

Community Region/Rural Center Land Uses Provide EDC

- JOBS = 40,000 jobs
- COMMERCIAL/INDUSTRIAL
- HOSPITALS, SCHOOLS, Public Facilities
- COMPACT HOUSING meeting State Mandated "Smart Growth" requirements

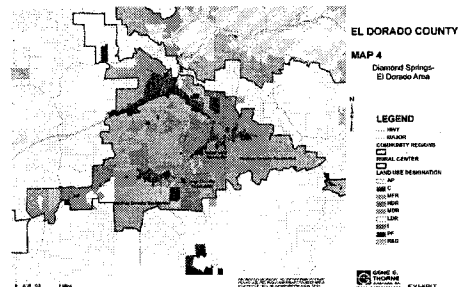
State Mandated Smart Growth Requirements

- SB 375 Blueprint
 - / Regional Transportation Plan
 - / Sustainable Communities
- AB 32 Emission targets
- Regional Housing Needs Allocation (RHNA)

Community Regions Must Accommodate (RHNA) Compact Residential Requirements

- RHNA = Zoning, not buildings (for now).
- ZONE FOR 4,000 AFFORDABLE UNITS
- (MFR) Multi-Family Residential with sewer only land use that meets RHNA affordable housing requirements.
 - APPROACHING ZERO SUM for Multi-Family Residential (MFR) lands.

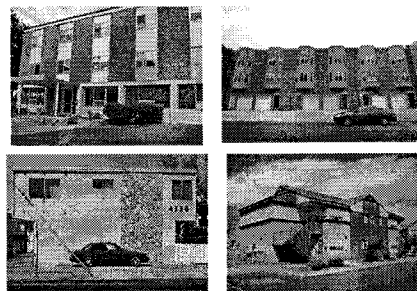
Diamond Springs-El Dorado CR Land Uses Per GP (LU-1)



MUD/Residential Component

- MEETS RHNA
 - Provides Compact Housing for \$ 80,000 income families.
 - Meets future RHNA for high density housing.
 - Alternative - All MFR will be limited to affordable housing.
- SEPARATE PARCELS allows home ownership.
- FLEXIBLE COMPACT DESIGNS PROVIDE HOME OWNERSHIP ALTERNATIVES TO AFFORDABLE HOUSING APARTMENTS.

Unfavorable Residential Images



Visions of MUD Residential

- Duplexes (6-8 units per acre)



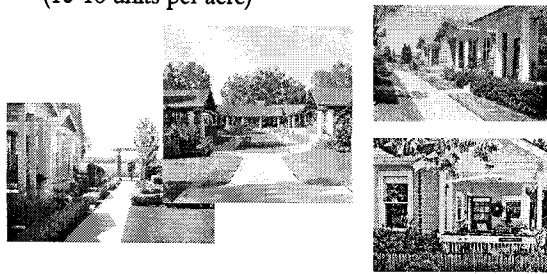
Visions of MUD Residential

- Small lot single family with secondary units / carriage houses (10-16 units per acre)



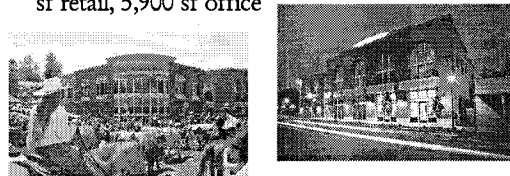
Visions of MUD Residential

- Bungalow courts and Cottages (10-16 units per acre)



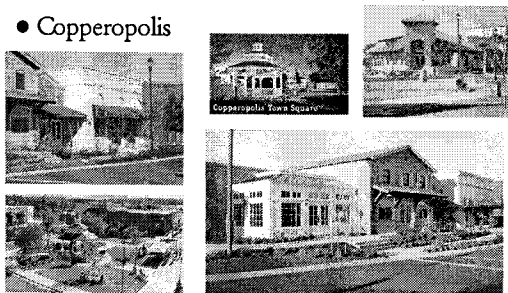
Example of a Vertical Mixed Use Project

- Sutter Street Mixed Use Project
 ½ acre, 8 residential units (27 units/acre), 11,000 sf retail, 5,900 sf office



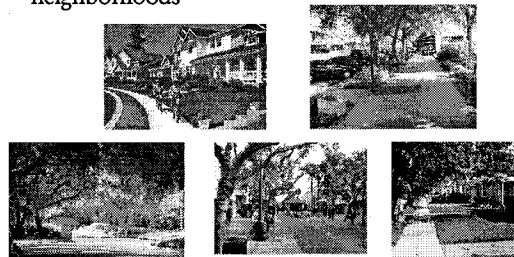
Example of a Horizontal Mixed Use Project

- Copperopolis



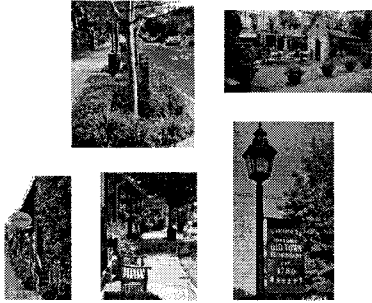
MUD Requires Specific Street Designs and Parking Standards

- Create pedestrian-friendly and healthy neighborhoods



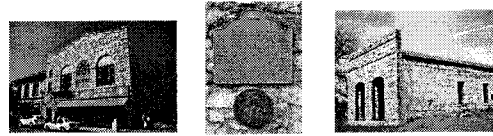
MUD Emphasizes Pedestrian-Scale and Creating a Sense of Place

- Streetscaping
- Landscaping
- Signage
- Lighting



Other MUD Design Standards

- Hillside
- Historic Districts



MUD Phase I – Project level

- Limited to GP Commercial within CR/RC (2/10 of 1% of EDC).
- 24 DU/Acre in CR and 4 DU/Acre in RC.
 - Meets future RHNA (CR with Sewer)
 - Provides Moderate Housing (\$ 80,000 income)

MUD Phase I – Project level cont'd

- Allows MUD vertically and/or horizontally.
- Allows a full range of design concepts.
- Allows residential on separate parcels.
- Implemented in the interim with a Planned Development Permit.

MUD Phase II

- Identify and articulate a MUD vision for a district or neighborhood.
- Create uniform MUD development standards.



MUD Phase II cont'd

- Develop a MUD Form Based Code.
How does this differ from conventional zoning?

Conventional zoning focuses on use and ignores public realm.

Form based codes emphasize building form and creation of high quality public spaces.

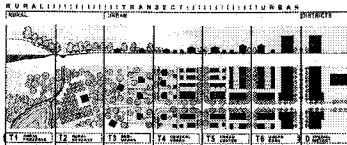


MUD Phase II cont'd

- Develop transects within each community.

What is a transect?

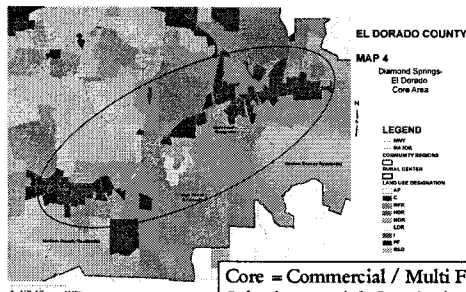
- Transects organize the built environment into “zones” according to intensity of development. Development standards are then tailored to each zone or transect.



MUD Phase II cont'd

- Identify unique community design guidelines for El Dorado, Diamond Springs, Camino, Shingle Springs, Georgetown, Pollock Pines, and Cool.
 - Public realm
 - Site design
 - Building form
 - Land use requirements
 - Architectural standards

Example of Core to Rural Transects



Core = Commercial / Multi Family
 Suburban = High Density (HDR)
 "Rural" = Medium Density (MDR)

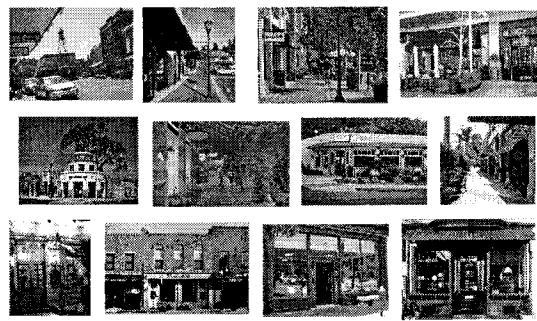
MUD Phase II cont'd

- Update the Zoning Code to conform to the transects.
- Incorporate the MUD Form Based Code as a complimentary element of the existing Zoning Code.
- **THE END RESULT?** A useful tool to deliver successful mixed use developments...

... Visions of Residential Component



... Visions of Commercial Component



Questions?