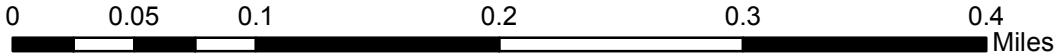
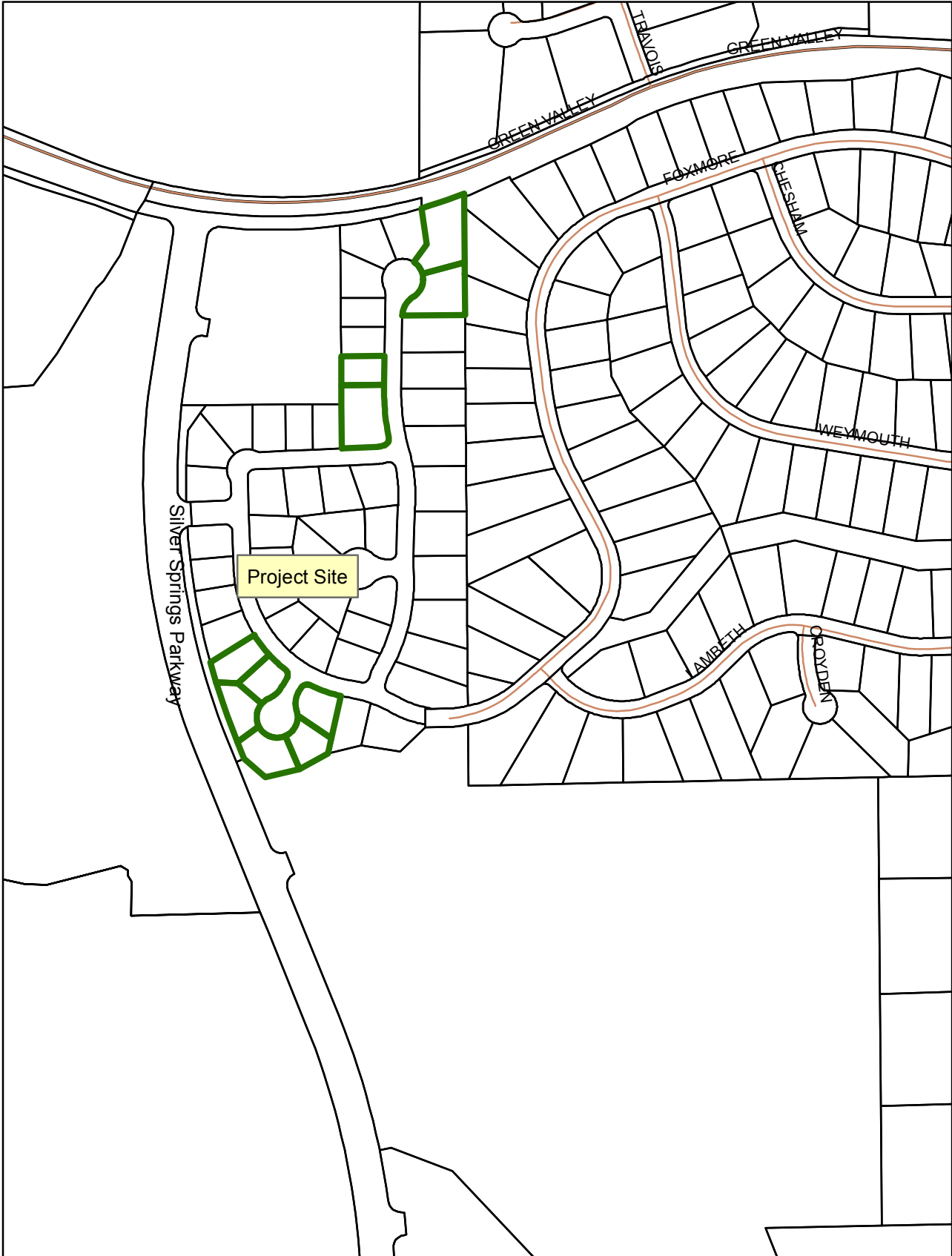


TM-C18-0001
Exhibit A: Vicinity Map
Silver Springs, Unit No. One Subdivision



TM-C18-0001
Exhibit B: Aerial Photo
Silver Springs, Unit No. One Subdivision

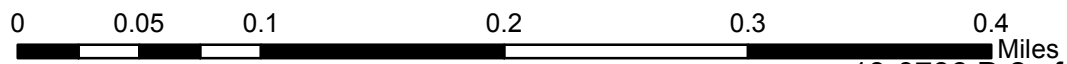
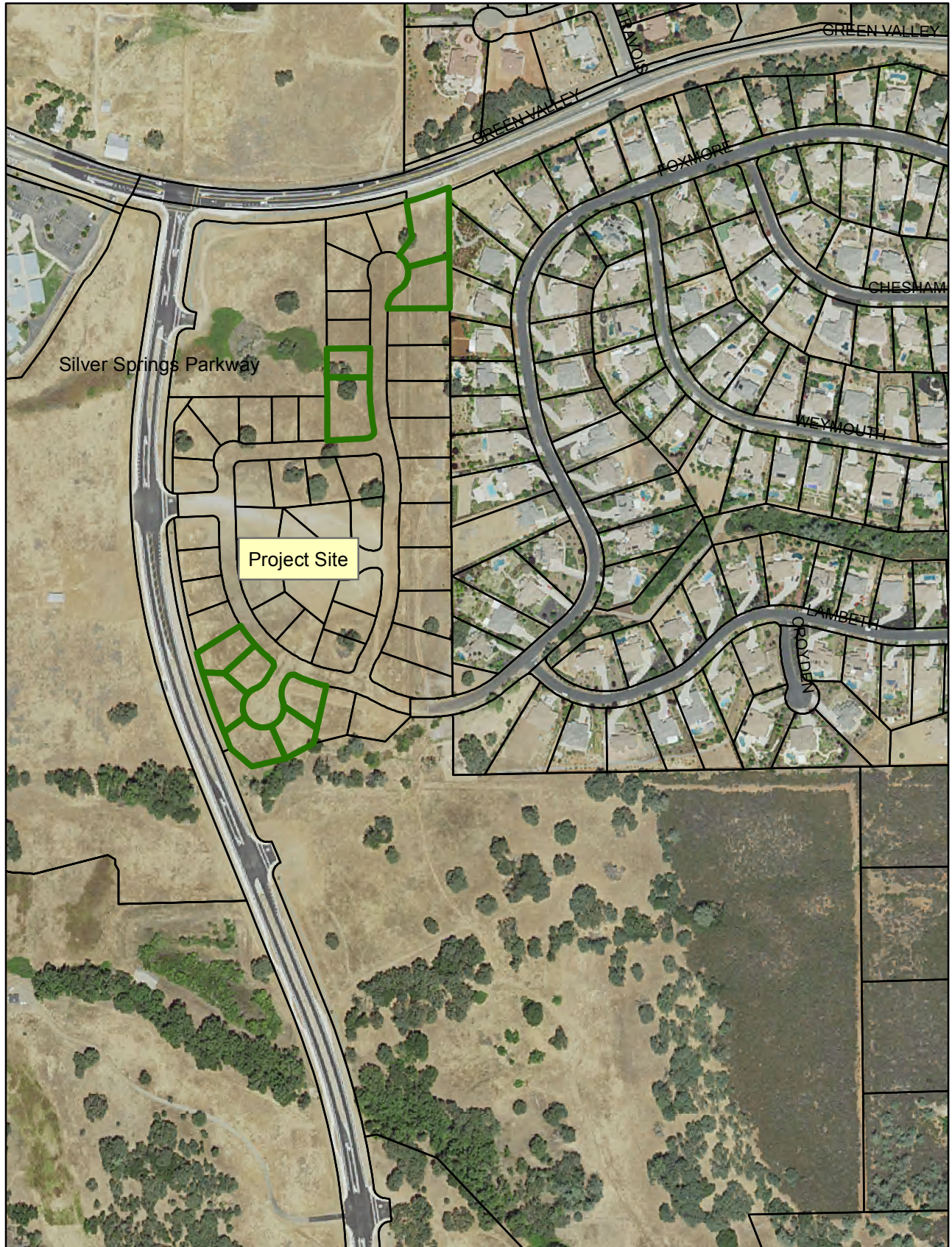


Exhibit C: Assessor's Parcel Page

Bk 102 Pg 03

Bk 102
Pg 56

Bk 115
Pg 14

Bk 115 Pg 41

Bk 115 Pg 34

Bk 115 Pg 34

Bk 115
Pg 15

Bk 115
Pg 38

Bk 115
Pg 34

Bk 115
Pg 38

Bk 115 Pg 37

POR. NW 1/4 SEC.29, T.10N., R.9E., M.D.M.
SILVER SPRINGS UNIT 1
J-80

115:43



19-0786 D 3 of 18



THIS MAP IS NOT A SURVEY. It is prepared by the El Dorado County Assessor's office for assessment purposes only. Area calculations and characteristics are not guaranteed. Users should verify items such as dimensions and acreage.

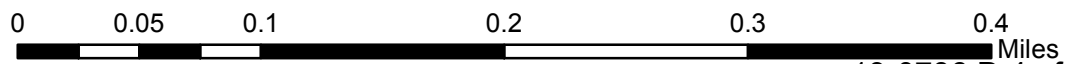
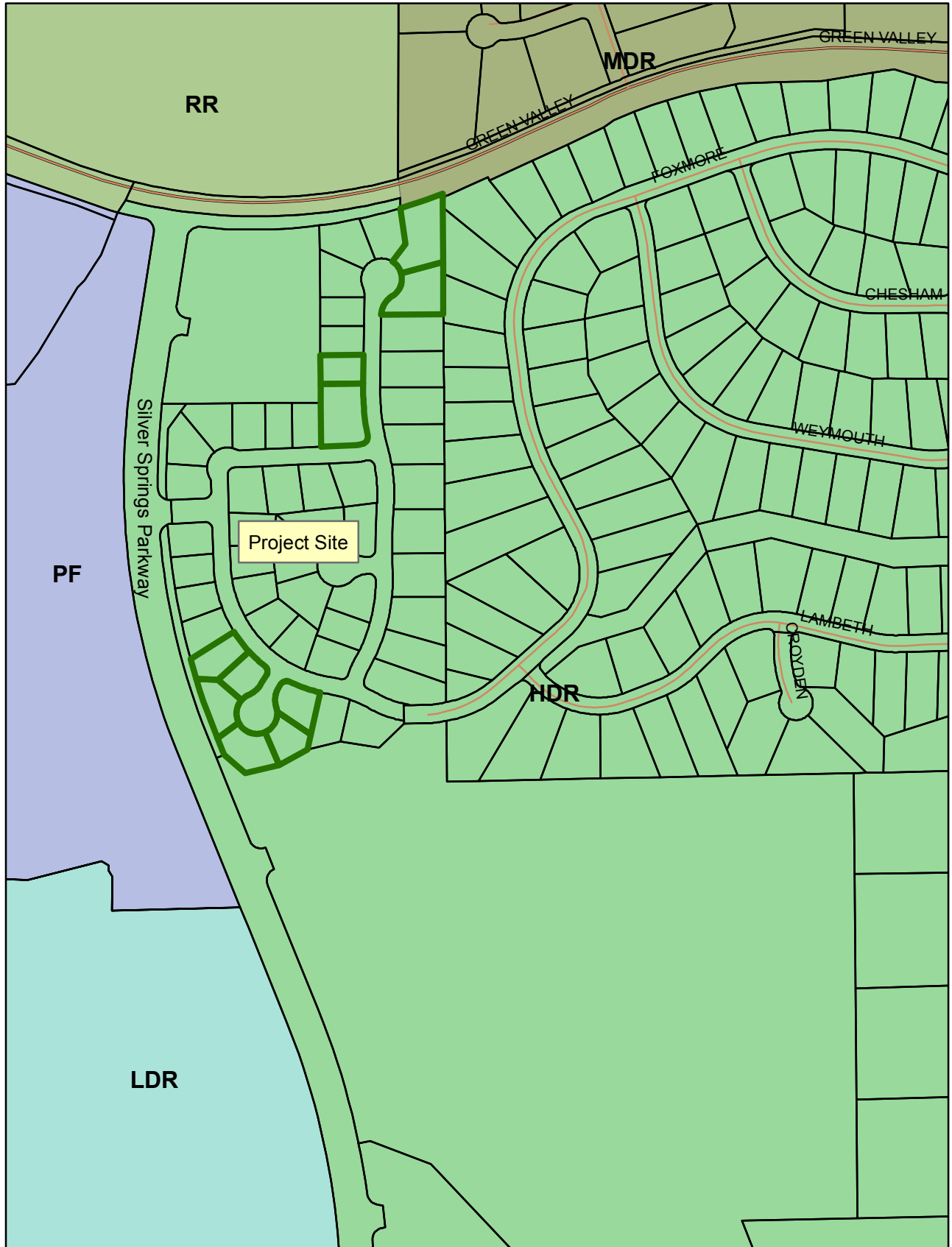
Acreages Are Estimates

Adjacent Map Pages Shown in Grey Tint
Assessor's Block Numbers Shown in Ellipses
Assessor's Parcel Numbers Shown in Circles

Rev. Jan. 20, 2006

Assessor's Map Bk. 091, Pg. 07
County of El Dorado, CA

TM-C18-0001
Exhibit D: General Plan Map
Silver Springs, Unit No. One Subdivision



TM-C18-0001
Exhibit E: Zoning Map
Silver Springs, Unit No. One Subdivision

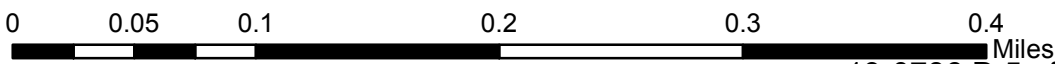
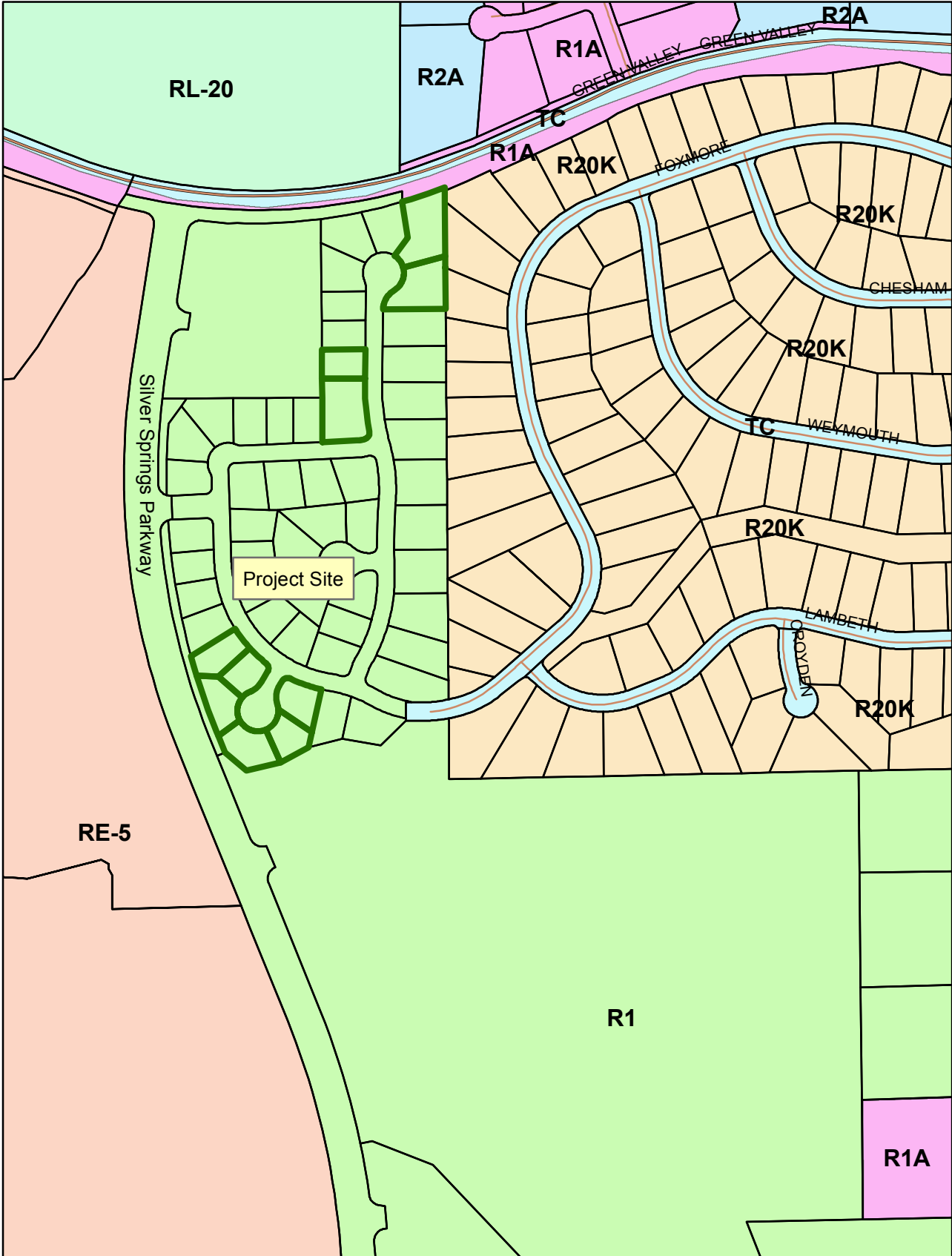
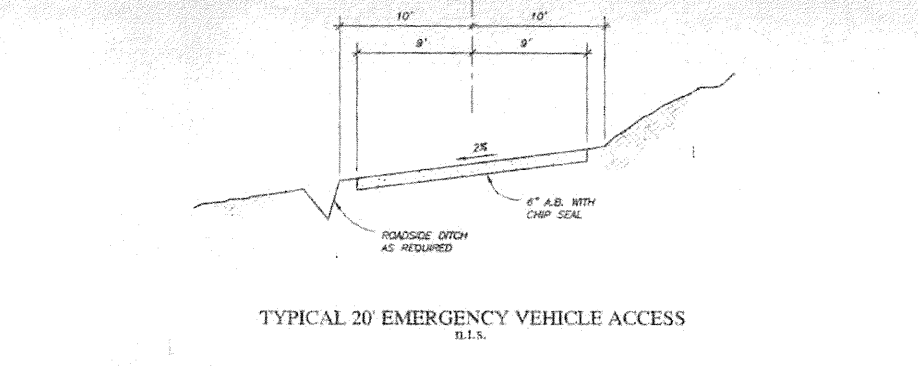
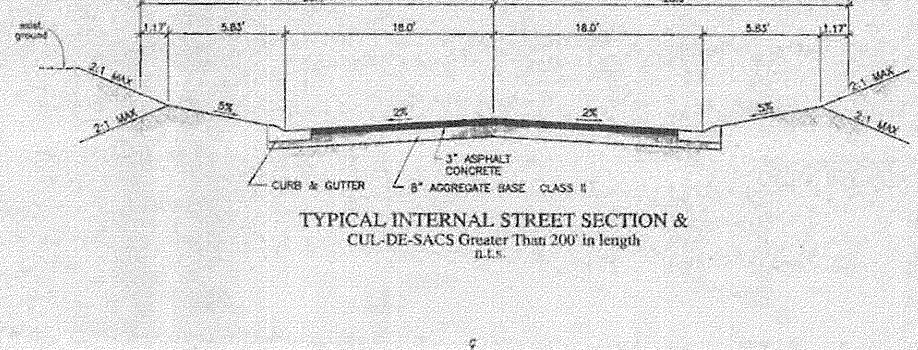
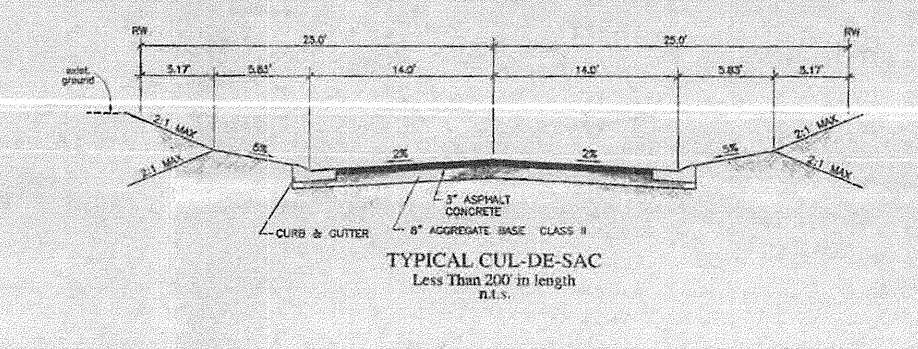
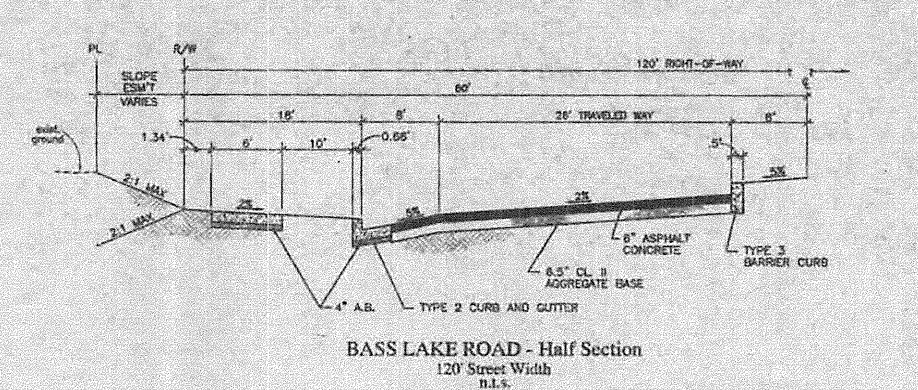
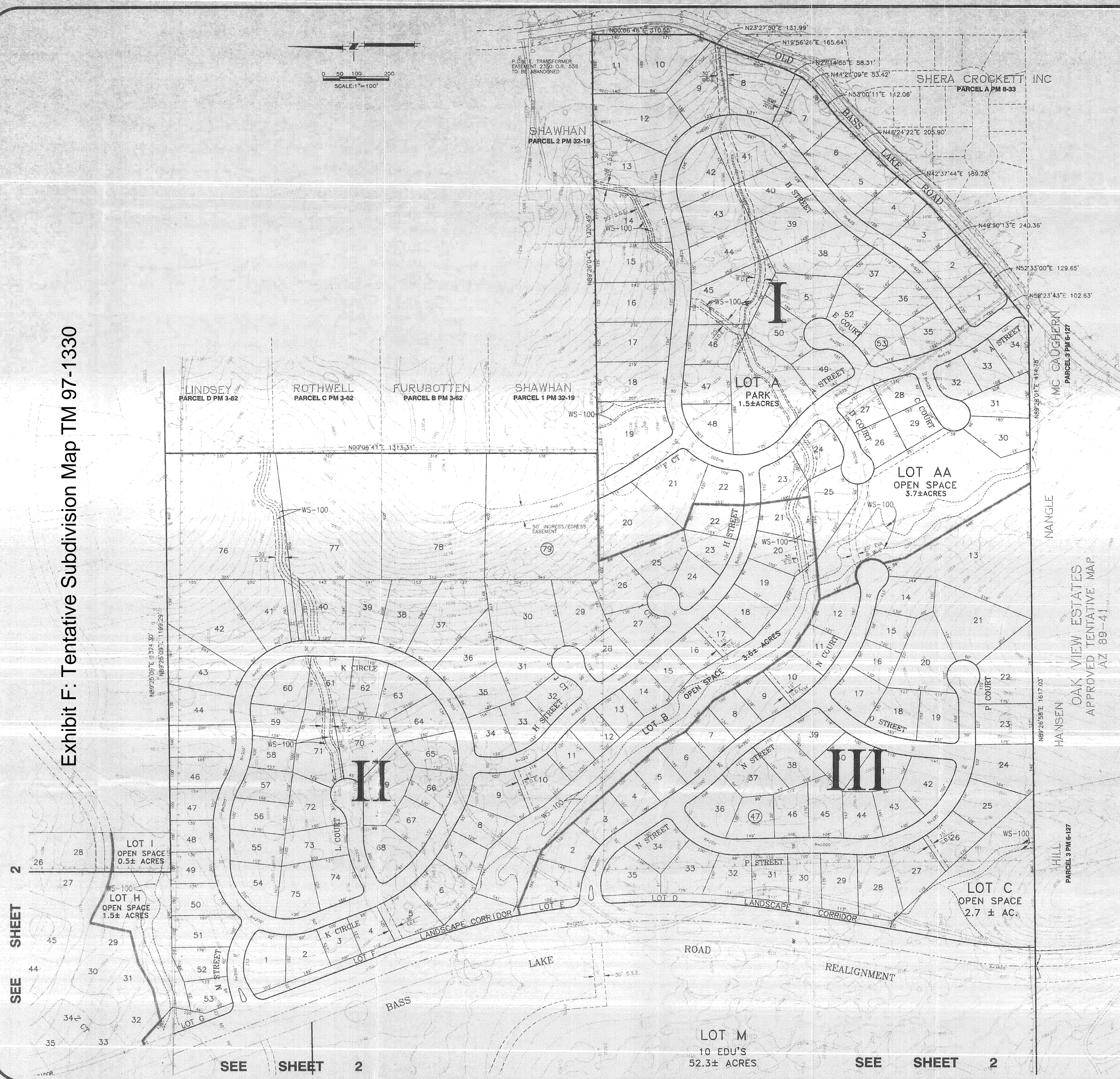
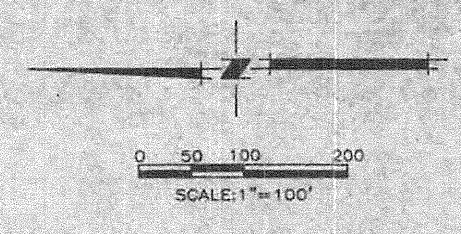


Exhibit F: Tentative Subdivision Map TM 97-1330



LEGEND

- S.S.E. Sanitary Sewer Easement
- S.D.E. Storm Drain Easement
- E.V.A. Emergency Vehicle Access
- W.S. Water Surface (100' Water Flood)

- NOTES:**
1. THE ROMAN NUMERALS REPRESENTS THE LARGE LOT TENTATIVE MAP CREATED FOR FINANCING PURPOSES ONLY.
 2. THE LARGE LOTS I, II, III AND IV (SMALL LOT TENTATIVE MAPS) MAY BE DEVELOPED IN ANY SEQUENCE PROVIDED ORDERLY DEVELOPMENT AND PUBLIC SAFETY ISSUES ARE ADDRESSED.

TENTATIVE MAP INFORMATION

OWNER OF RECORD/APPLICANT: BASS LAKE JOINT VENTURE
 889 Governor Drive, Suite 101
 El Dorado Hills, CA 95762
 (916) 938-8800

MAP PREPARED BY: Mackay & Samps Civil Engineers, Inc.
 1376 Lead Hill, Suite 2150
 Roseville, CA 95661-2644
 (916) 775-1169

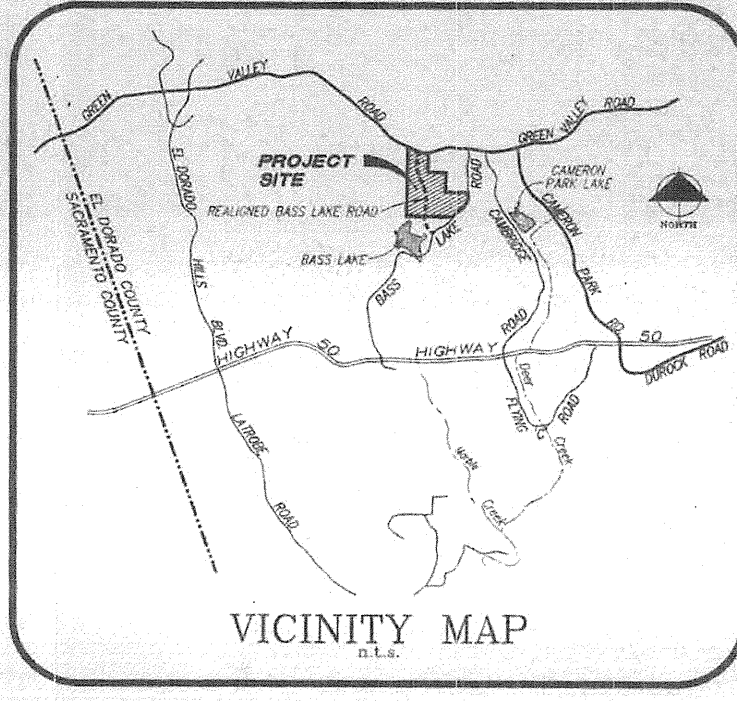
CONTOUR INTERVAL: Five foot contour intervals
 SOURCE OF TOPOGRAPHY: Aerial Photogrammetric Survey
 SECTION, TOWNSHIP & RANGE: Portions of Section 29
 Township 10 North, Range 9 East

ASSESSOR'S PARCEL NUMBERS: 103-010-02
 103-010-09
 103-020-10

TOTAL AREA: 243.8± acres

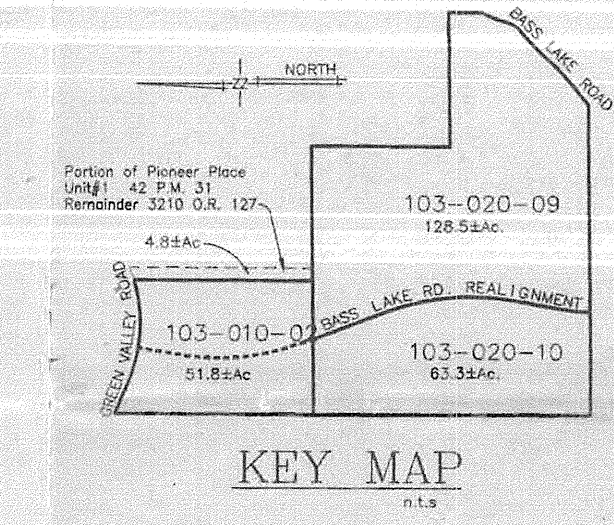
TOTAL NUMBER OF PARCELS (STANDARD SUBDIVISION)	Parcels	Lot Count
PHASES I-IV	Residential	234
	Lot M (Future)	10 (Future)
	Open Space	1
	Church	1
	School	1
	Total=	258

SPECIAL DISTRICTS
 PROPOSED WATER SUPPLY: El Dorado Irrigation District
 PROPOSED PARK: El Dorado Hills Community Service District
 PROPOSED SEWAGE DISPOSAL: El Dorado Irrigation District
 FIRE PROTECTION: Rescue Fire Department
 DATE OF PREPARATION: June 02, 1997



RESIDENTIAL LOT COUNT

PHASE	ANG. LOT SIZE	LOT COUNT
I	100'x120'	53
II	100'x120'	79
III	100'x120'	47
IV	85'x120'	55
LOT M	Future	10
TOTAL		244



LARGE LOT TENTATIVE MAP
 and
 SMALL LOT TENTATIVE MAP

SILVER SPRINGS

Scale: 1"=100' El Dorado Hills, California June 02, 1997
 REVISED: September 24, 1998
 REVISED: November 2, 1998
 Sheet 1 of 2
 JOB No. 18360-40

08-1
5-80

Owner's Statement

The undersigned owner of record title interest hereby consents to the preparation and filing of this Final Map and hereby conveys and offers for dedication, in fee, for any and all purposes, to the County of El Dorado the drives, courts and lanes shown hereon as Lot L, subject to the provision that said Lot L will not be improved or maintained by the County of El Dorado but will be the responsibility of the owners of the lots in the subdivision acting through a legal entity approved by the Board of Supervisors of the County of El Dorado having the power of assessment. If for any reason the entity is not formed or is dissolved, maintenance shall be the responsibility of the owners of the lots in the subdivision. The owner reserves and shall further reserve through any conveyance of title hereafter granted, the right to convey easements for road and utility purposes which shall be beneficial to any or all lots shown hereon or for adjacent properties hereto, over, under and across the streets shown or conveyed hereon.

The undersigned owner hereby reserves, and shall further reserve through any conveyance of title hereafter granted, the right to convey easements for road and utility purposes over and across Lot L and easements shown hereon, subject to any rights of the County of El Dorado in the event the county should accept the offer referred to herein.

The undersigned owner also hereby offers to the County of El Dorado, on behalf of the public, the following easements for those certain companies and public entities which will provide services:

- A. Public Utilities easements for underground wires, conduits and pipelines and appurtenant fixtures, with the right to trim and remove limbs, trees and brush therefrom, over, under and across the common areas, Lots J and K, the front twelve and one half (12.50) feet of each lot shown hereon and the five (5.00) feet on both sides of all side lot lines extending from the street right-of-ways shown hereon along said side lot lines a distance of fifty (50.00) feet.
- B. Rights of access over and across any portion of the lots, common areas and Lots J, K and L for the purpose of inspecting, maintaining or replacing onsite facilities.
- C. Easements for drainage and appurtenant drainage structures and pipes within drainage easements as shown hereon and all constructed or natural drainage swales of varying widths which exist within the subdivision.
- D. Postal easements five (5.00) feet adjacent to all street right-of-ways.
- E. Slope easements fifteen (15.00) feet in width contiguous to all streets or five (5.00) feet beyond the top or cut or toe of fill, whichever is larger, for road and slope maintenance purposes.

All offers made herein are irrevocable and shall remain open in perpetuity despite a rejection of such offer by the applicable public entity.

Owner: Silver Springs, L.L.C. a California limited liability company

By: Sorrento Inc., a California corporation, Managing Member
[Signature] 5-22-06
By: William C. Scott, Jr. Date
Title: Managing Member

Notary Acknowledgment

State of California, County of Contra Costa

On 5/22/06 before me, Lilibeth V. Abad, Notary Public personally appeared

William C. Scott, Jr., personally known to me or proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity and that by his signature on the instrument, the person or the entity, upon behalf of which the person acted, executed the instrument.

Witness my hand and official seal. Signature: Lilibeth V. Abad

Principal place of business: County of Contra Costa

My commission expires: September 3, 2008

Trustee's Statment

We, the undersigned, Verdugo Trustee Service Corporation Inc., a California corporation, as trustee under that certain deed of trust recorded January 16, 2004 as Instrument No. 2004-0003383, Official Records of El Dorado County hereby consents to the irrevocable offers of dedication shown hereon and the preparation and filing of this Final Map.

Verdugo Trustee Service Corporation Inc.

By: Michael L. Gann Title: FIRST VICE PRESIDENT
Date: May 26, 2006

Silver Springs Unit 1
Being all of Lot 4 of the Silver Springs
Large Lot Subdivision (I Maps 133),
being a portion of the NW 1/4
of Section 29, T. 10 N., R. 9 E., M.D.M.
County of El Dorado, State of California
May, 2006
Stantec Consulting Inc.

County Engineer's Statement

I, **JAMES WARE** hereby state that all the required construction plans and specifications were approved and that the subdivider has executed the necessary agreement and submitted the required security to secure completion of the required improvements for this subdivision.

[Signature] Date: 9/11/06

County Engineer
Department of Transportation
County of El Dorado, California

Expiration date: 12/31/06



County Tax Collector's Statement

I, **C.L. Raffety**, hereby state that, according to the records of this office, there are no liens against this subdivision or any part thereof for unpaid State, County, Municipal, or local taxes or special assessments collected as taxes, except taxes or special assessments not yet payable, provided that the Final Map is accepted for record and filed prior to the next succeeding lien date.

Date: 6/21/06

C.L. Raffety
Tax Collector
County of El Dorado, California

By: Anne Jones
Deputy

Development Services Director's Statement

I, **Gregory L. Fuz**, hereby state that this Final Map conforms substantially to the Tentative Map of this subdivision approved on December 15, 1998, by the Board of Supervisors and any approved alterations thereof and that all conditions imposed upon said approvals have been satisfied.

Date: 9-11-06

Gregory L. Fuz
Development Services Director
County of El Dorado, California

[Signature]
Principal Planner
County of El Dorado, California

Notary Acknowledgment

State of California, County of San Francisco

On 5/26/06 before me, Mitch Lee, Notary Public, personally appeared

Michael L. Gann, personally known to me or proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity and that by his signature on the instrument, the person or the entity, upon behalf of which the person acted, executed the instrument.

Witness my hand and official seal. Signature: Mitch Lee

Principal place of business: County of San Francisco

My commission expires: January 18, 2008

Surveyor's Statement

This map was prepared by me or under my direction and is based upon a field survey in conformance with the requirements of the Subdivision Map Act and local ordinance at the request of Silver Springs, L.L.C. on 05/20/2005. I hereby state that all the monuments are of the character and occupy the positions indicated or that they will be set in those positions before April 2007, and that the monuments are, or will be, sufficient to enable the surety to be retraced, and that this final map substantially conforms to the conditionally approved tentative map.

[Signature]
James V. Merle, L.S. 5537
License Expiration Date: 12/31/2006

Dated: 5-19-06



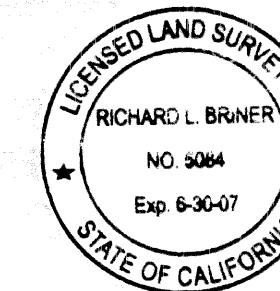
County Surveyor's Statement

I have examined the map. The subdivision as shown is substantially the same as it appeared on the Tentative Map, if required, and any approved alterations thereof. All provisions of Chapter 2 of The Subdivision Map Act and of any local ordinances applicable at the time of approval of the Tentative Map, have been complied with. I am satisfied that the map is technically correct.

Dated 9-12-06

DANIEL S. RUSSELL
Daniel S. Russell L.S. 5017 License expires: 12/31/07
County Surveyor
County of El Dorado, California

[Signature]
Richard L. Briner L.S. 5084 License expires: 06/30/07
Deputy Surveyor
County of El Dorado, California

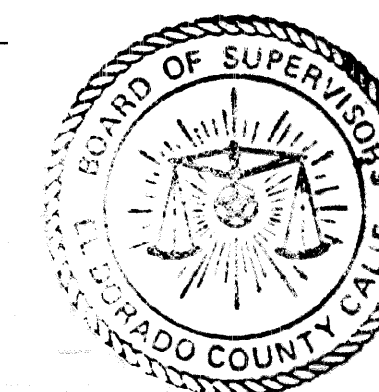


Board Clerk's Statement

I, **Cindy Keck**, hereby state that the Board of Supervisors by order on 9/26/06 adopted and approved this final map of this subdivision and accept subject to improvement for public use and subject to inclusion in a Legal Entity approved by the Board of Supervisors of the County of El Dorado, having the power of assessment, for maintenance purposes the drives, courts and lanes shown as Lot L, and further accept on behalf of those public entities which will provide services, subject to the purveyors construction standards, the easements shown hereon and as offered for dedication, except drainage easements which are hereby rejected.

[Signature] Date: 9/28/06
Cindy Keck
Clerk of the Board of Supervisors
County of El Dorado, California

By: *[Signature]*



Recorder's Statement

Filed this 28 day of September, 2006 at 11:51:27, in
Book J, of Maps, at Page 80, Document No. 8006-0010223 at
the request of Silver Springs, L.L.C.. Title to the land included in this
subdivision is guaranteed by title certificate No. 2404420 prepared
by First American Title and is on file in this office.

[Signature]
William E. Shultz
County Recorder, Clerk
County of El Dorado, California
By: *[Signature]*
Deputy

08-1
5-80

5-80

J-80A

J-80A

Silver Springs Unit 1
 Being all of Lot 4 of the Silver Springs
 Large Lot Subdivision (I Maps 133),
 being a portion of the NW 1/4
 of Section 29, T. 10 N., R. 9 E., M.D.M.
 County of El Dorado, State of California
 May, 2006
 Stantec Consulting Inc.



Basis of Bearings

The Basis of Bearings for this survey is between found monuments **A** and **B**. The bearing for this line, N 16°55'02" E, is based on a calculated inverse between said monuments as shown on R1. See sheet 3 of 6.

Notes

1. The total area within this subdivision is 23.235 acres gross, consisting of 53 building lots and 3 miscellaneous lots.
2. All bearings and distances along curved lines are chord measurements.
3. All street centerline angle points and curve points are marked by a 5/8" rebar with 1 1/2" diameter cap stamped "I.S. 5537".
4. A geotechnical soils report was prepared by Engr. Incorporated, report #50.01, dated February 2, 2005.
5. This map is consistent with Phase IV of the Large Lot and Small Lot Tentative Map for Silver Springs approved by the El Dorado County Board of Supervisors, December 15, 1998.
6. This map was prepared with reference to First American Title Preliminary Report, Order No. 3413-1930/30, second amendment.
7. All bearings and distances shown in parent maps are either measured or calculated from record data.
8. Lot L is offered for dedication to the County of El Dorado for any and all public purposes.
9. Lots J & K shall have slope, slope and drainage easements and are to be granted to the Homeowner's Association created for this subdivision.
10. Where roads extend beyond the boundaries of Lot L, slope easements extended 5 feet beyond the top of cuts or toe of fills.
11. Per SD-1-1-13 there are 20' setback easements along Green Valley Road and Lot R (also noted hereon as Silver Springs Parkway), and slope easements 5' beyond the top of cuts and toe of fills on Lot R.
12. Surface drainage easements (D.E.) of varying widths, as shown hereon, shall be based upon the constructed, as-built location of the ditch centerline.
13. The Silver Springs Road and Drainage Zone of Benefit #98611 will be responsible for the maintenance of the drives, courts and lanes shown hereon as "Lot L," and for the maintenance of the drainage easements shown hereon as "D.E."
14. Per an unrecorded agreement between Bass Lake Joint Venture, Windstar Construction, Inc. and Lloyd Cumrot pertaining to sewer and access easements dated September 30, 1992, which was amended on July 20, 1998, the location and configuration of the private access easement shown hereon (per Doc. 98-76447) may be modified to fit future tentative maps. Said easement follows the alignment of Foxmore Lane as shown hereon except for the easterly 200'± which was altered slightly to match the as-built location of improvements as shown on Pioneer Place Unit No. 2. Said agreement provides that the parties shall quitclaim the easement upon acceptance by the County of future improvements.

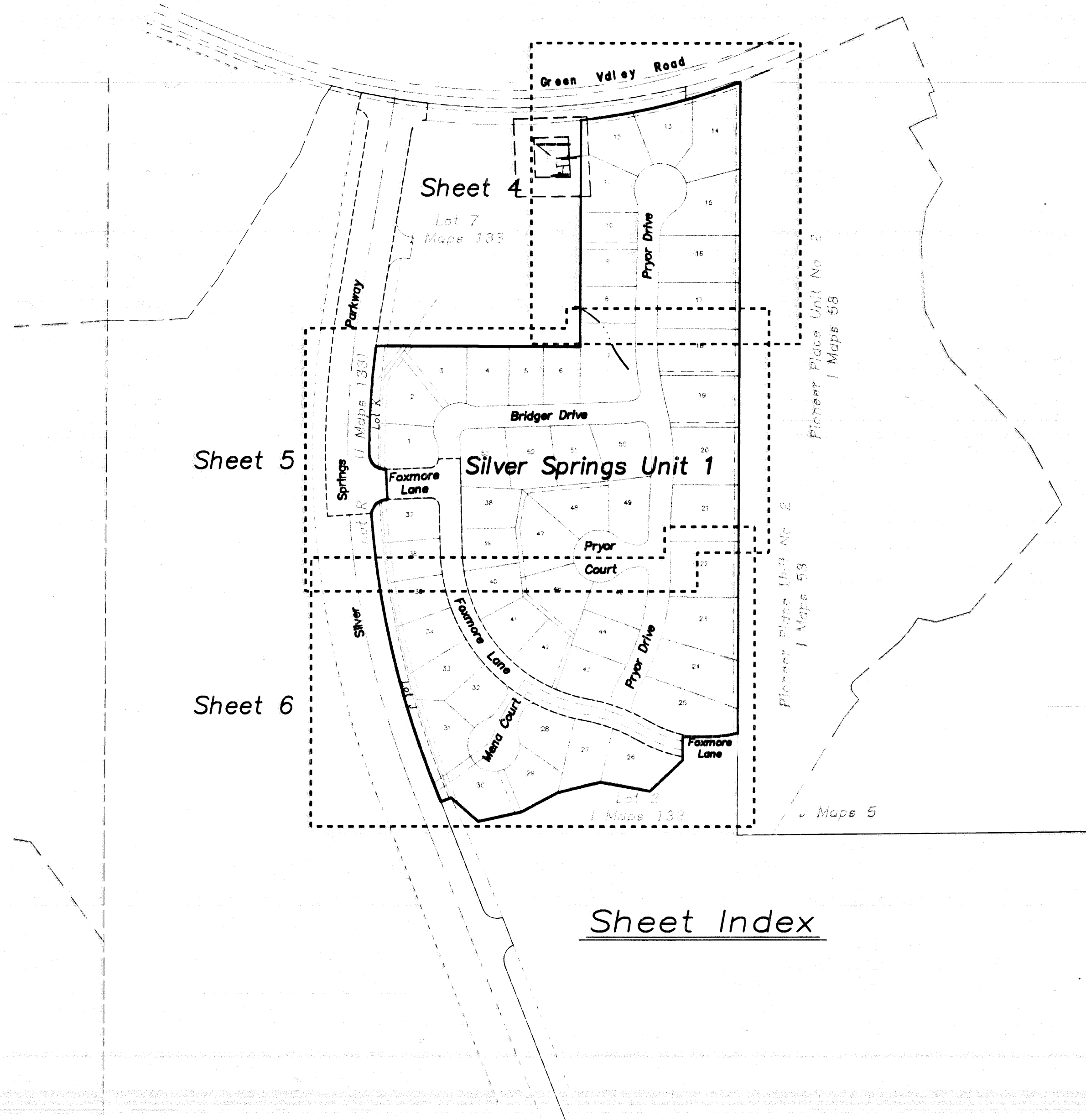


Exhibit G-2

J-80A

J-80A

J-80B

J-80B

Silver Springs Unit 1
 Being all of Lot 4 of the Silver Springs
 Large Lot Subdivision (I Maps 133),
 being a portion of the NW 1/4
 of Section 29, T. 10 N., R. 9 E., M.D.M.
 County of El Dorado, State of California
 May, 2006
 Stantec Consulting Inc.

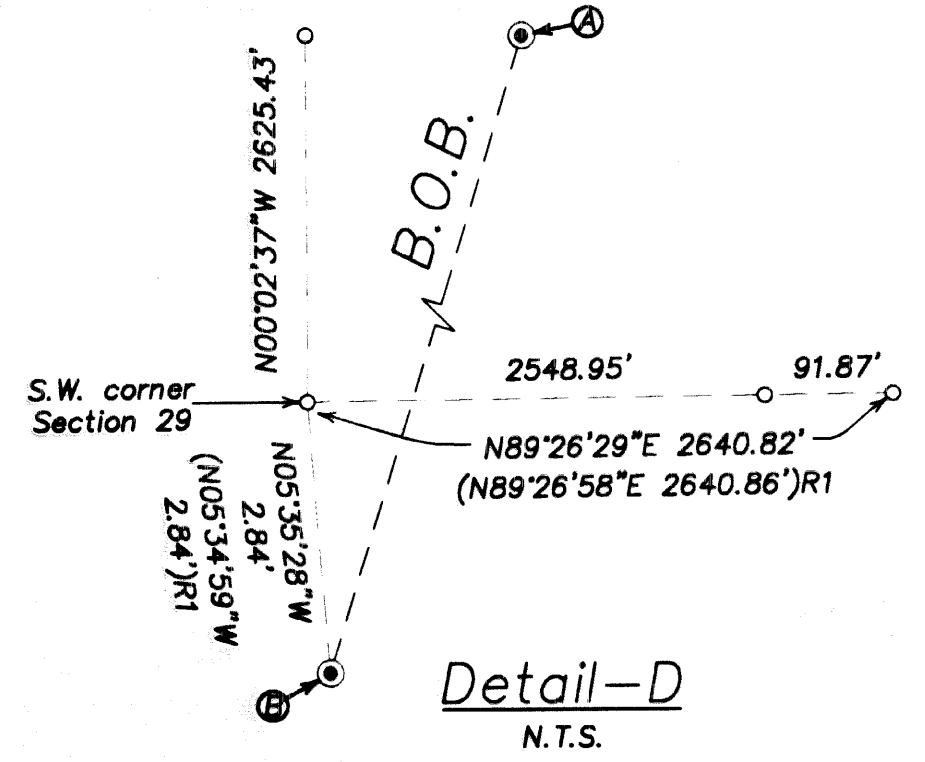
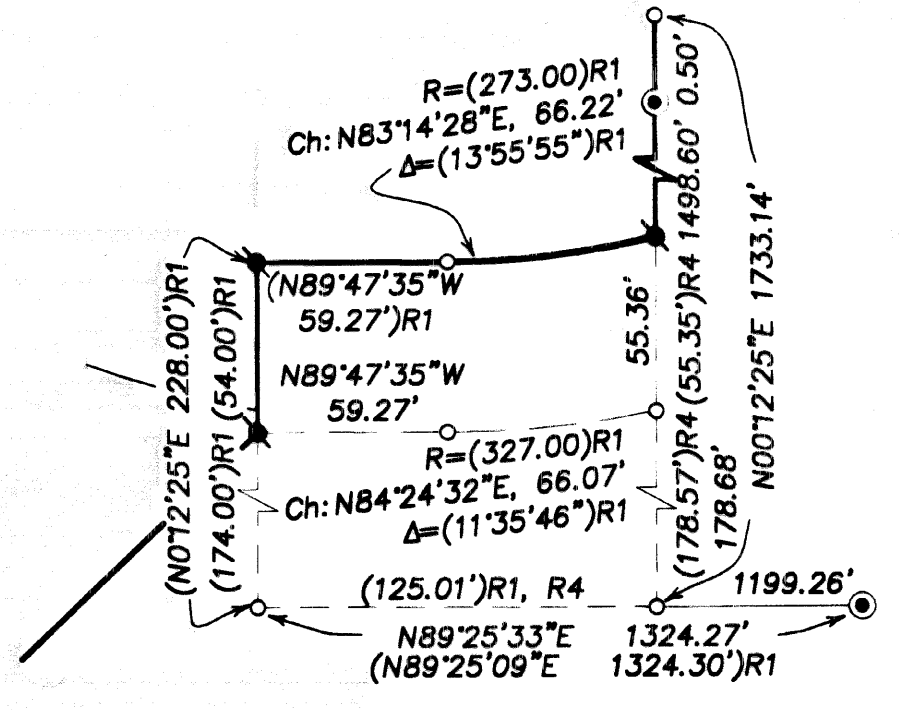
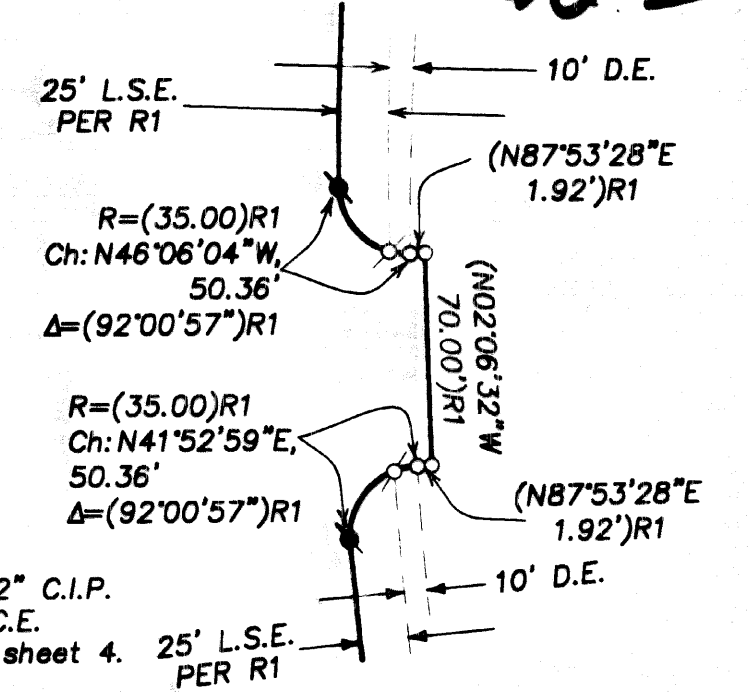
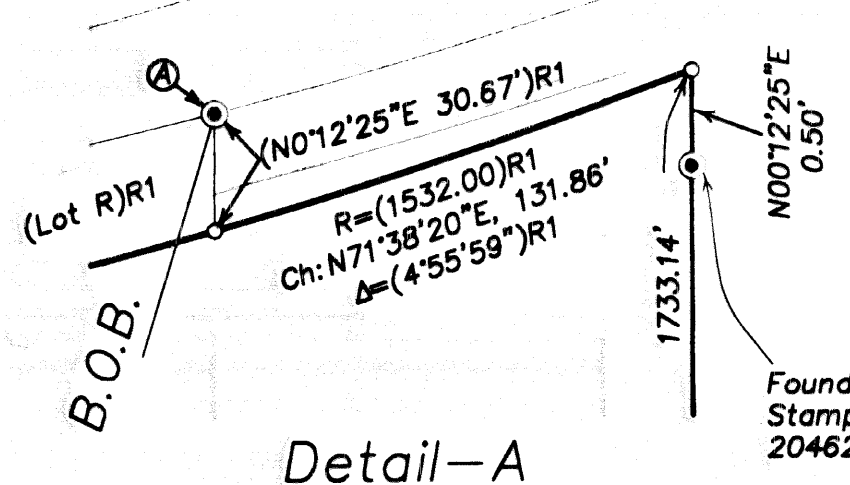
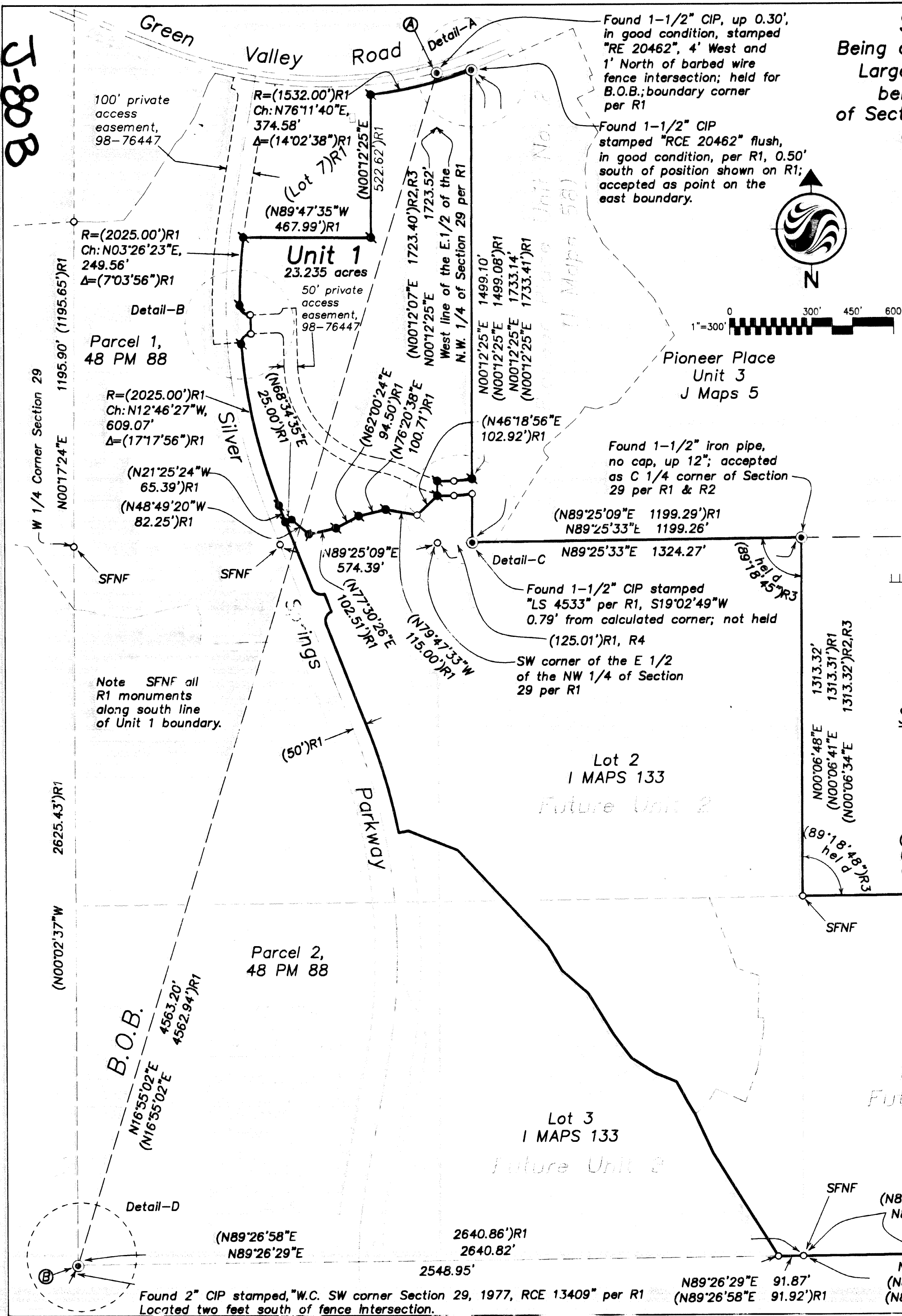
Legend

- found monument as described
- ⊙ set 5/8" rebar with yellow plastic cap stamped "L.S. 5537"
- ⊙ found 1/2" CIP stamped "LS 4533" per R1
- calculated point only
- △ central angle of curve
- Ch: the bearing & distance of the chord
- C.I.P. capped iron pipe
- calc. calculated
- B.O.B. Basis of Bearings
- () record data
- R/W right of way
- ||||| vehicular access restricted
- SFNF searched for (R1 monument), not found
- D.E. drainage easement
- L.S.E. landscape easement

See Sheet 2 for Notes

References

R1	I Maps 133
R2	H Maps 71
R3	42 P.M. 31
R4	I Maps 58



Basis of Bearings

The Basis of Bearings for this survey is between found monuments A and B. The bearing for this line, $N 16^{\circ}55'02" E$, is based on a calculated inverse between said monuments as shown on R1.

J-80B

J-80B

Silver Springs Unit 1
 Being all of Lot 4 of the Silver Springs
 Large Lot Subdivision (I Maps 133),
 being a portion of the NW 1/4
 of Section 29, T. 10 N., R. 9 E., M.D.M.

County of El Dorado, State of California
 May, 2006
 Stantec Consulting Inc.
 (old Center Line)

Found 1-1/2" C.I.P.
 stamped "R.C.E. 20462"
 per R1, One foot north
 and four feet west of
 barbed wire fence
 intersection.

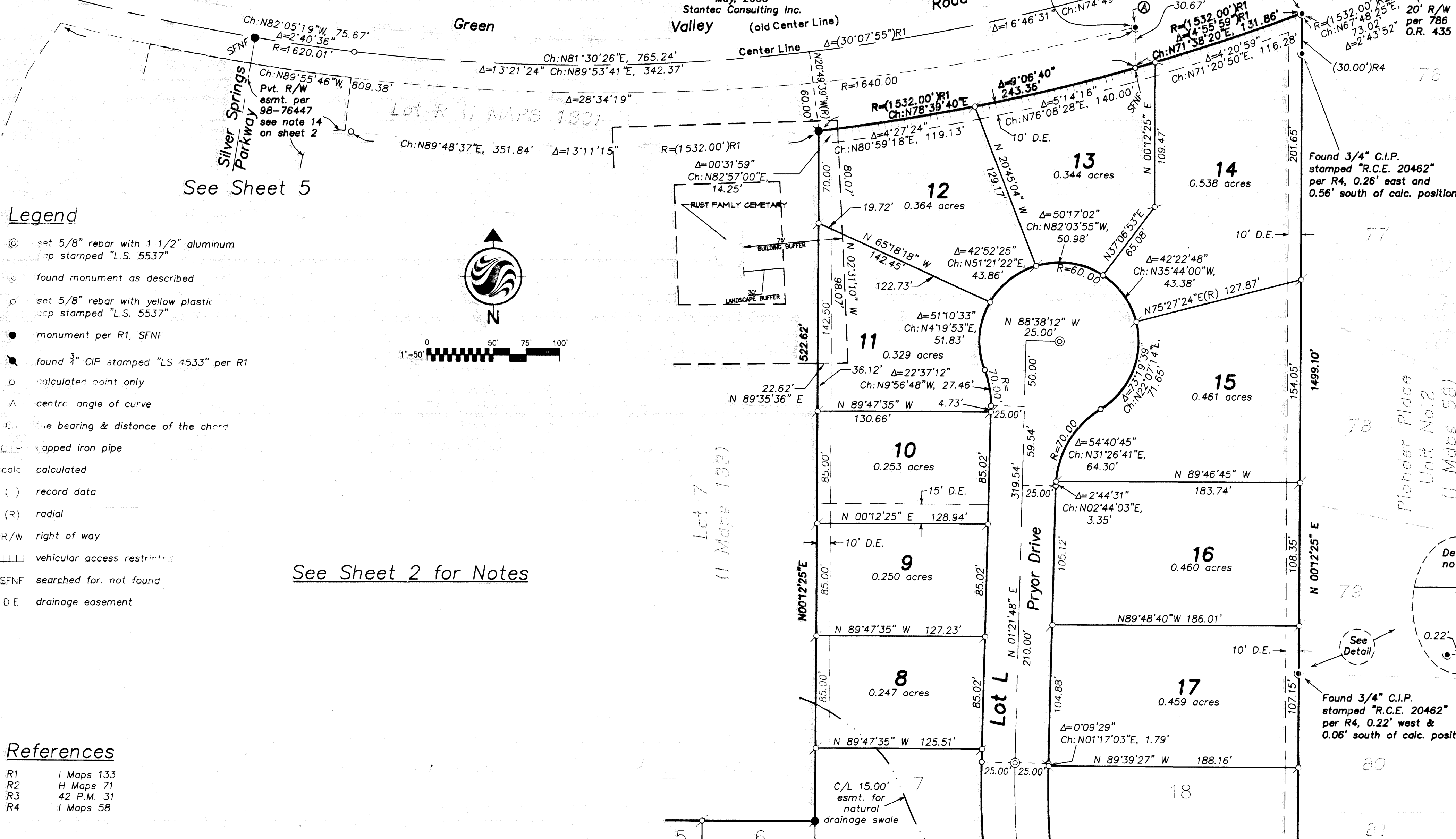
Found 1-1/2" C.I.P. stamped
 "R.C.E. 20462", flush, in good
 condition per R1, 0.50' south of
 position shown on R1; accepted
 as point on east boundary line.

Found 3/4" C.I.P.
 stamped "R.C.E. 20462"
 per R4, 0.26' east and
 0.56' south of calc. position

Found 3/4" C.I.P.
 stamped "R.C.E. 20462"
 per R4, 0.22' west &
 0.06' south of calc. position

J-80C

J-80D



Legend

- ⊙ set 5/8" rebar with 1 1/2" aluminum cap stamped "L.S. 5537"
- ⊙ found monument as described
- ⊙ set 5/8" rebar with yellow plastic cap stamped "L.S. 5537"
- monument per R1, SFNF
- ⊙ found 3/4" CIP stamped "LS 4533" per R1
- calculated point only
- Δ center angle of curve
- C/L line bearing & distance of the chord
- C.I.P. stamped iron pipe
- calc. calculated
- () record data
- (R) radial
- R/W right of way
- ||||| vehicular access restricted
- SFNF searched for, not found
- D.E. drainage easement

See Sheet 2 for Notes

References

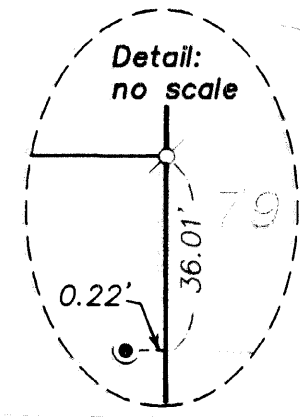
- R1 I Maps 133
- R2 H Maps 71
- R3 42 P.M. 31
- R4 I Maps 58

Basis of Bearings

The Basis of Bearings for this survey is between found monuments (A) and (B). The bearing for this line, N 16°55'02" E, is based on a calculated inverse between said monuments as shown on R1. See sheet 3 of 6.

See Sheet 5

Pioneer Place
 Unit No. 2
 (I Maps 58)



J-80C

J-80C

J-800

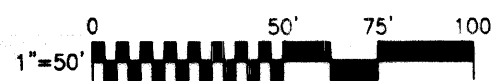
Exhibit G-5

Curve Table

Curve	Radius	Delta	Bearing	Chord & Distance
C1	35.00'	73°52'49"	N37°02'00"W	42.07'
C2	(2025.00' 7°03'56")R1		N03°26'23"E	249.56'
C3	2000.00'	5°59'14"	N01°56'14"E	208.90'
C4	(2025.00' 17°17'55")R1		N12°46'27"W	609.07'
C5	35.00'	73°52'49"	N32°48'55"E	42.07'
C6	2000.00'	18°15'43"	N12°17'33"W	634.77'
C7	35.00'	18°08'06"	N83°02'29"W	11.03'
C8	20.00'	89°04'06"	N43°21'24"E	28.05'
C9	30.00'	27°15'58"	N14°48'38"W	14.14'
C10	60.00'	10°00'27"	N69°39'20"W	10.47'
C11	30.00'	27°15'58"	N78°17'05"W	14.14'
C12	35.00'	18°08'08"	N78°49'23"E	11.03'
C13	125.00'	12°12'49"	N81°58'32"E	26.60'
C14	20.00'	94°06'49"	N57°04'28"W	29.28'
C15	450.00'	0°34'16"	N04°14'26"E	4.49'
C16	20.00'	88°44'21"	N45°04'12"E	27.97'
C17	70.00'	43°02'57"	N69°02'10"W	51.37'
C18	60.00'	21°34'24"	N58°17'53"W	22.46'
C19	500.00'	32°10'10"	N14°46'22"E	277.06'
C20	2000.00'	5°50'17"	N01°36'25"E	203.70'
C21	475.00'	19°21'45"	N05°09'19"W	159.76'
C22	675.00'	16°12'00"	N06°44'12"W	190.22'
C23	100.00'	12°12'49"	N81°58'32"E	21.28'
C24	375.00'	78°54'03"	N40°37'41"W	476.56'
C25	675.00'	15°29'41"	N06°23'02"W	181.99'
C26	675.00'	0°42'19"	N14°29'02"W	8.31'
C27	2000.00'	5°05'12"	N01°58'58"E	177.50'
C28	2000.00'	0°45'05"	N00°56'11"W	26.23'

Legend

- ⊙ set 5/8" rebar with 1 1/2" aluminum cap stamped "L.S. 5537"
- ⊕ set 5/8" rebar with yellow plastic cap stamped "L.S. 5537"
- monument per R1, SFNF
- ⊕ found 3/4" CIP stamped "LS 4533" per R1
- calculated point only
- Δ central angle of curve
- Ch: the bearing & distance of the chord
- () record data
- L.S.E. landscape easement
- SFNF searched for, not found
- D.E. drainage easement
- S.B.L. set back line
- ||||| restricted access



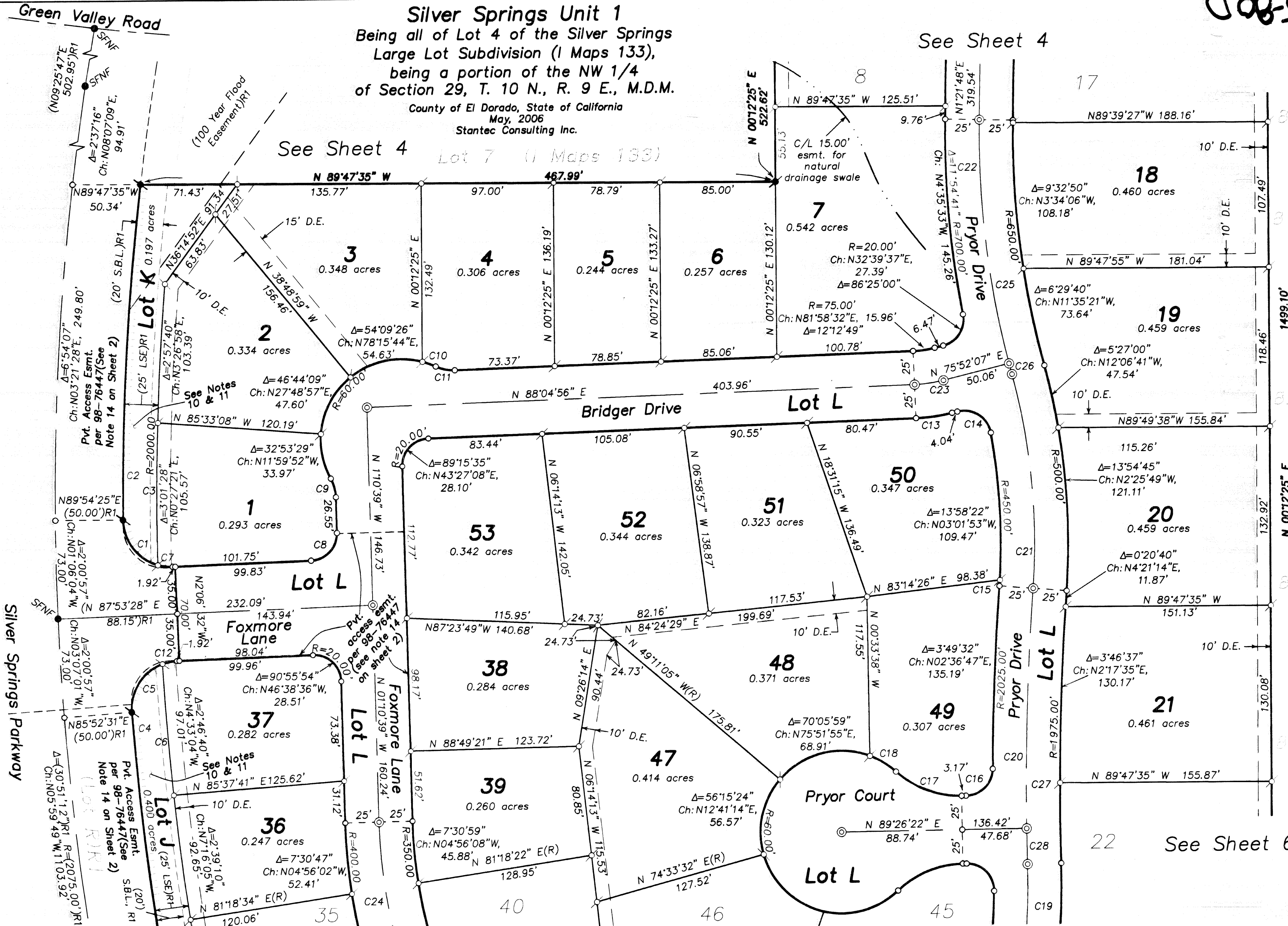
Green Valley Road

Silver Springs Unit 1

Being all of Lot 4 of the Silver Springs Large Lot Subdivision (I Maps 133), being a portion of the NW 1/4 of Section 29, T. 10 N., R. 9 E., M.D.M.

County of El Dorado, State of California
May, 2006
Stantec Consulting Inc.

See Sheet 4



See Sheet 4

Lot 7 (I Maps 133)

Bridger Drive

Lot L

Lot L

Foxmore Lane

Foxmore Lane

Pryor Court

See Sheet 6

See Sheet 2 for Notes

See Sheet 6

Basis of Bearings

The Basis of Bearings for this survey is between found monuments (A) and (B). The bearing for this line, N 16°55'02" E, is based on a calculated inverse between said monuments as shown on R1. See sheet 3 of 6.

References

R1 I Maps 133

J-800

008-D

J-800

Pioneer Place Unit No. 2 (I Maps 56)

308-5

308-5

Curve Table

Curve	Radius	Delta	Bearing	Chord & Distance
C29	375.00'	78°54'03"	S40°37'41"E	476.56'
C30	350.00'	14°39'06"	S25°30'19"W	89.26'
C31	400.00'	20°07'00"	N70°01'12"W	139.72'
C32	300.00'	18°26'12"	N69°10'48"W	96.12'
C33	100.00'	10°57'57"	S25°22'29"W	19.11'
C34	500.00'	32°10'10"	N14°46'22"E	277.06'
C35	400.00'	3°05'05"	N78°32'10"W	21.53'
C36	20.00'	83°50'58"	N74°45'21"E	26.73'
C37	60.00'	13°44'12"	N10°16'06"W	14.35'
C38	60.00'	26°36'06"	N54°46'14"E	27.61'
C39	70.00'	36°58'52"	N49°34'51"E	44.40'
C40	375.00'	1°44'27"	N31°57'39"E	11.39'
C41	20.00'	83°50'58"	N09°05'37"W	26.73'
C42	60.00'	56°48'01"	N74°47'26"E	57.08'
C43	70.00'	43°02'57"	N67°54'54"E	51.37'
C44	20.00'	91°32'18"	N44°47'29"W	28.66'
C45	475.00'	4°07'42"	N28°47'36"E	34.22'
C46	125.00'	10°57'57"	N25°22'29"E	23.89'
C47	20.00'	84°11'46"	N61°59'23"E	26.82'
C48	425.00'	4°09'58"	N77°59'43"W	30.90'
C49	425.00'	4°20'34"	N62°07'59"W	32.21'
C50	400.00'	9°58'12"	S75°05'36"E	69.52'
C51	400.00'	10°08'48"	S65°02'06"E	70.74'

References

- R1 I Maps 133
- R2 H Maps 71
- R4 I Maps 58

Silver Springs Unit 1
 Being all of Lot 4 of the Silver Springs
 Large Lot Subdivision (I Maps 133),
 being a portion of the NW 1/4
 of Section 29, T. 10 N., R. 9 E., M.D.M.
 County of El Dorado, State of California
 May, 2006
 Stantec Consulting Inc.

Basis of Bearings

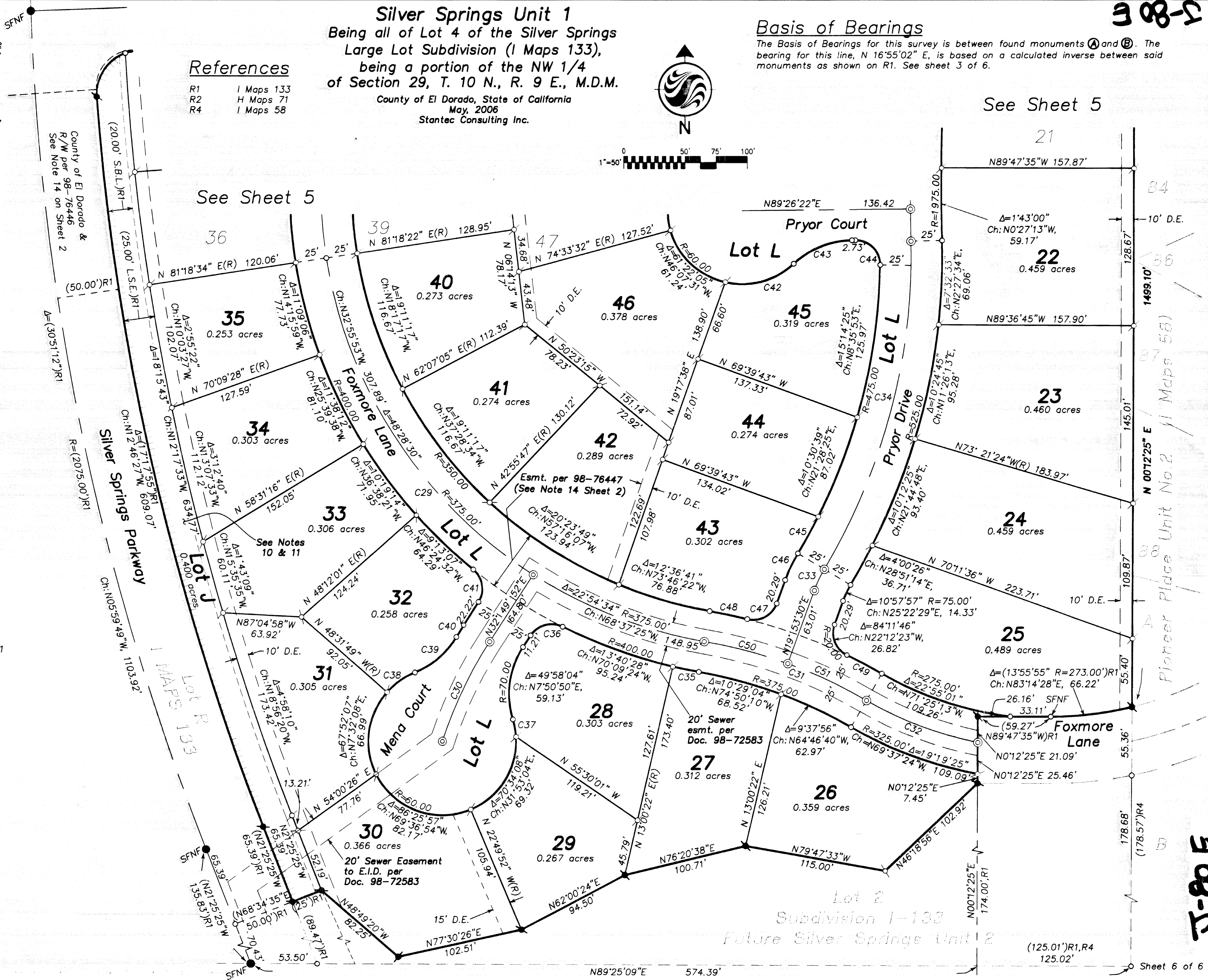
The Basis of Bearings for this survey is between found monuments A and B. The bearing for this line, N 16°55'02" E, is based on a calculated inverse between said monuments as shown on R1. See sheet 3 of 6.

See Sheet 5

See Sheet 2 for Notes

Legend

- ⊙ set 5/8" rebar with 1 1/2" aluminum cap stamped "L.S. 5537"
- ⊗ set 5/8" rebar with yellow plastic cap stamped "L.S. 5537"
- monument per R1, SFNF
- ⊕ found 3/4" CIP stamped "LS 4533" per R1
- calculated point only
- Δ central angle of curve
- Ch: the bearing & distance of the chord
- () record data
- SFNF searched for, not found
- D.E. darinage easement
- S.B.L. set back line
- L.S.E. landscape easement
- ||||| restricted access



Pioneer Place Unit No. 2 (I Maps 58)

Lot 2
 Subdivision I-133
 Future Silver Springs Unit 2

Exhibit G-6

J-80E

J-80E

The current (and implementing) owner of Silver Springs Unit 1 subdivision (Blue Mountain Communities) seeks to improve the design of previously approved lot designs. A total of 10 lots would be effected. Two lots would be eliminated, merged into others. The Unit 1 Final Map was recorded in 2007, and recently obtained from the county approval of updated improvement plans. As part of that process, the grading plans were revised to obtain more orthodox single pad graded lots, and to eliminate most of the split pad lots (lots with two distinct pads at different elevations). This simplifies, and improves the economics of the development of these few lots. None of that redesign effort required entitlement revision or approval.

Mena Court

Irregular shapes and topographic constraints make lots 31 and 32 at the end of Mena Court difficult and expensive to develop and, arguably, not very marketable. These lots would have split pads, and the lots are small and irregular. This configuration does not work with any of Blue Mountain's floor plans. Creation of a single pad (rather than the split pads) on these problem lots would result in large retaining walls along the rear, which is also not desirable.

This proposal is to merge lot 29 with 30, and lot 31 with 32. Mena Court can then be eliminated and the public water and sewer lines that were proposed would no longer be necessary and would be eliminated from the improvement plans. Private sewer and water would replace those public lines to serve only lot 29. Lots 28 and 32 would continue to take sewer and water service out of stubs in Foxmore Lane. Lot 29 would become a flag lot constructed to county standards (more on this below). A sensible adjustment to square up one lot line on lot 33 is also included. Upon approval of the Map Amendment TLA Engineering and Planning will submit an improvement plan revision.

Although this proposal results in the loss of two lots, it is believed the added value of lots 29 and 32, along with the reduction in development costs resulting from elimination of retaining walls and simplified grading and foundations, and the removal of Mena Court (and the otherwise high cost to develop lots 30 and 31) will make up for the loss of two lots.

As part of the county review of application materials we request a review of the preliminary grading plans for these "new" lots in Mena Court and for confirmation of the flag lot configuration, which was designed to meet El Dorado County standards for same.

Flag Lot Design

Flag lot design in El Dorado County is a function of two sources. Section 130.30.020(B2) specifies that flag lot minimum width is measured across the section of the lot not containing the access strip. In the case of this flag lot that width is 82.2± feet. This subdivision is in the R-1 zone where the minimum lot width is 60 feet.

Flag shaped lot design is further controlled the county's Design Improvement Standards. Section 3D (on page 7) indicates that the narrow access length shall not exceed 100 feet and that the minimum width at any point of that access strip shall be 25 feet. In the case of this flag lot the access strip is 32.7± feet.

EXHIBIT H-1

Utility, Drainage, and Easement Changes:

An existing drainage easement on lot 30 adjacent to lot 29, established with the Final Map as instrument, would be abandoned by amending the Final Map. The drainage easement is to contain piped storm drainage. This easement would be replaced, with recording of the amended map, by a similar easement over the new driveway serving the flag lot. This new easement would contain piped drainage. The storm drain easement would remain in place in the rear of lots 30, 31, and 33.

A sewer easement containing an existing 8-inch sewer line, generally centered in the future Mena Court alignment, is already to be abandoned as part of project construction. This future condition would remain unchanged.

Similar to the current map and utility configuration lots 29, 32, and 33 will be served by sewage pumps because they remain sufficiently below the road grade of Foxmore Lane.

Pryor Drive

We are also requesting that two other property lines affecting a total of four lots (not contiguous) be modified. The line between lots 14 and 15 would be moved south roughly 20 feet. This would allow the smallest footprint home to be constructed without retaining wall encroachment into an oak tree dripline. Both lots 14 and 15 would continue to meet county or project established area, depth, and frontage requirements. No utility or drainage easements would be effected.

The property line between lots 7 and 8 would be adjusted to more closely conform to storm drain easement. The easement is located such that it currently creates a large area of lot 7 generally cut off from the rest of the lot. This revision makes both lots more sensible. No utility or drainage easements would be effected; nor would the recorded non-egress line.

End

EXHIBIT H-2

SILVER SPRINGS UNIT 1 MAP AMENDMENT (OVERALL)

FEBRUARY 2019
SHEET 1 OF 4

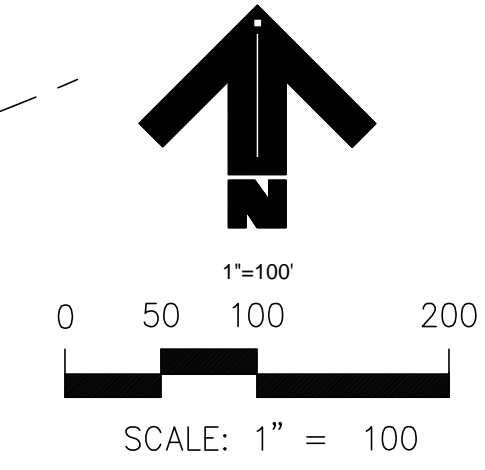
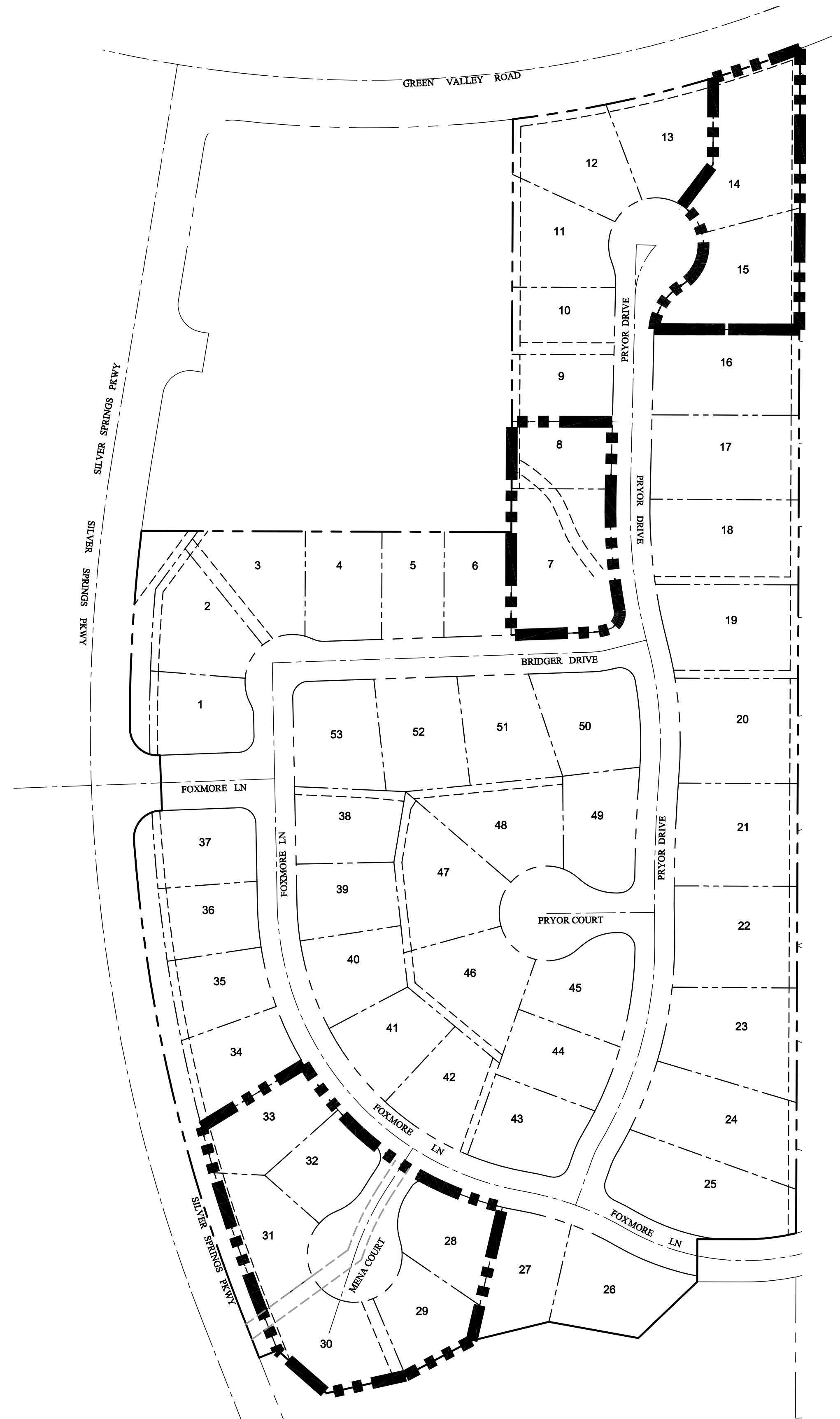


Exhibit I-1

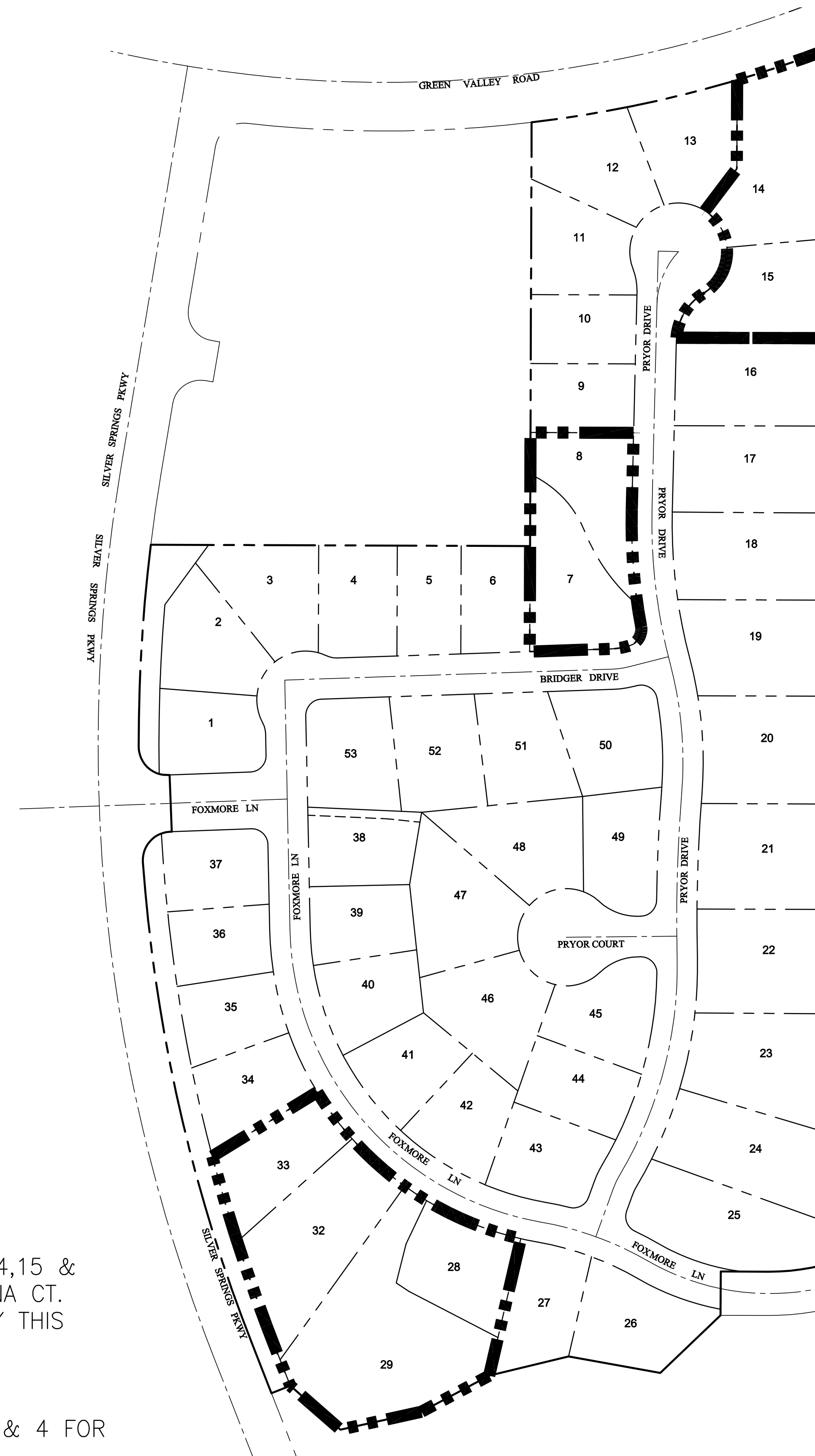


RECORDED FINAL MAP CONDITIONS

ONLY LOTS 7,8,14,15 &
28 - 33 AT MENA CT.
ARE IMPACTED BY THIS
PROPOSED MAP
AMENDMENT.

SEE SHEETS 2,3 & 4 FOR
LOT AREAS

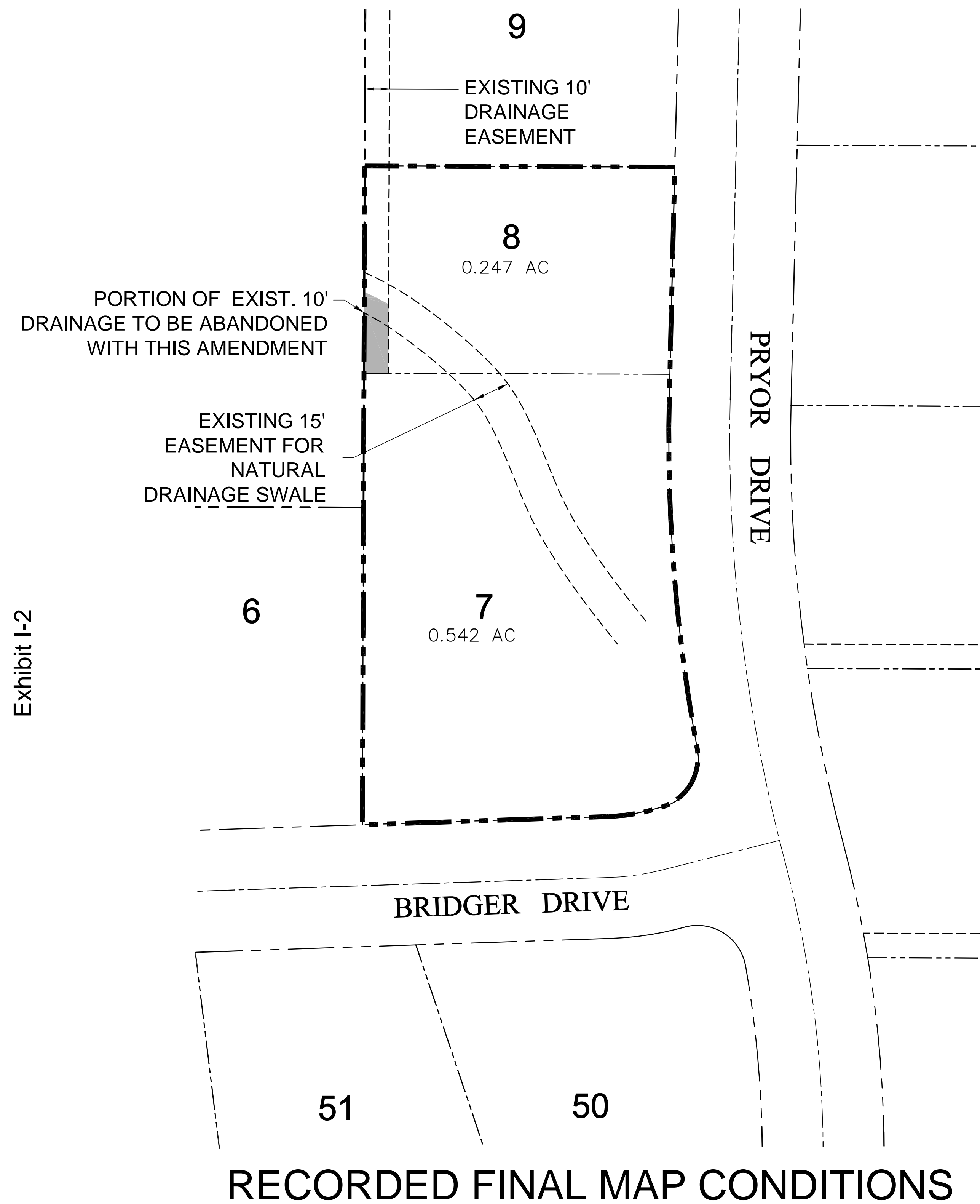
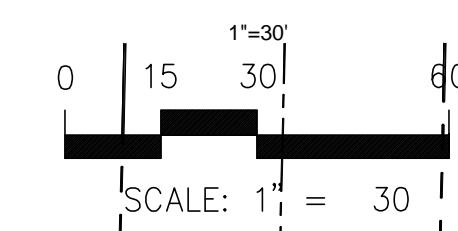
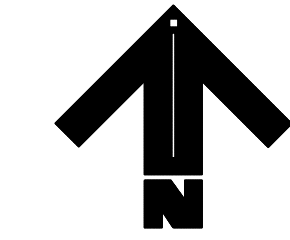
EXHIBIT I-1



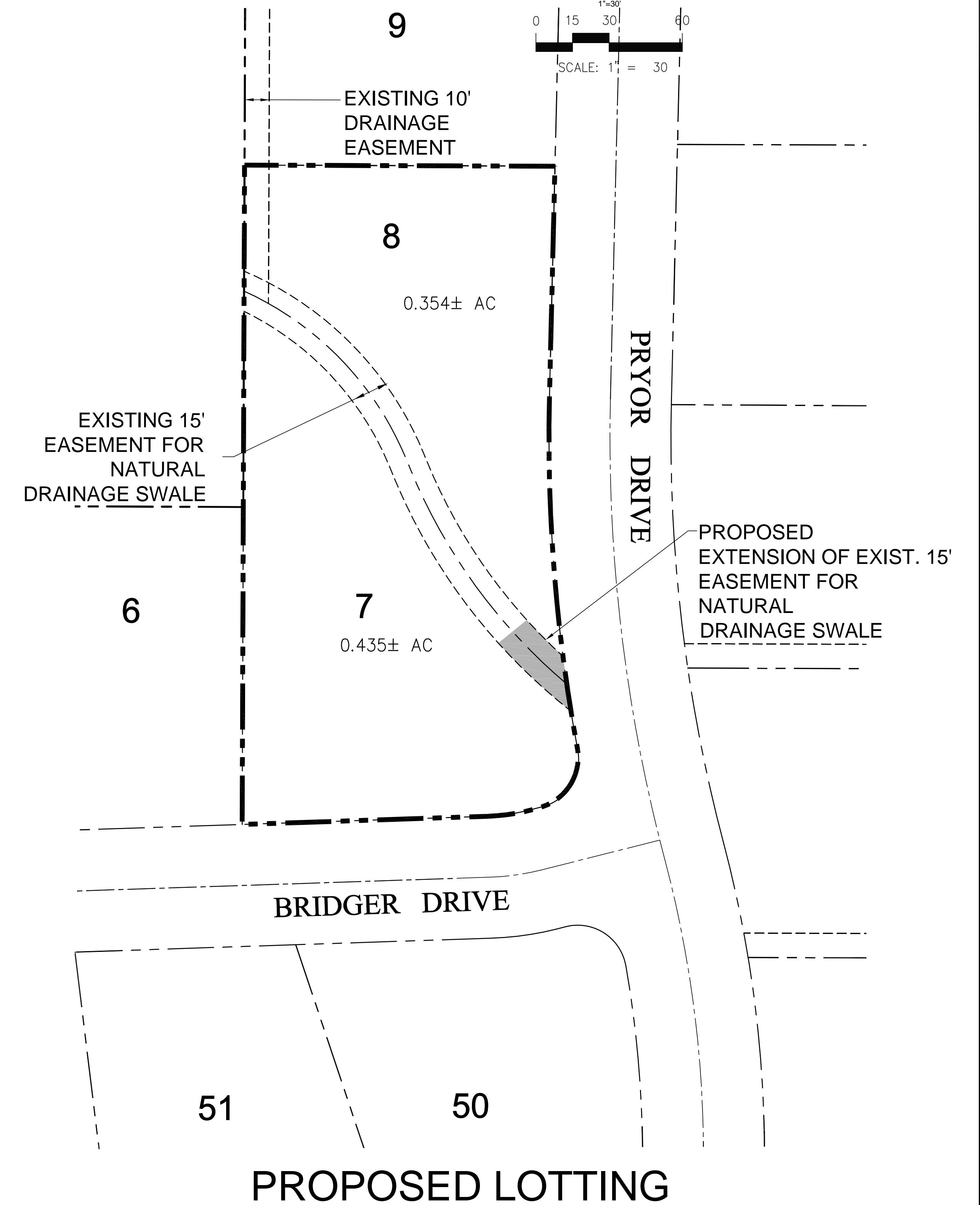
PROPOSED LOTTING

SILVER SPRINGS UNIT 1 MAP AMENDMENT (LOTS 7-8)

FEBRUARY 2019
SHEET 2 OF 4



RECORDED FINAL MAP CONDITIONS



PROPOSED LOTTING

Exhibit I-2

SILVER SPRINGS UNIT 1 MAP AMENDMENT (LOTS 14-15)

FEBRUARY 2019
SHEET 3 OF 4

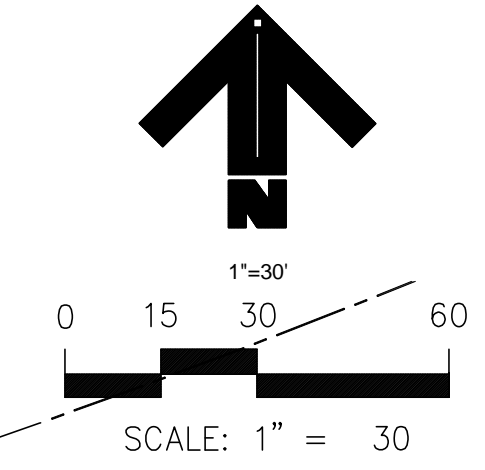
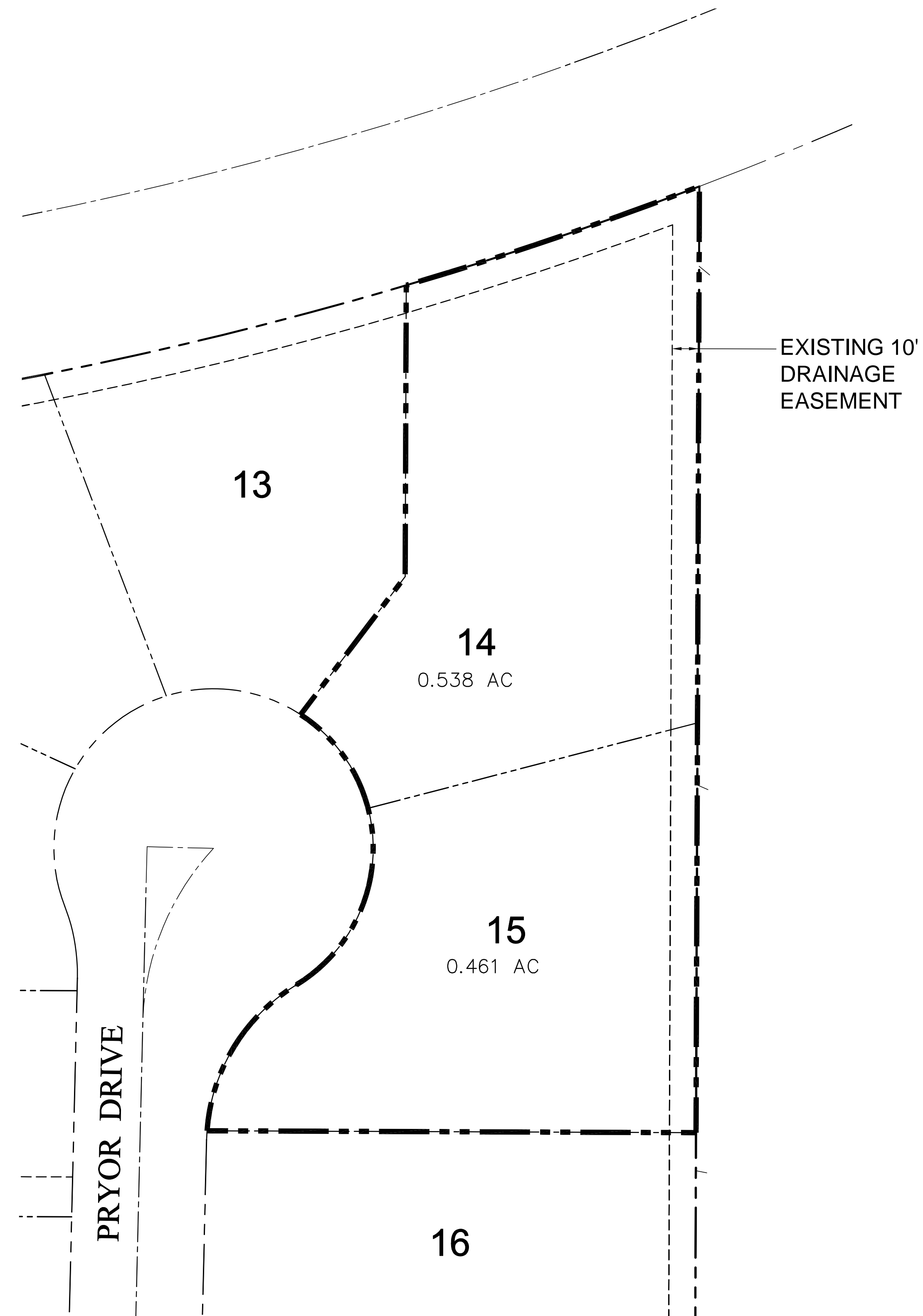
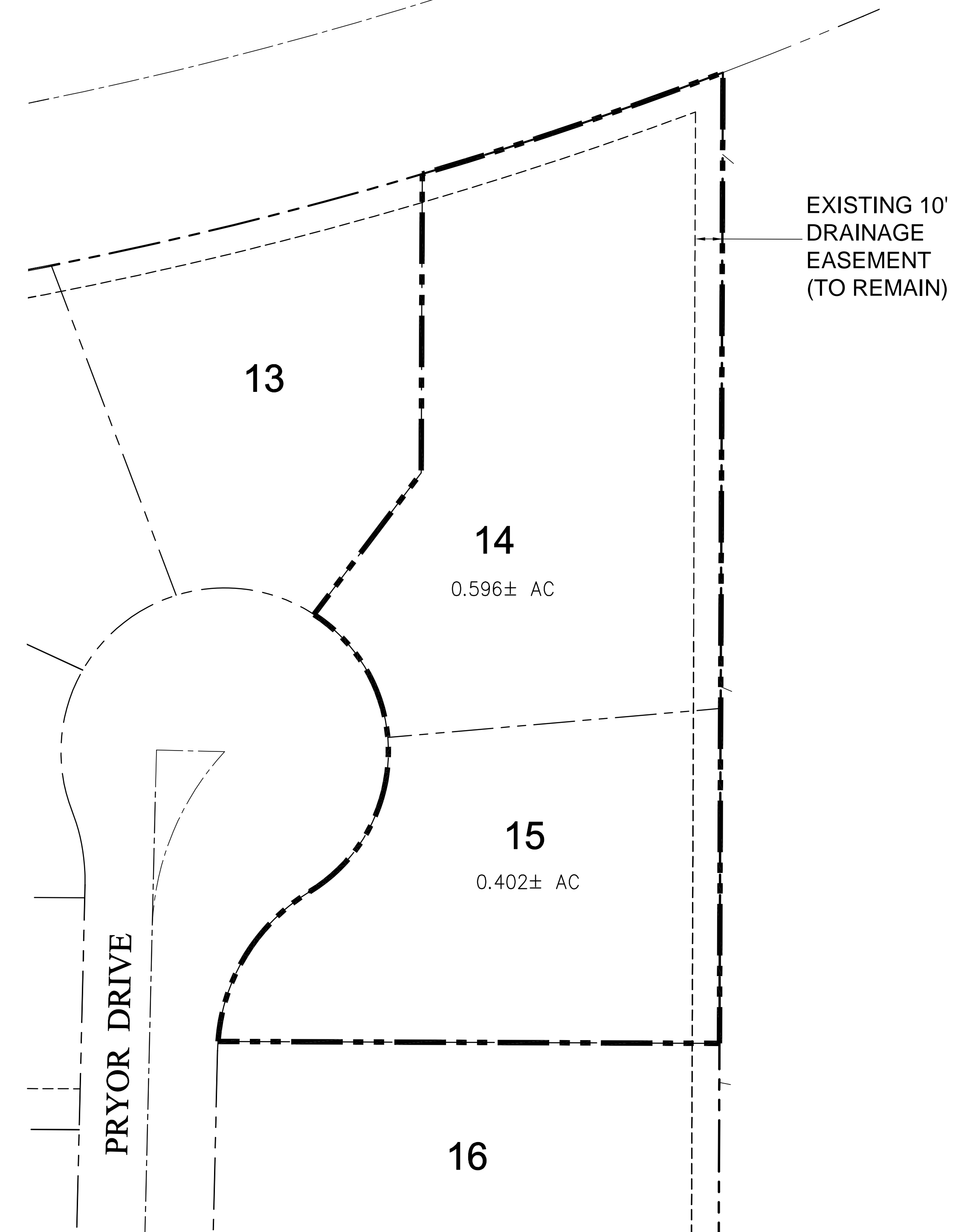


Exhibit I-3



RECORDED FINAL MAP CONDITIONS

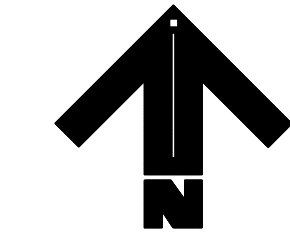


PROPOSED LOTTING

TIA
ENGINEERING AND PLANNING
1504 EUREKA ROAD, SUITE 110
ROSEVILLE, CA 95661 916.786.0685

SILVER SPRINGS UNIT 1 MAP AMENDMENT (LOTS 28-33)

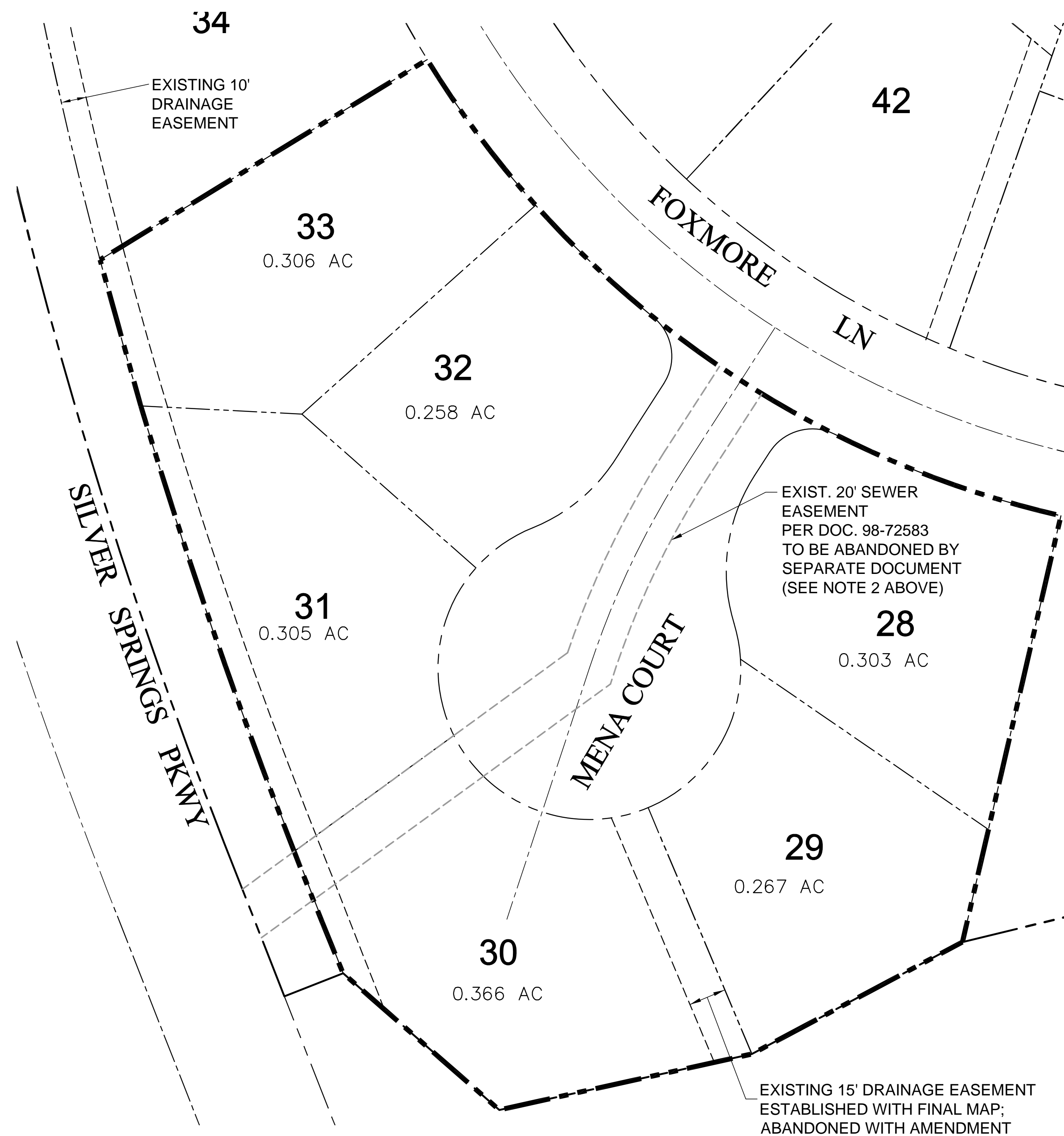
FEBRUARY 2019
SHEET 4 OF 4



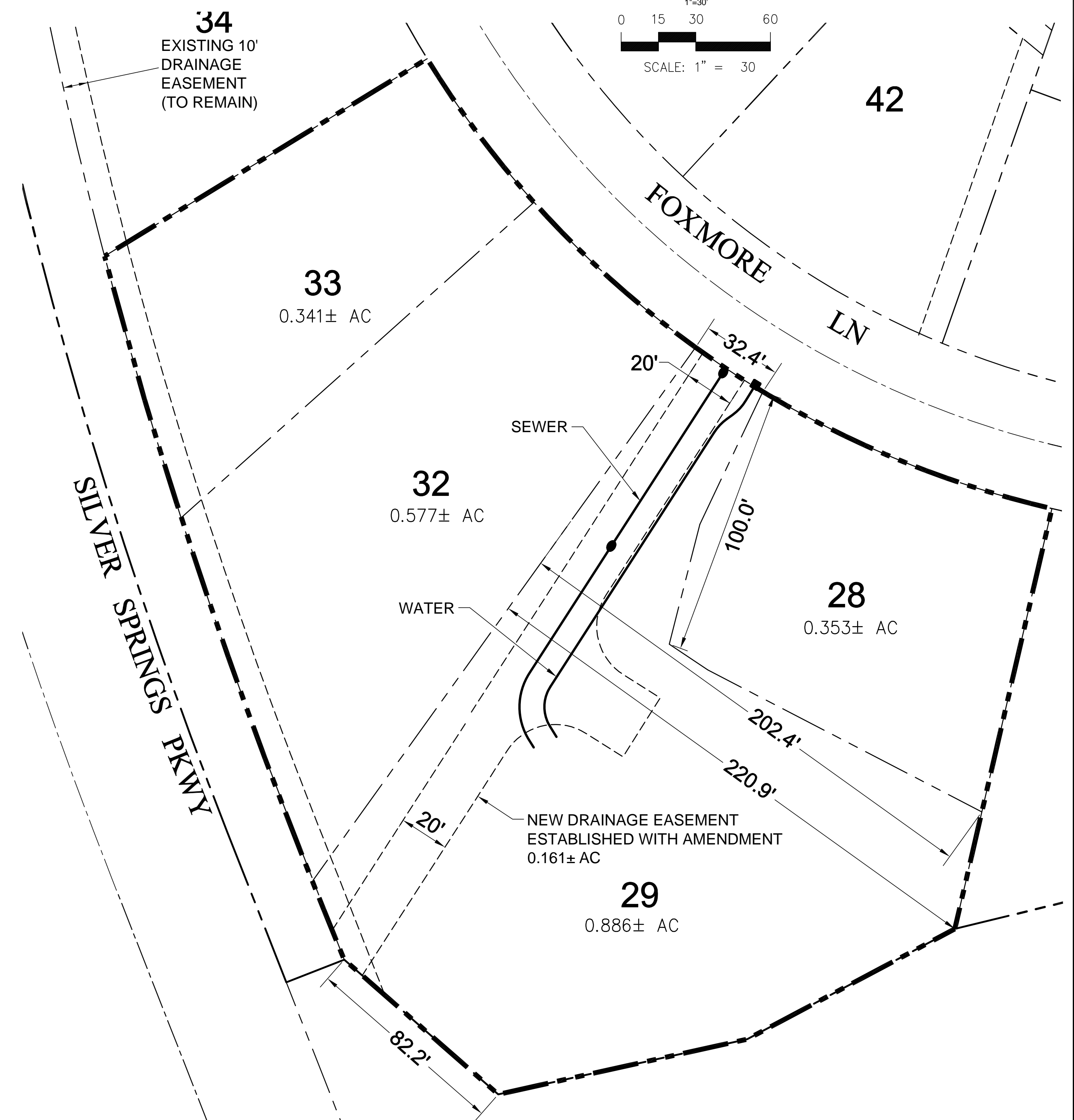
1"=30'
0 15 30 60
SCALE: 1" = 30'

- Public Utilities easements for underground wires, conduits, and pipelines and appurtenant fixtures, with the right to trim and remove limbs, trees and brush therefrom, over, under and across the common areas, Lots J and K, the front twelve and one half (12.50) feet of each lot shown hereon and the five (5.00) feet on both sides of all side lot lines extending from the street right-of-ways shown hereon along said property lines a distance of fifty (50.00) feet.
- Easement benefitting El Dorado Irrigation District (document 98-72583) to be abandoned by that District's Board of Directors upon District's acceptance of alternative improvements (Email from Brink 1/28/19).

Exhibit I-4



RECORDED FINAL MAP CONDITIONS



PROPOSED LOTTING