUUM CANOPY SCALE 1/8" = 1'-0" 4
 FLOOR PLAN



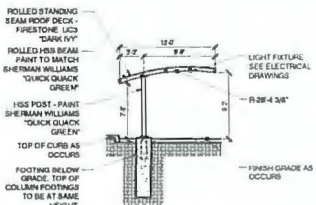
SOUTH VACUUM CANOPY SCALE 1/8" = 1'-0" 3
 ELEVATION



SOUTH VACUUM CANOPY SCALE 1/8" = 1'-0" 2
 ROOF PLAN



SOUTH VACUUM CANOPY SCALE 1/8" = 1'-0" 1
 COLOR ELEVATION TYPICAL



TYP. CANOPY SECTION SCALE 1/8" = 1'-0" 17
 DETAIL



TYP. CANOPY SIDE ELEVATION SCALE 1/8" = 1'-0" 13
 COLORED



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A Project for:



Client:
QUICK QUACK CAR WASH
 1380 LEAD HILL BLVD, STE. 208
 ROSEVILLE, CA 95661

Revision:	
Client Coordination	11/29/2021
Project No.	210813
Drawn By	TC
Reviewed By	
Scale	AS NOTED
Date	
Filename	
Sheet Title	

SITE ELEMENTS

AS 5.03

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<p>ACCESS NOTES</p> <ol style="list-style-type: none"> ACCESS GATE SHALL BE EQUIPPED WITH SINGLE-EFFORT NON-CRASH HARDWARE CENTERED BETWEEN 3" AND 4" ABOVE FLOOR. THE OPENING FORCE FOR ACCESS GATE SHALL NOT EXCEED 9 LBS. IF THE ACCESS GATE HAS A CLOSER, THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION 90 DEGREES THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 15 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM PER 2019 IBC. ACCESS GATE LANDING SHALL HAVE A MAXIMUM SLOPE NOT TO EXCEED 2% IN ANY DIRECTION. BOTTOM 12" OF ACCESS SHALL BE OF A SMOOTH SURFACE. PROVIDE LOCK FOR ACCESS GATE AS REQUESTED BY OWNER. PROVIDE CLEARANCES FOR ACCESS GATE AS SHOWN BELOW. OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PUNCHING OR TWISTING OF THE WRIST PER 2019 IBC. SWINGING DOOR AND GATE SURFACES WITHIN 12" OF FLOOR OR GROUND MEASURED VERTICALLY SHALL HAVE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING FULL WIDTH OF THE DOOR OR GATE PER 2019 IBC. 	<p>SEE DETAIL #13 FOR ADDITIONAL INFORMATION</p>	<p>ACCESSIBLE MAN GATE EQUIP WITH ACCESSIBLE STORAGE LOCKETS. COMMERCIAL HARDWARE ONLY PER IBC. SEE ACCESS NOTE #8.</p>	
<p>ACCESSIBLE NOTES</p> <p>SCALE: 1/4" = 1'-0"</p> <p>19</p>	<p>MESH DETAIL</p> <p>SCALE: 1-1/2" = 1'-0"</p> <p>17</p>	<p>TRASH ENCLOSURE</p> <p>SCALE: 1/4" = 1'-0"</p> <p>12</p>	<p>TRASH ENCLOSURE</p> <p>SCALE: 1/4" = 1'-0"</p> <p>3</p>
<p>CONCRETE DOME</p> <p>NO STANDING STEEL PIPE FILLED WITH CONCRETE. PROVIDE DOMES LIGHT WASH CAP PAINT PIPE AND CAP WITH COATINGS OF YELLOW PAINT.</p> <p>BUILT UP AS PAVING IF ANCHOR PIPE. TYPICAL AT A.C. PAVING.</p> <p>NOTES:</p> <ol style="list-style-type: none"> THREE PIPE GUARDRAILS ARE TO BE INSTALLED AT INTERSECTIONS, CURVES, TRANSFORMATIONS, SIDEWALKS, ETC. CONTRACTOR SHALL VERIFY EXACT LOCATION AND HEIGHT WITH RESPECTIVE UTILITY COMPANY. REFER TO PLANS FOR BOLLARD LOCATIONS. 	<p>PAINT ALL STEEL TO MATCH ADJACENT BUILDING COLORED. TYP.</p>	<p>THIN BRICK TO MATCH BUILDING OVER FINISH OR 1-1/2\"/> </p>	
<p>PIPE BOLLARD</p> <p>SCALE: 1/2" = 1'-0"</p> <p>18</p>	<p>SLEEVE HINGE DETAIL</p> <p>SCALE: 1-1/2" = 1'-0"</p> <p>13</p>	<p>TRASH ENCLOSURE</p> <p>SCALE: 1/4" = 1'-0"</p> <p>11</p>	<p>TRASH ENCLOSURE</p> <p>SCALE: 1/4" = 1'-0"</p> <p>3</p>
<p>WELD 1/4\"/> </p>	<p>WALL SECTION</p> <p>SCALE: 1/2" = 1'-0"</p> <p>13</p>	<p>VACUUM ENCLOSURE</p> <p>SCALE: 1/4" = 1'-0"</p> <p>10</p>	<p>MASONRY TRASH ENCLOSURE</p> <p>SCALE: 1/4" = 1'-0"</p> <p>1</p>