

Exhibit A



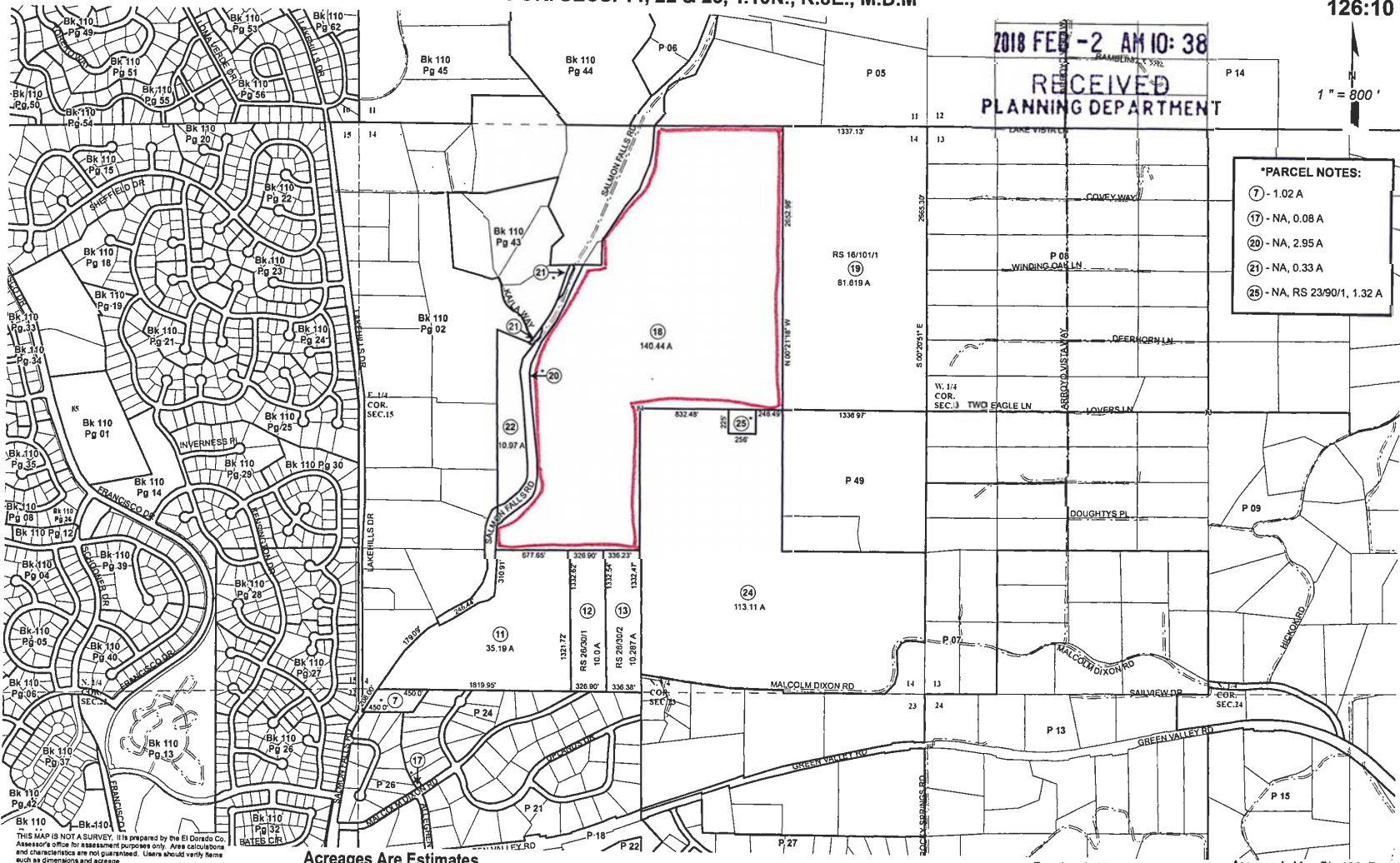
POR. SECS. 14, 22 & 23, T.10N., R.8E., M.D.M

126:10

2018 FEB -2 AM 10:38
 RECEIVED
 PLANNING DEPARTMENT

1" = 800'

- *PARCEL NOTES:**
- ⑦ - 1.02 A
 - ⑰ - NA, 0.08 A
 - ⑳ - NA, 2.95 A
 - ㉑ - NA, 0.33 A
 - ㉒ - NA, RS 23/90/1, 1.32 A



Acreages Are Estimates

Rev. Aug 8, 2013

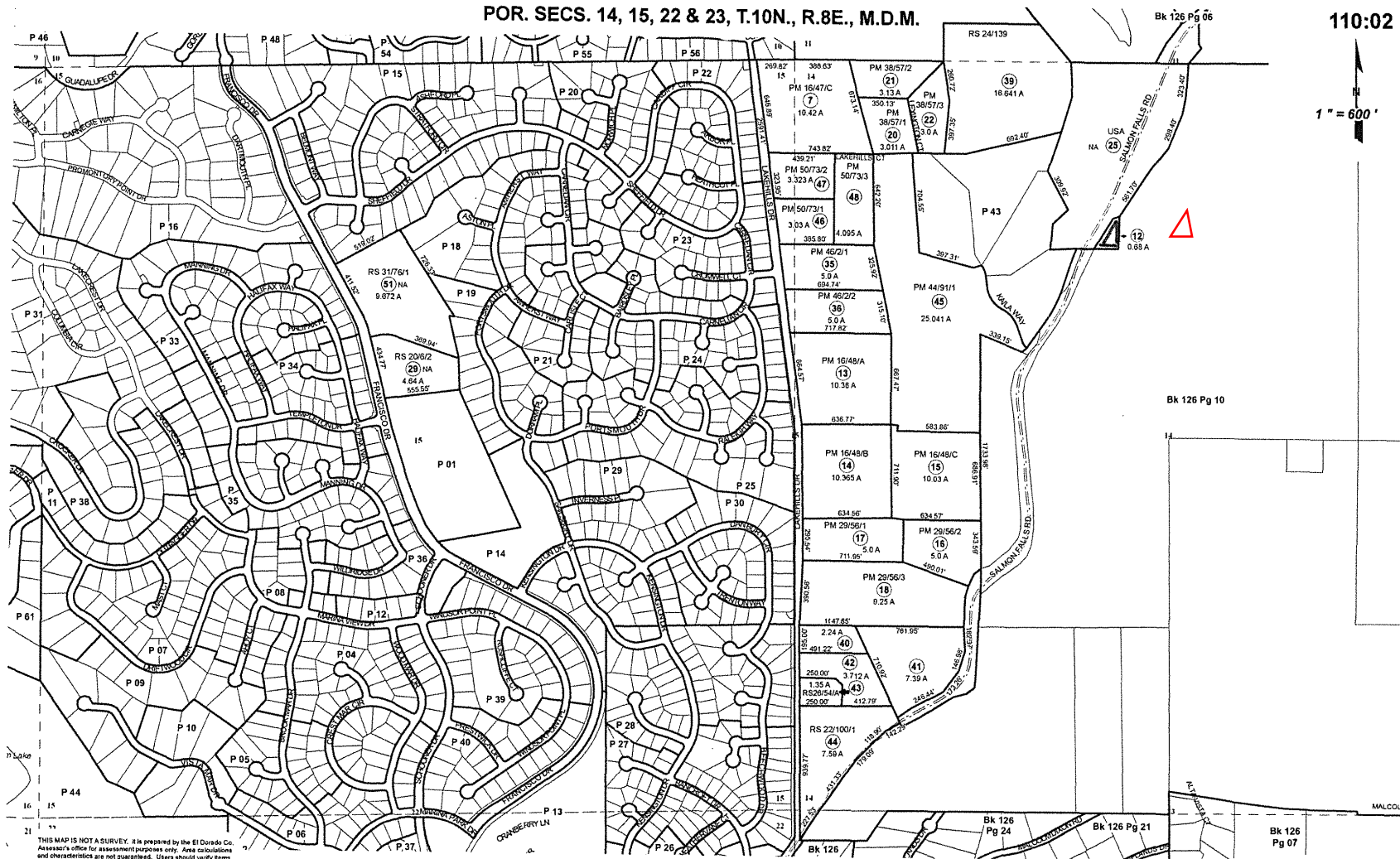
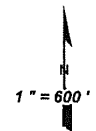
Assessor's Map Bk. 126, Pg. 10
 County of El Dorado, CA

Exhibit B

TM08-1463-F

POR. SECS. 14, 15, 22 & 23, T.10N., R.8E., M.D.M.

110:02



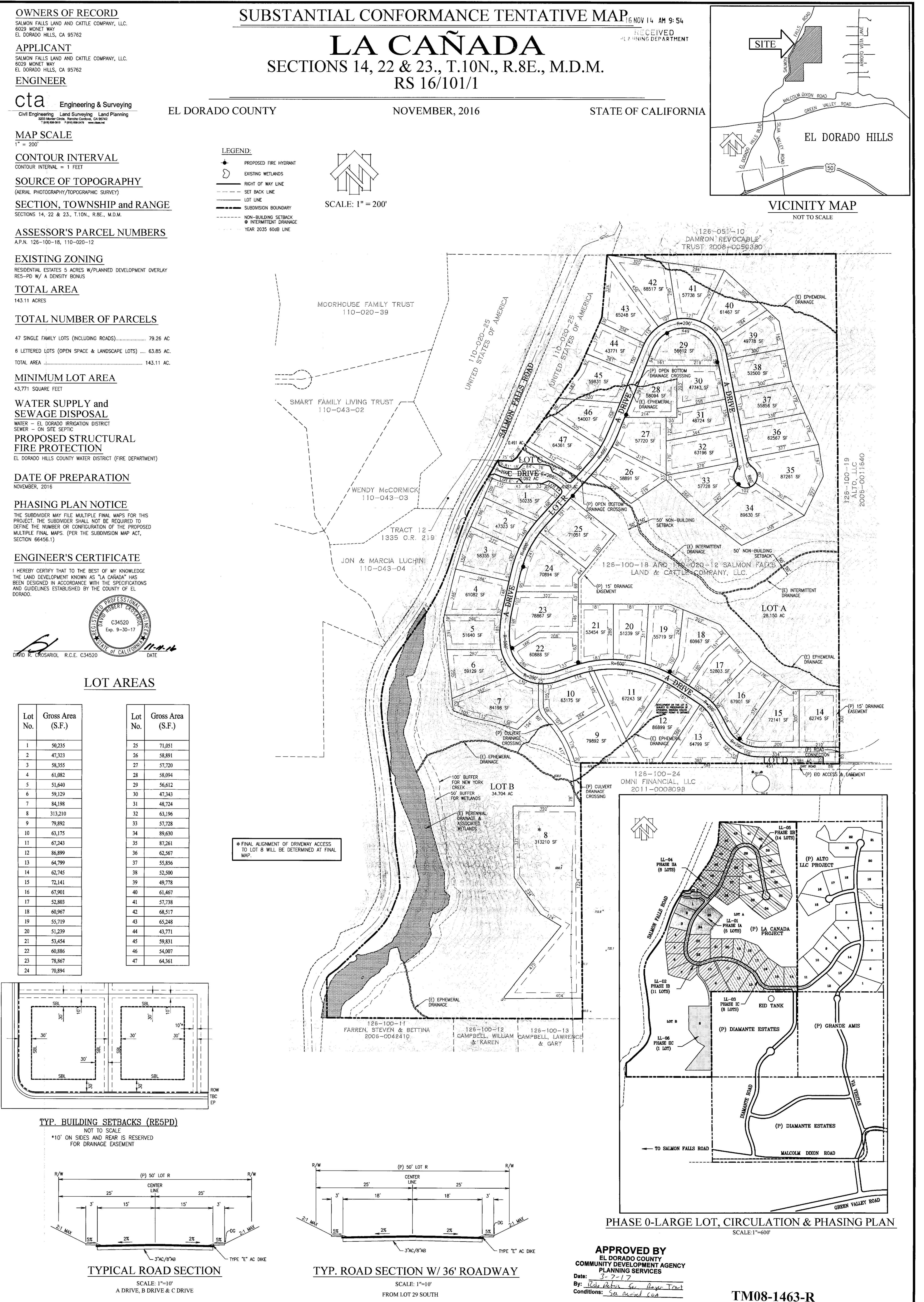
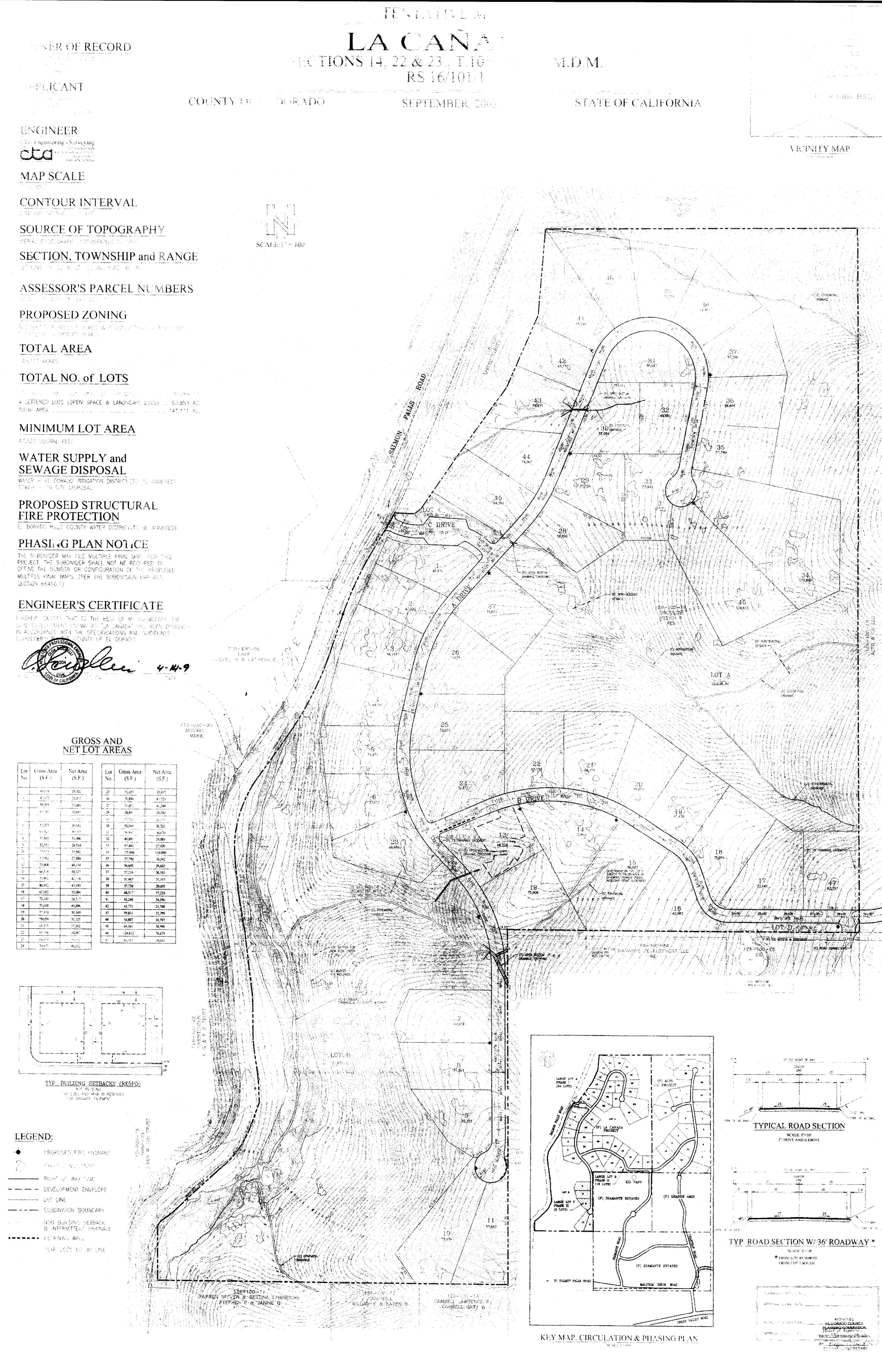
THIS MAP IS NOT A SURVEY. It is prepared by the El Dorado Co. Assessor's office for assessment purposes only. Area calculations and observations are not guaranteed. Users should verify items such as dimensions and acreage.

Acreages Are Estimates

Adjacent Map Pages Shown in Grey Text
Assessor's Block Numbers Shown in Italics
Assessor's Parcel Numbers Shown in Circles

Rev. Apr. 20, 2012

Assessor's Map Bk. 110, Pg. 02
County of El Dorado, CA



LARGE LOT FINAL MAP OF: LA CAÑADA

PORTIONS OF THE N $\frac{1}{2}$ & SW $\frac{1}{4}$, SECTION 14, T.10N., R.8E., M.D.M.
COUNTY OF EL DORADO STATE OF CALIFORNIA
JANUARY, 2019



SHEET 1 OF 2

OWNER'S STATEMENT

THE UNDERSIGNED OWNER OF RECORD TITLE INTEREST HEREBY CONSENTS TO THE PREPARATION AND FILING OF THIS MAP.

SALMON FALLS LAND AND CATTLE COMPANY LLC,
A CALIFORNIA LIMITED LIABILITY COMPANY

BY: _____
NAME: _____
TITLE: _____

NOTARY ACKNOWLEDGMENT

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF CALIFORNIA)
) SS
COUNTY OF _____)
ON _____, BEFORE ME, _____, A
NOTARY PUBLIC,

PERSONALLY APPEARED _____, WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE, TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND.

PRINCIPLE COUNTY OF BUSINESS _____
COMMISSION NO: _____
COMMISSION EXPIRES: _____

NAME _____

TRUSTEE'S STATEMENT

THE UNDERSIGNED AS TRUSTEE UNDER DEED OF TRUST, RECORDED AUGUST 17, 2015, AS INSTRUMENT NO. 2015-0038455, OFFICIAL RECORDS OF EL DORADO COUNTY, HEREBY CONSENT TO THE PREPARATION AND FILING OF THIS MAP.

PLACER FORECLOSURE, INC.

NAME _____
TITLE _____

NOTARY ACKNOWLEDGMENT

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF CALIFORNIA)
) SS
COUNTY OF _____)
ON _____, BEFORE ME, _____, A
NOTARY PUBLIC,

PERSONALLY APPEARED _____, WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE, TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND.

PRINCIPLE COUNTY OF BUSINESS _____
COMMISSION NO: _____
COMMISSION EXPIRES: _____

NAME _____

SURVEYOR'S STATEMENT

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION, THE SURVEY IS TRUE AND COMPLETE AND IS BASED UPON A FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCES AT THE REQUEST OF SALMON FALLS LAND AND CATTLE COMPANY LLC IN APRIL, 2016 I HEREBY STATE THAT THIS FINAL MAP SUBSTANTIALLY CONFORMS TO THE CONDITIONALLY APPROVED TENTATIVE MAP AND THAT THE MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED, AND THAT SAID MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

DATE: _____



KEVIN A. HEENEY LS 5914

PLANNING AND BUILDING DIRECTOR'S STATEMENT

I, TIFFANY SCHMID, HEREBY STATE THAT THIS FINAL MAP CONFORMS SUBSTANTIALLY TO THE TENTATIVE MAP OF THIS SUBDIVISION APPROVED ON JANUARY 19, 2010 BY THE BOARD OF SUPERVISORS AND ANY APPROVED ALTERATIONS THEREOF AND THAT ALL CONDITIONS IMPOSED UPON SAID APPROVALS HAVE BEEN SATISFIED.

DATE: _____

TIFFANY SCHMID
DIRECTOR, PLANNING & BUILDING DEPARTMENT
COUNTY OF EL DORADO, CALIFORNIA
BY: _____
PRINCIPAL PLANNER
COUNTY OF EL DORADO, CALIFORNIA

COUNTY ENGINEER'S STATEMENT

I, ANDREW S. GABER, THE UNDERSIGNED, HEREBY STATE THAT THERE ARE NO IMPROVEMENTS REQUIRED AT THIS TIME, AND THAT THE ROADS SHOWN HEREON SHALL BE CONSTRUCTED WITH THE FILING OF EACH SUBSEQUENT FINAL MAP FOR THIS PROJECT.

DATE: _____

ANDREW S. GABER, RCE 45187
COUNTY ENGINEER
COUNTY OF EL DORADO, CALIFORNIA

COUNTY SURVEYOR'S STATEMENT

I HAVE EXAMINED THE MAP, THE SUBDIVISION AS SHOWN IS SUBSTANTIALLY THE SAME AS IT APPEARED ON THE TENTATIVE MAP, IF REQUIRED, AND ANY APPROVED ALTERATIONS THEREOF. ALL PROVISIONS OF CHAPTER 2 OF THE SUBDIVISION MAP ACT AND OF ANY LOCAL ORDINANCES APPLICABLE AT THE TIME OF APPROVAL OF THE TENTATIVE MAP, IF REQUIRED, HAVE BEEN COMPLIED WITH. I AM SATISFIED THAT THE MAP IS TECHNICALLY CORRECT.

DATE: _____

PHILIP R. MOSBACHER, L.S. 7189
COUNTY SURVEYOR
COUNTY OF EL DORADO, CALIFORNIA

BY: _____
DEPUTY SURVEYOR
COUNTY OF EL DORADO, CALIFORNIA

COUNTY TAX COLLECTOR'S STATEMENT

I, C.L. RAFFETY, HEREBY STATE THAT, ACCORDING TO THE RECORDS OF THIS OFFICE, THERE ARE NO LIENS AGAINST THIS SUBDIVISION OR ANY PART THEREOF FOR UNPAID STATE, COUNTY, MUNICIPAL OR LOCAL TAXES OR SPECIAL ASSESSMENTS COLLECTED AS TAXES, EXCEPT TAXES OR SPECIAL ASSESSMENTS NOT YET PAYABLE, PROVIDED THAT THE FINAL MAP IS ACCEPTED FOR RECORD AND FILED PRIOR TO THE NEXT SUCCEEDING LIEN DATE.

DATE: _____

C.L. RAFFETY
TAX COLLECTOR
COUNTY OF EL DORADO, CALIFORNIA
BY: _____
DEPUTY

BOARD CLERK'S STATEMENT

I, JAMES S. MITRISIN, HEREBY STATE THAT THE BOARD OF SUPERVISORS, BY ORDER ON _____, ADOPTED AND APPROVED THIS FINAL MAP OF THIS SUBDIVISION.

DATE: _____

JAMES S. MITRISIN
CLERK OF THE BOARD OF SUPERVISORS
COUNTY OF EL DORADO, CALIFORNIA

BY: _____
DEPUTY

COUNTY RECORDER'S CERTIFICATE

FILED THIS _____ DAY OF _____, 20____ AT _____:____, IN BOOK _____, OF MAPS, AT PAGE _____, DOCUMENT NO. _____, AT THE REQUEST OF SALMON FALLS LAND AND CATTLE COMPANY LLC.

TITLE TO THE LAND INCLUDED IN THIS SUBDIVISION IS GUARANTEED BY TITLE CERTIFICATE NO. _____
PREPARED BY PLACER TITLE COMPANY AND IS ON FILE IN THIS OFFICE.

JANELLE K. HORNE
COUNTY RECORDER, CLERK
COUNTY OF EL DORADO, CALIFORNIA

BY: _____
DEPUTY

LARGE LOT FINAL MAP OF: LA CAÑADA

PORTIONS OF THE N½ & SW ¼, SECTION 14, T.10N., R.8E., M.D.M.
COUNTY OF EL DORADO STATE OF CALIFORNIA
JANUARY, 2019 SCALE: 1"=200'

cta Engineering & Surveying

SHEET 2 OF 2

NOTICE OF RESTRICTIONS

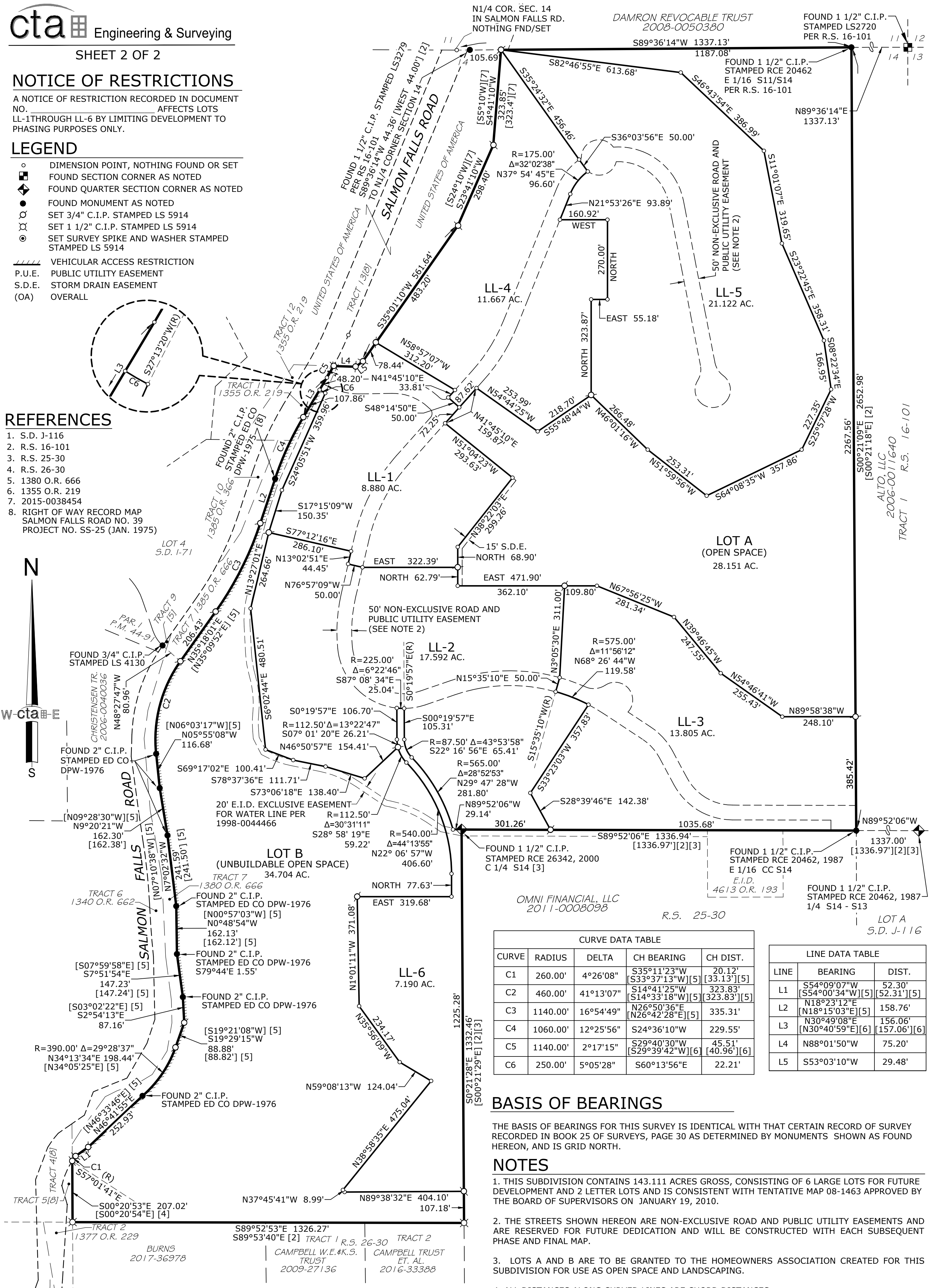
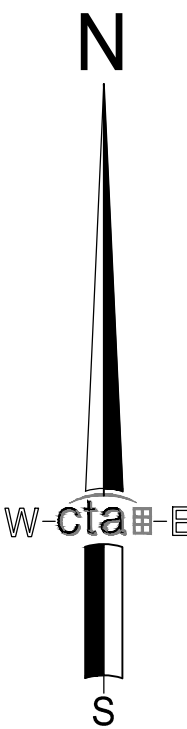
A NOTICE OF RESTRICTION RECORDED IN DOCUMENT NO. _____ AFFECTS LOTS LL-1 THROUGH LL-6 BY LIMITING DEVELOPMENT TO PHASING PURPOSES ONLY.

LEGEND

- DIMENSION POINT, NOTHING FOUND OR SET
- ◻ FOUND SECTION CORNER AS NOTED
- ◼ FOUND QUARTER SECTION CORNER AS NOTED
- FOUND MONUMENT AS NOTED
- SET 3/4" C.I.P. STAMPED LS 5914
- SET 1 1/2" C.I.P. STAMPED LS 5914
- SET SURVEY SPIKE AND WASHER STAMPED LS 5914
- //// VEHICULAR ACCESS RESTRICTION
- P.U.E. PUBLIC UTILITY EASEMENT
- S.D.E. STORM DRAIN EASEMENT
- (OA) OVERALL

REFERENCES

1. S.D. J-116
2. R.S. 16-101
3. R.S. 25-30
4. R.S. 26-30
5. 1380 O.R. 666
6. 1355 O.R. 219
7. 2015-0038454
8. RIGHT OF WAY RECORD MAP SALMON FALLS ROAD NO. 39 PROJECT NO. SS-25 (JAN. 1975)



CURVE	RADIUS	DELTA	CH BEARING	CH DIST.
C1	260.00'	4°26'08"	S35°11'23"W [S33°37'13"W][5]	20.12' [33.13'] [5]
C2	460.00'	41°13'07"	S14°41'25"W [S14°33'18"W][5]	323.83' [323.83'] [5]
C3	1140.00'	16°54'49"	N26°50'36"E [N26°42'28"E][5]	335.31'
C4	1060.00'	12°25'56"	S24°36'10"W	229.55'
C5	1140.00'	2°17'15"	S29°40'30"W [S29°39'42"W][6]	45.51' [40.96'] [6]
C6	250.00'	5°05'28"	S60°13'56"E	22.21'

LINE	BEARING	DIST.
L1	S54°09'07"W [S54°00'34"W][5]	52.30' [52.31'] [5]
L2	N18°23'12"E [N18°15'03"E][5]	158.76'
L3	N30°49'08"E [N30°40'59"E][6]	156.06' [157.06'] [6]
L4	N88°01'50"W	75.20'
L5	S53°03'10"W	29.48'

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS IDENTICAL WITH THAT CERTAIN RECORD OF SURVEY RECORDED IN BOOK 25 OF SURVEYS, PAGE 30 AS DETERMINED BY MONUMENTS SHOWN AS FOUND HEREON, AND IS GRID NORTH.

NOTES

1. THIS SUBDIVISION CONTAINS 143.111 ACRES GROSS, CONSISTING OF 6 LARGE LOTS FOR FUTURE DEVELOPMENT AND 2 LETTER LOTS AND IS CONSISTENT WITH TENTATIVE MAP 08-1463 APPROVED BY THE BOARD OF SUPERVISORS ON JANUARY 19, 2010.
2. THE STREETS SHOWN HEREON ARE NON-EXCLUSIVE ROAD AND PUBLIC UTILITY EASEMENTS AND ARE RESERVED FOR FUTURE DEDICATION AND WILL BE CONSTRUCTED WITH EACH SUBSEQUENT PHASE AND FINAL MAP.
3. LOTS A AND B ARE TO BE GRANTED TO THE HOMEOWNERS ASSOCIATION CREATED FOR THIS SUBDIVISION FOR USE AS OPEN SPACE AND LANDSCAPING.
4. ALL DISTANCES ALONG CURVED LINES ARE CHORD DISTANCES.