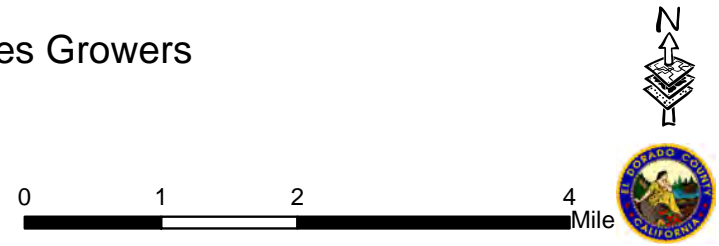
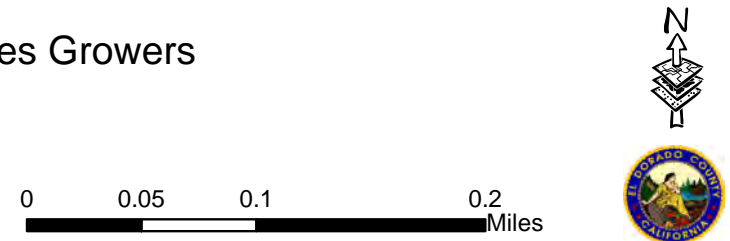


CCUP20-0004/V23-0002/Green Gables Growers
Exhibit A - Location Map





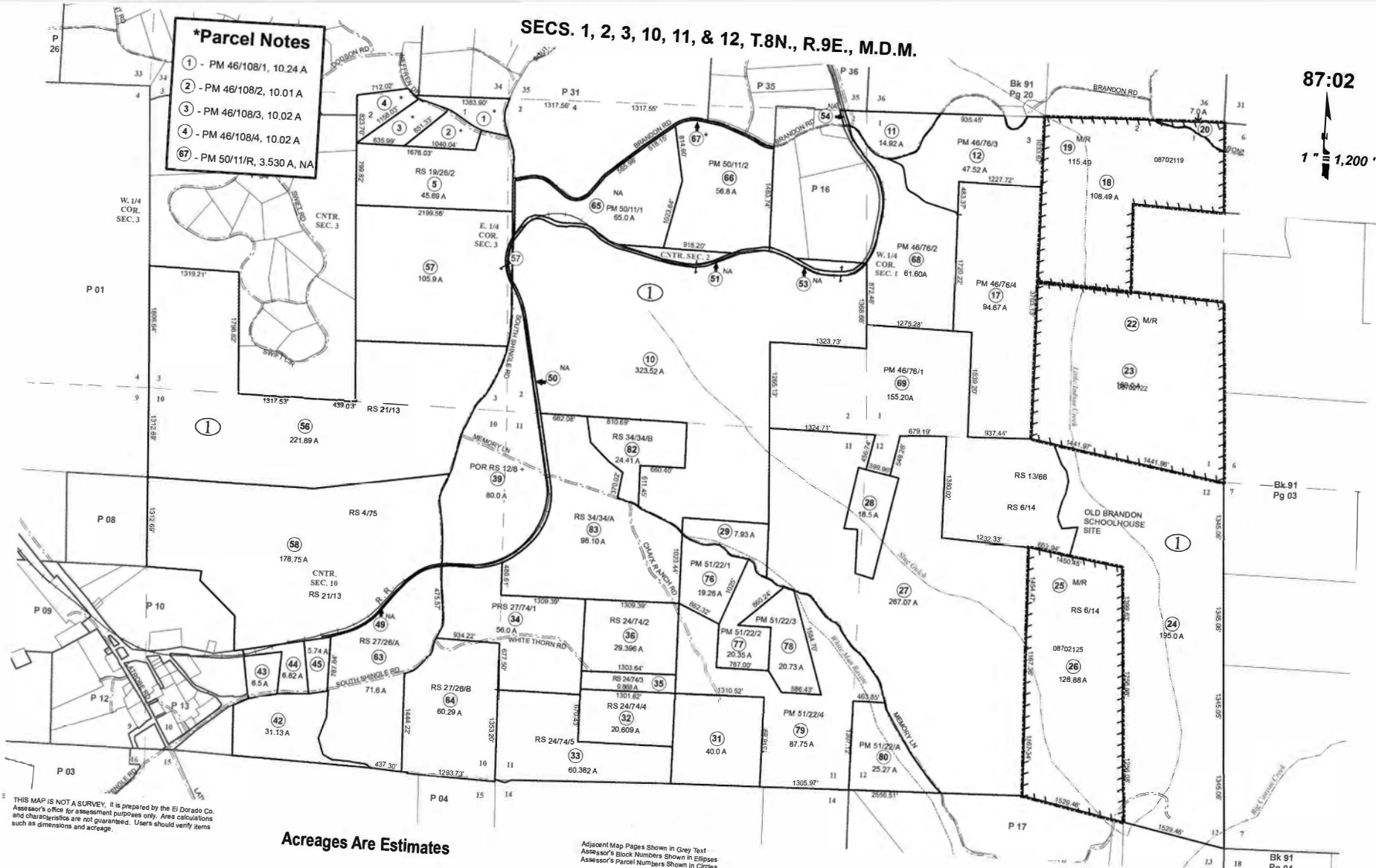
CCUP20-0004/V23-0002/Green Gables Growers
Exhibit B - Aerial Map



SECS. 1, 2, 3, 10, 11, & 12, T.8N., R.9E., M.D.M.

- *Parcel Notes**
- ① - PM 46/108/1, 10.24 A
 - ② - PM 46/108/2, 10.01 A
 - ③ - PM 46/108/3, 10.02 A
 - ④ - PM 46/108/4, 10.02 A
 - ⑥7 - PM 50/11/R, 3,530 A, NA

87:02



THIS MAP IS NOT A SURVEY. It is prepared by the El Dorado Co. Assessor's office for assessment purposes only. Area calculations and characteristics are not guaranteed. Users should verify items such as dimensions and acreage.

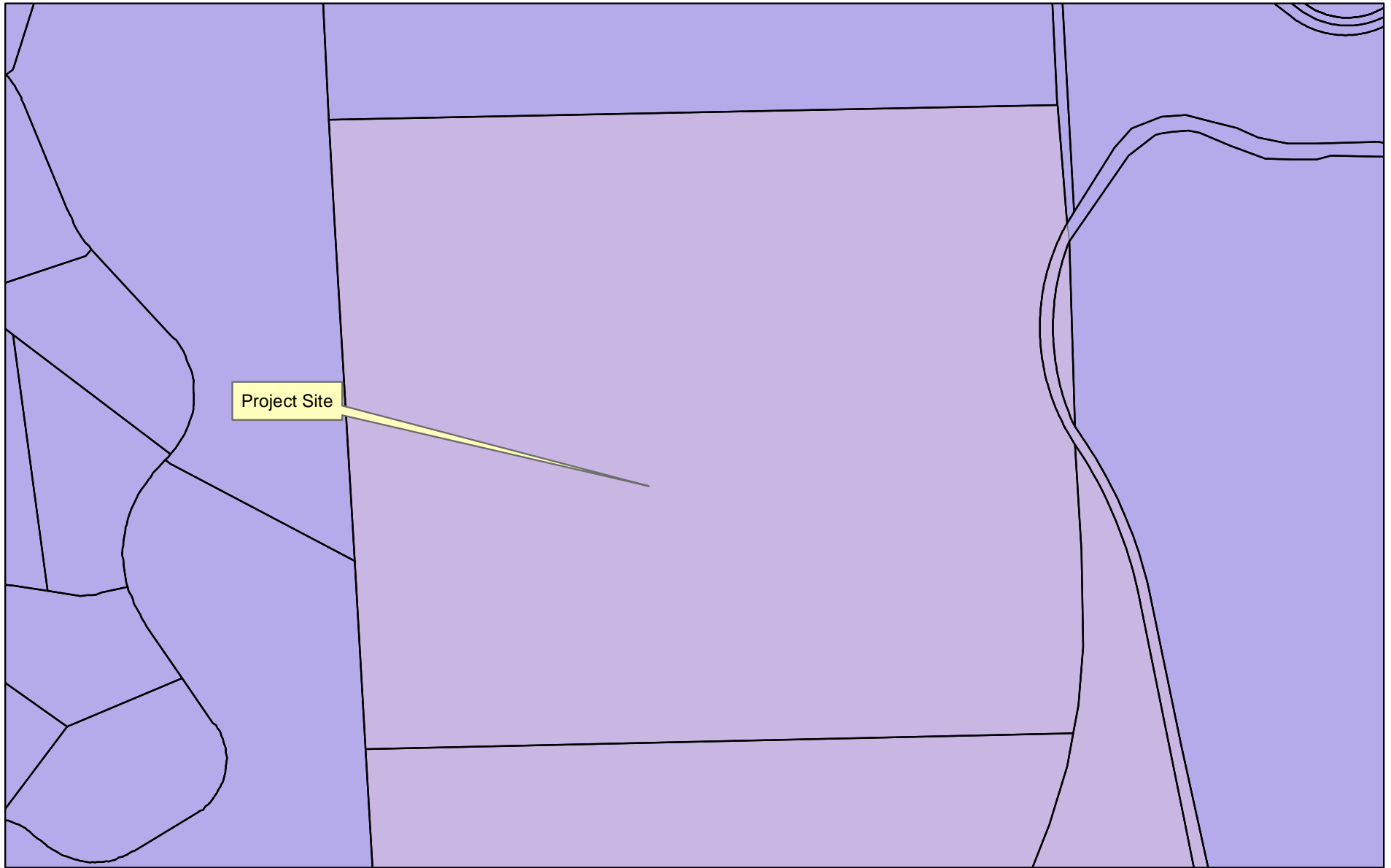
Acreages Are Estimates

Adjacent Map Pages Shown in Grey Text
Assessor's Block Numbers Shown in Ellipses
Assessor's Parcel Numbers Shown in Circles

Rev. JUL 11, 2014

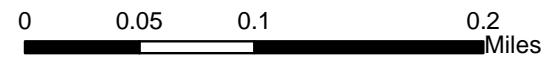
Assessor's Map Bk 087, Pg. 02

**CCUP20-0004/V23-0002/Green Gables Growers
Exhibit C - Assessor's Parcel Map**



AL RR

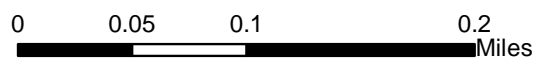
CCUP20-0004/V23-0002/Green Gables Growers
Exhibit D - General Plan Land Use Designation Map

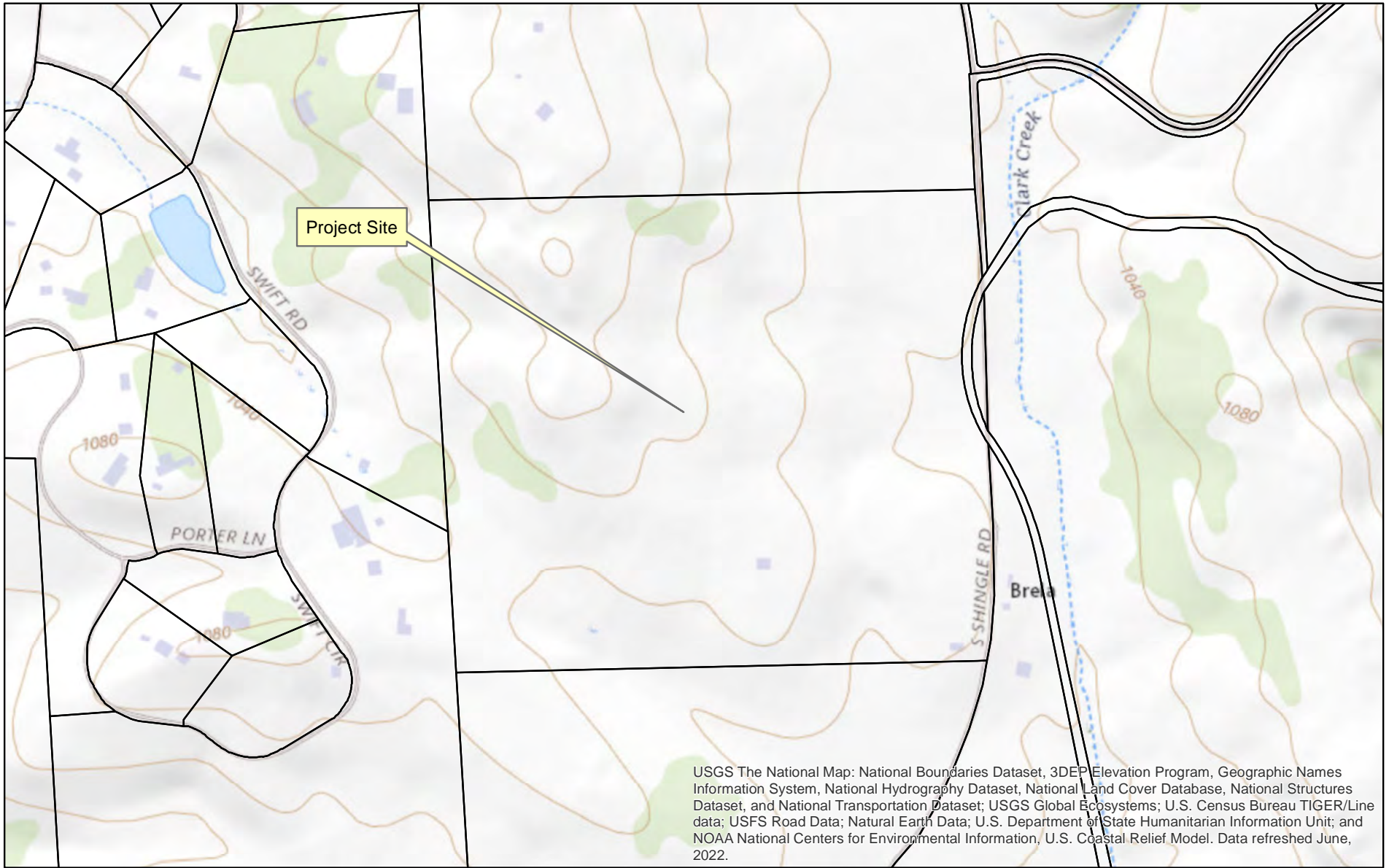




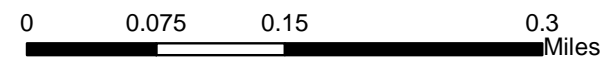
- AG-40
- RL-10
- LA-20
- RL-20
- PA-20
- TC
- RE-10

CCUP20-0004/V23-0002/Green Gables Growers
Exhibit E - Zoning Designation Map





CCUP20-0004/V23-0002/Green Gables Growers
 Exhibit F - Topographic Map



GREEN GABLES CANNABIS FARM

6914 SOUTH SHINGLE RD
SHINGLE SPRINGS, CA 95682

D&Z
Engineering, Inc.
3389 Mira Loma Dr. Ste. 3
Cameron Park, CA 95682
Tel: (530) 677-0900
www.dz-engineering.com



Green Gables
6914 S. Shingle Rd.
Shingle Springs, CA 95682

PROJECT TEAM

OWNER
ROBERT SANDIE
6914 S. SHINGLE RD
SHINGLE SPRINGS, CA 95682
PHONE: (408) 480-1216
EMAIL: rsandie101@yahoo.com

DESIGNER
D&Z STRUCTURAL ENGINEERING, INC.
3389 MIRA LOMA DR. #3
CAMERON PARK, CA 95682
PHONE: (530) 677-0900
CONTACT: JIM DILLINGHAM
EMAIL: jdillingham@dz-engineering.com

PROJECT INFORMATION

ADDRESS: 6914 S. SHINGLE RD.
SHINGLE SPRINGS, CA 95682

APN: 087-021-057-000

AREA:

FENCED AREA	19,855	S.F.
CANNABIS CROP AREA	7,825	S.F.
GRAVEL PARKING AREA	3,825	S.F.
SOLID SURFACE ADA PARKING AREA	238	S.F.

APPLICABLE CODE:
EL DORADO COUNTY CANNIBIS OUTDOOR GROW GUIDELINES, 2019 CALIFORNIA BUILDING CODE, CALIFORNIA CODE, CALIFORNIA GREEN STANDARDS CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA ELECTRICAL CODE, CALIFORNIA FIRE CODE, CALIFORNIA ENERGY CODE, AND CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE AS AMENDED BY THE STATE OF CALIFORNIA AND THE LOCAL JURISDICTION AND THE LATEST VERSION OF ALL OTHER CODES ADOPTED BY THE LOCAL JURISDICTION ARE APPLICABLE TO THIS PROJECT. THIS PROJECT REQUIRES COMPLIANCE WITH THESE CODES.

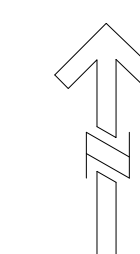
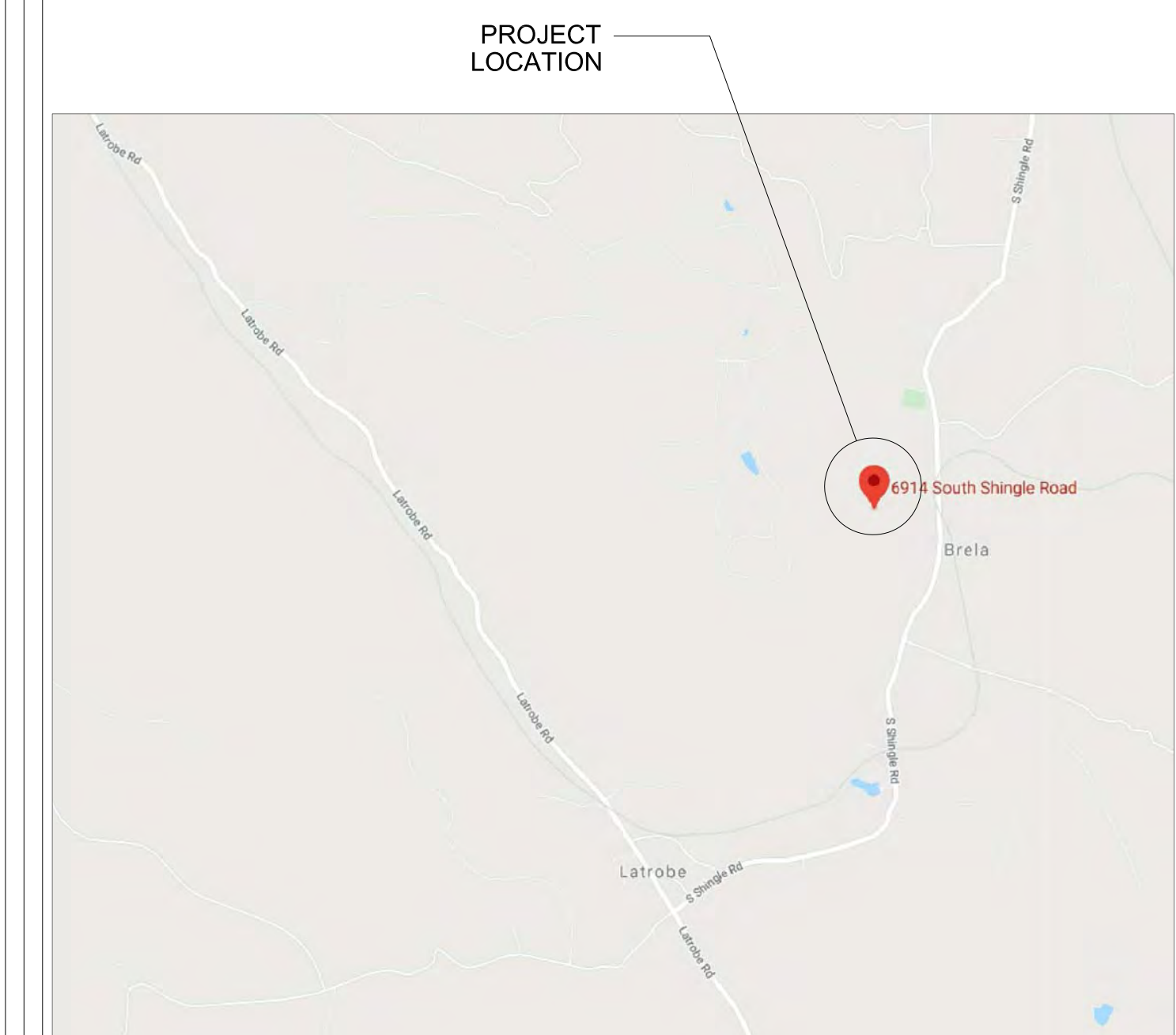
SCOPE OF WORK

CREATE A CANNABIS GROWING AREA WITHIN THE ALLOWABLE SETBACK FOR THE PROPERTY AT THE ABOVE ADDRESS. ADEQUATE PARKING, INCLUDING ONE ACCESSIBLE SPACE, AND AN ACCESSIBLE RESTROOM ARE ALSO TO BE PROVIDED ADJACENT TO THE GROWING AREA.

SHEET INDEX

T1	TITLE COVER SHEET
C1	OVERALL SITE PLAN
C2	ENLARGED SITE PLAN
C3	EROSION CONTROL
C4	DETAILS

VICINITY MAP



Owner
Robert Sandie

Revisions	Date	By	Description

Designed MB

Drawn MB

Date 06/20

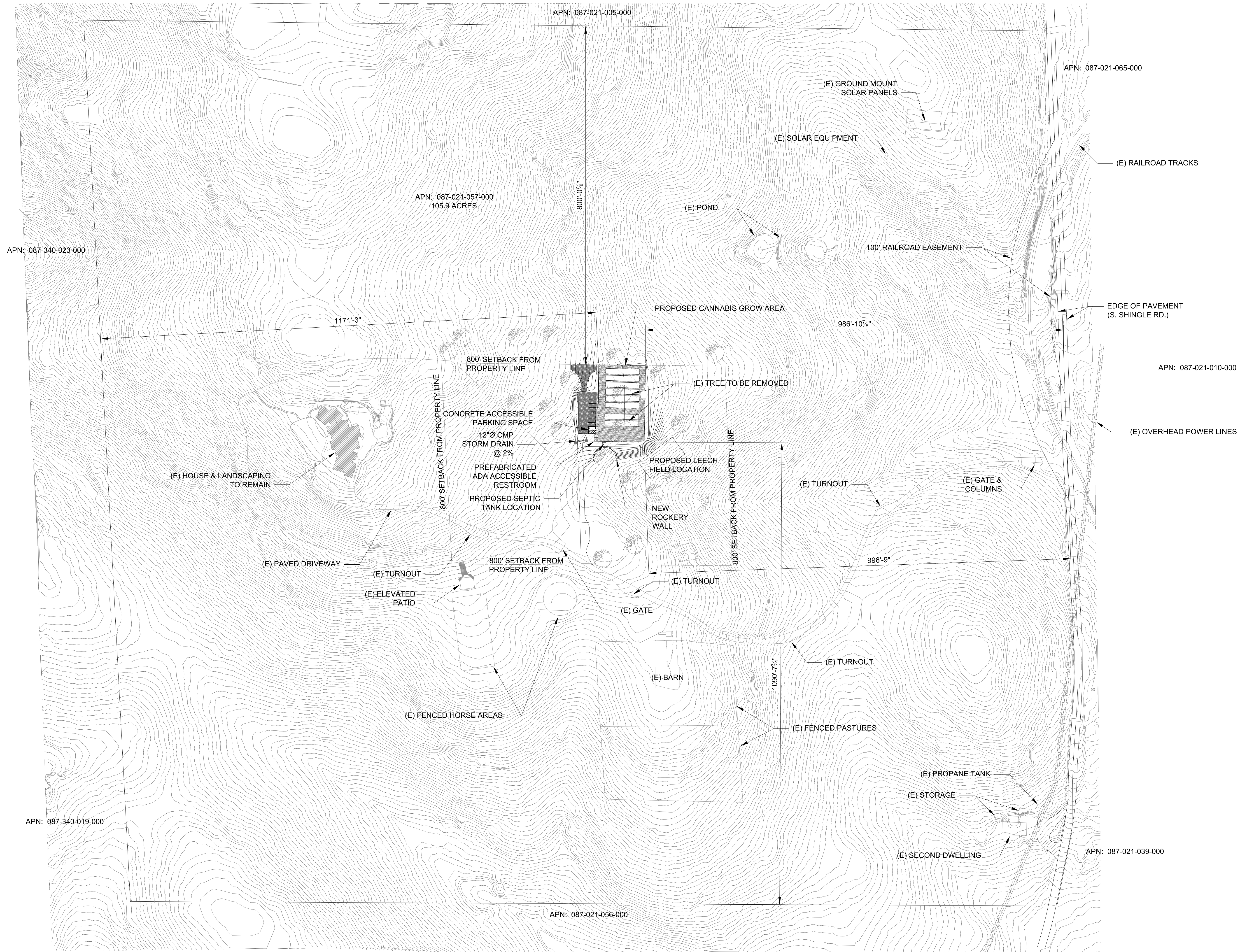
Title Cover Sheet

Sheet

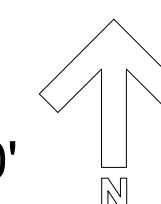
T1



Green Gables
 6914 S. Shingle Rd.
 Shingle Springs, CA 95682



Overall Site Plan - 1" = 100'



Owner
 Robert Sandie

Revisions	Date	By
Sym	Description	

Designed MB
 Drawn MB
 Date 06/20
 Overall Site Plan

Sheet
C1



Owner
Robert Sandie

Revisions	Date	By

Designed MB

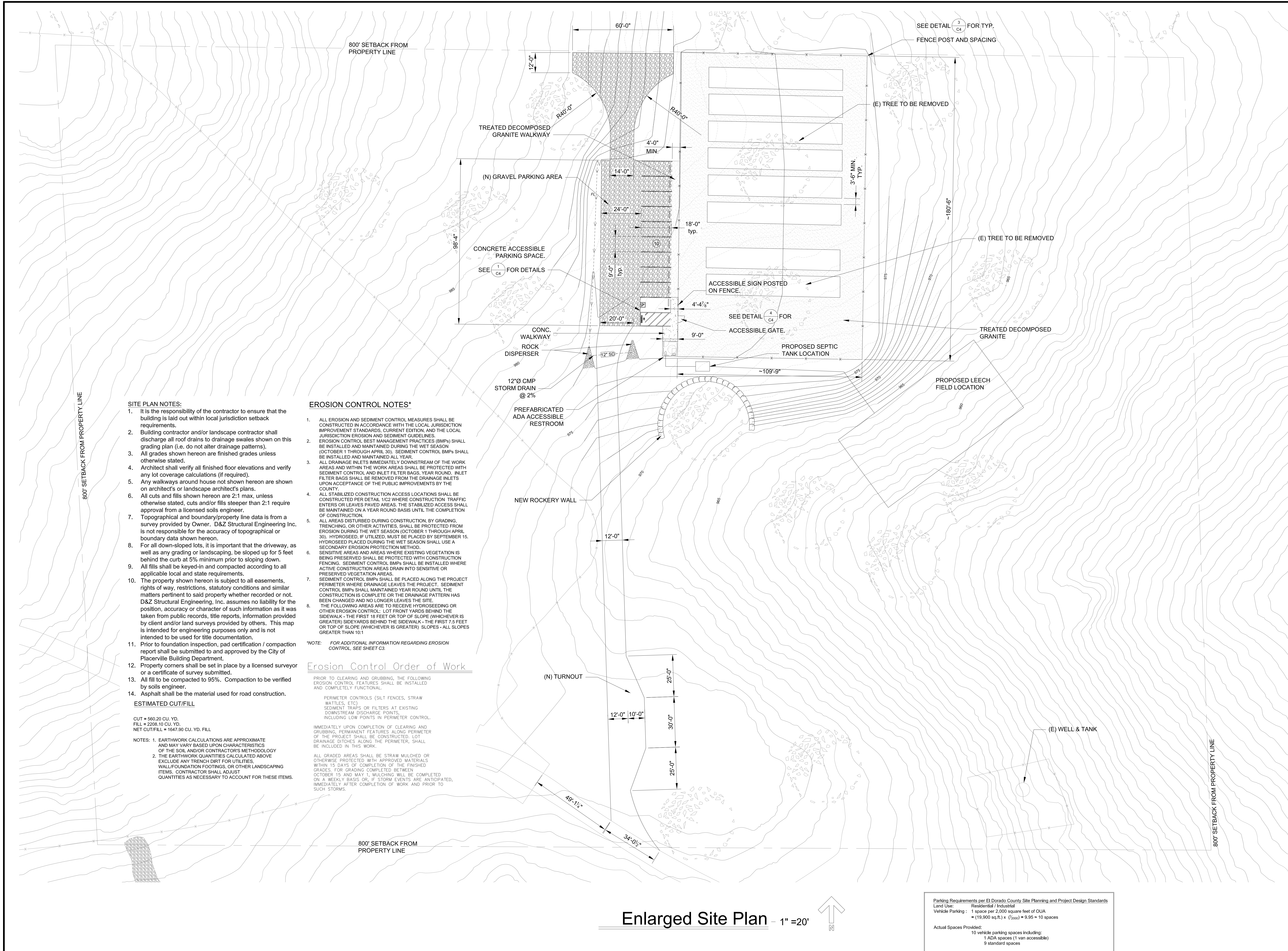
Drawn MB

Date 06/20

Enlarged Site Plan

Sheet

C2



SITE PLAN NOTES:

- It is the responsibility of the contractor to ensure that the building is laid out within local jurisdiction setback requirements.
- Building contractor and/or landscape contractor shall discharge all roof drains to drainage swales shown on this grading plan (i.e. do not alter drainage patterns).
- All grades shown hereon are finished grades unless otherwise stated.
- Architect shall verify all finished floor elevations and verify any lot coverage calculations (if required).
- Any walkways around house not shown hereon are shown on architect's or landscape architect's plans.
- All cuts and fills shown hereon are 2:1 max, unless otherwise stated, cuts and/or fills steeper than 2:1 require approval from a licensed soils engineer.
- Topographical and boundary/property line data is from a survey provided by Owner. D&Z Structural Engineering Inc. is not responsible for the accuracy of topographical or boundary data shown hereon.
- For all down-sloped lots, it is important that the driveway, as well as any grading or landscaping, be sloped up for 5 feet behind the curb at 5% minimum prior to sloping down.
- All fills shall be keyed-in and compacted according to all applicable local and state requirements.
- The property shown hereon is subject to all easements, rights of way, restrictions, statutory conditions and similar matters pertinent to said property whether recorded or not. D&Z Structural Engineering, Inc. assumes no liability for the position, accuracy or character of such information as it was taken from public records, title reports, information provided by client and/or land surveys provided by others. This map is intended for engineering purposes only and is not intended to be used for title documentation.
- Prior to foundation inspection, pad certification / compaction report shall be submitted to and approved by the City of Placerville Building Department.
- Property corners shall be set in place by a licensed surveyor or a certificate of survey submitted.
- All fill to be compacted to 95%. Compaction to be verified by soils engineer.
- Asphalt shall be the material used for road construction.

ESTIMATED CUT/FILL

CUT = 560.20 CU. YD.
FILL = 2208.10 CU. YD.
NET CUT/FILL = 1647.90 CU. YD. FILL

- NOTES: 1. EARTHWORK CALCULATIONS ARE APPROXIMATE AND MAY VARY BASED UPON CHARACTERISTICS OF THE SOIL AND/OR CONTRACTORS METHODOLOGY
2. THE EARTHWORK QUANTITIES CALCULATED ABOVE EXCLUDE ANY TRENCH DIRT FOR UTILITIES, WALL FOUNDATION FOOTINGS, OR OTHER LANDSCAPING ITEMS. CONTRACTOR SHALL ADJUST QUANTITIES AS NECESSARY TO ACCOUNT FOR THESE ITEMS.

EROSION CONTROL NOTES*

- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LOCAL JURISDICTION IMPROVEMENT STANDARDS, CURRENT EDITION, AND THE LOCAL JURISDICTION EROSION AND SEDIMENT GUIDELINES.
- EROSION CONTROL BEST MANAGEMENT PRACTICES (BMPs) SHALL BE INSTALLED AND MAINTAINED DURING THE WET SEASON (OCTOBER 1 THROUGH APRIL 30). SEDIMENT CONTROL BMPs SHALL BE INSTALLED AND MAINTAINED ALL YEAR.
- ALL DRAINAGE INLETS IMMEDIATELY DOWNSTREAM OF THE WORK AREAS AND WITHIN THE WORK AREAS SHALL BE PROTECTED WITH SEDIMENT CONTROL AND INLET FILTER BAGS. YEAR ROUND, INLET FILTER BAGS SHALL BE REMOVED FROM THE DRAINAGE INLETS UPON ACCEPTANCE OF THE PUBLIC IMPROVEMENTS BY THE COUNTY.
- ALL STABILIZED CONSTRUCTION ACCESS LOCATIONS SHALL BE CONSTRUCTED PER DETAIL 11C2 WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES PAVED AREAS. THE STABILIZED ACCESS SHALL BE MAINTAINED ON A YEAR ROUND BASIS UNTIL THE COMPLETION OF CONSTRUCTION.
- ALL AREAS DISTURBED DURING CONSTRUCTION, BY GRADING, TRENCHING, OR OTHER ACTIVITIES, SHALL BE PROTECTED FROM EROSION DURING THE WET SEASON (OCTOBER 1 THROUGH APRIL 30). HYDROSEED, IF UTILIZED, MUST BE PLACED BY SEPTEMBER 15. HYDROSEED PLACED DURING THE WET SEASON SHALL USE A SECONDARY EROSION PROTECTION METHOD.
- SENSITIVE AREAS AND AREAS WHERE EXISTING VEGETATION IS BEING PRESERVED SHALL BE PROTECTED WITH CONSTRUCTION FENCINGS. SEDIMENT CONTROL BMPs SHALL BE INSTALLED WHERE ACTIVE CONSTRUCTION AREAS DRAIN INTO SENSITIVE OR PRESERVED VEGETATION AREAS.
- SEDIMENT CONTROL BMPs SHALL BE PLACED ALONG THE PROJECT PERIMETER WHERE DRAINAGE LEAVES THE PROJECT. SEDIMENT CONTROL BMPs SHALL MAINTAINED YEAR ROUND UNTIL THE CONSTRUCTION IS COMPLETE OR THE DRAINAGE PATTERN HAS BEEN CHANGED AND NO LONGER LEAVES THE SITE.
- THE FOLLOWING AREAS ARE TO RECEIVE HYDROSEEDING OR OTHER EROSION CONTROL: LOT FRONT YARDS BEHIND THE SIDEWALK - THE FIRST 18 FEET OR TOP OF SLOPE (WHICHEVER IS GREATER) SIDEYARDS BEHIND THE SIDEWALK - THE FIRST 7.5 FEET OR TOP OF SLOPE (WHICHEVER IS GREATER) SLOPES - ALL SLOPES GREATER THAN 10:1

*NOTE: FOR ADDITIONAL INFORMATION REGARDING EROSION CONTROL, SEE SHEET C3.

Erosion Control Order of Work

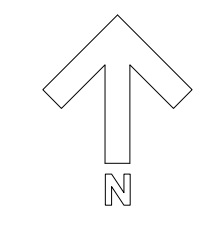
PRIOR TO CLEARING AND GRUBBING, THE FOLLOWING EROSION CONTROL FEATURES SHALL BE INSTALLED AND COMPLETELY FUNCTIONAL:

PERIMETER CONTROLS (SILT FENCES, STRAW WATTLES, ETC)
SEDIMENT TRAPS OR FILTERS AT EXISTING DOWNSTREAM DISCHARGE POINTS.
INCLUDING LOW POINTS IN PERIMETER CONTROL

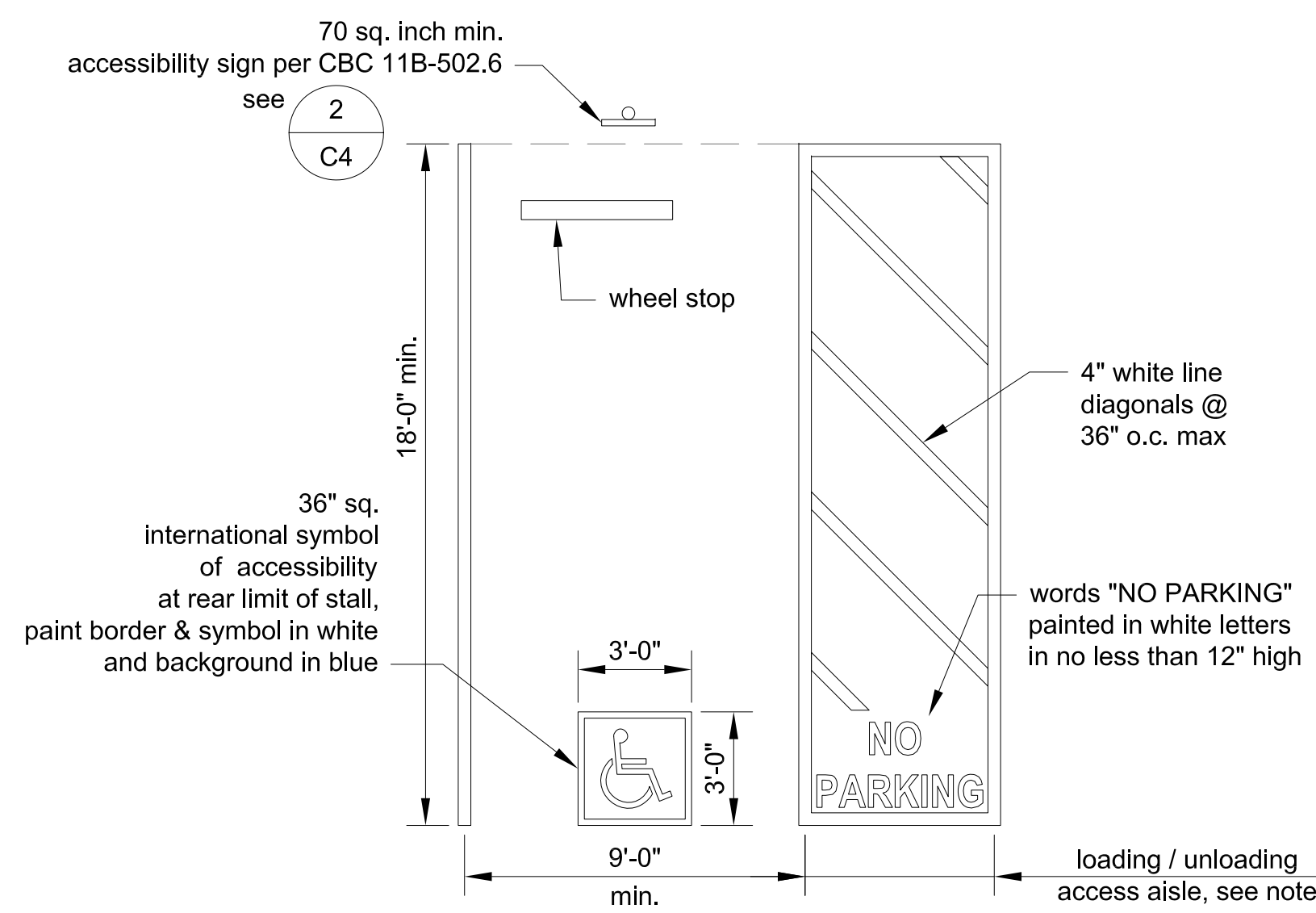
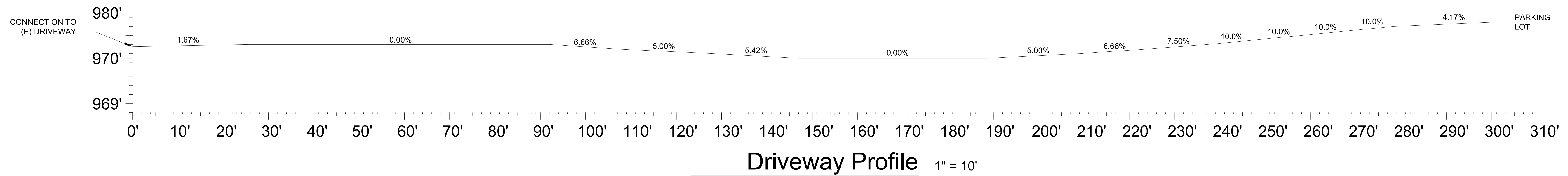
IMMEDIATELY UPON COMPLETION OF CLEARING AND GRUBBING, PERMANENT FEATURES ALONG PERIMETER OF THE PROJECT SHALL BE CONSTRUCTED. LOT DRAINAGE DITCHES ALONG THE PERIMETER, SHALL BE INCLUDED IN THIS WORK.

ALL GRADED AREAS SHALL BE STRAW MULCHED OR OTHERWISE PROTECTED WITH APPROVED MATERIALS WITHIN 15 DAYS OF COMPLETION OF THE FINISHED GRADES. FOR GRADING COMPLETED BETWEEN OCTOBER 15 AND MAY 1, MULCHING WILL BE COMPLETED ON A WEEKLY BASIS OR IF STORM EVENTS ARE ANTICIPATED, IMMEDIATELY AFTER COMPLETION OF WORK AND PRIOR TO SUCH STORMS.

Enlarged Site Plan - 1" = 20'



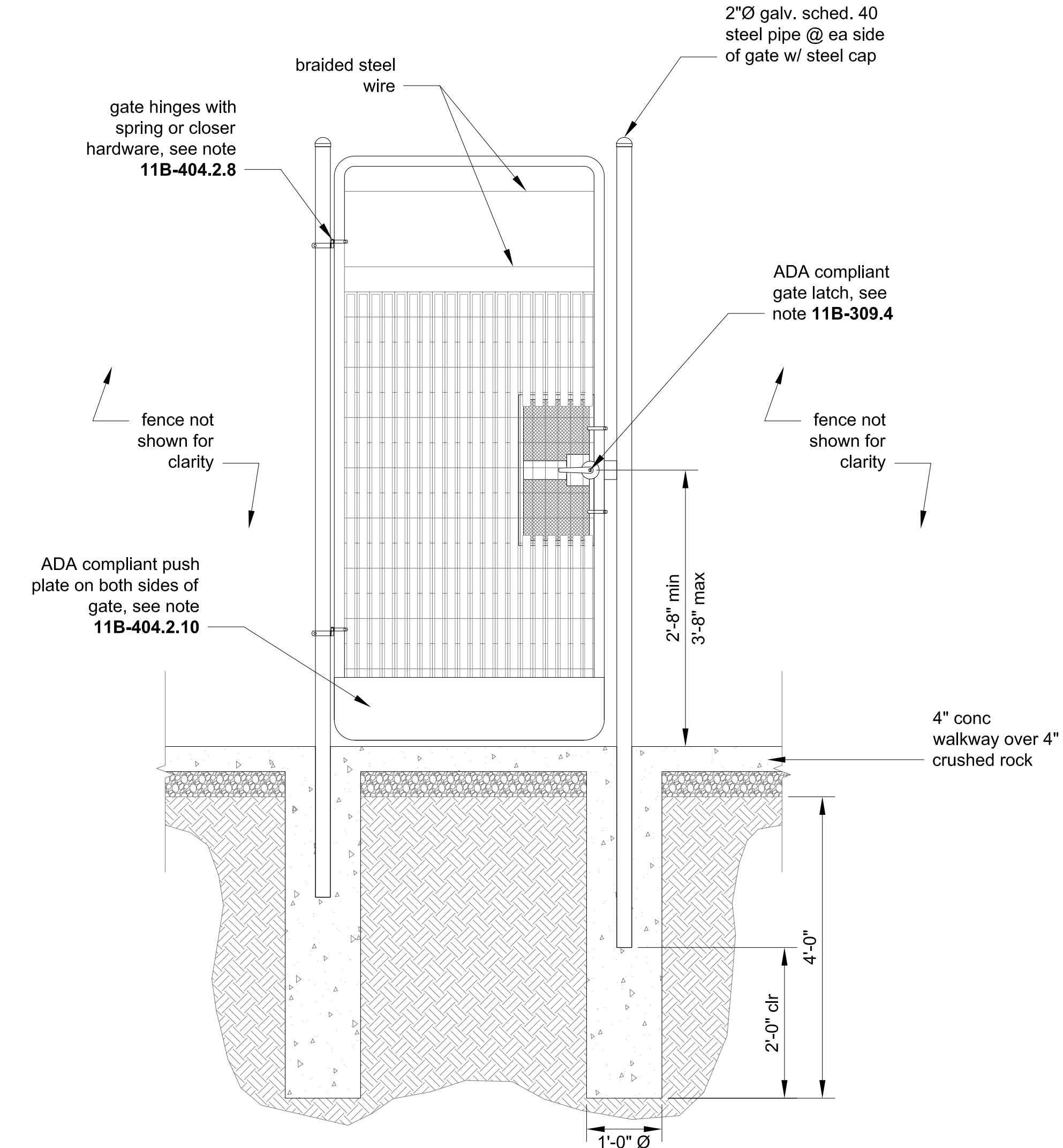
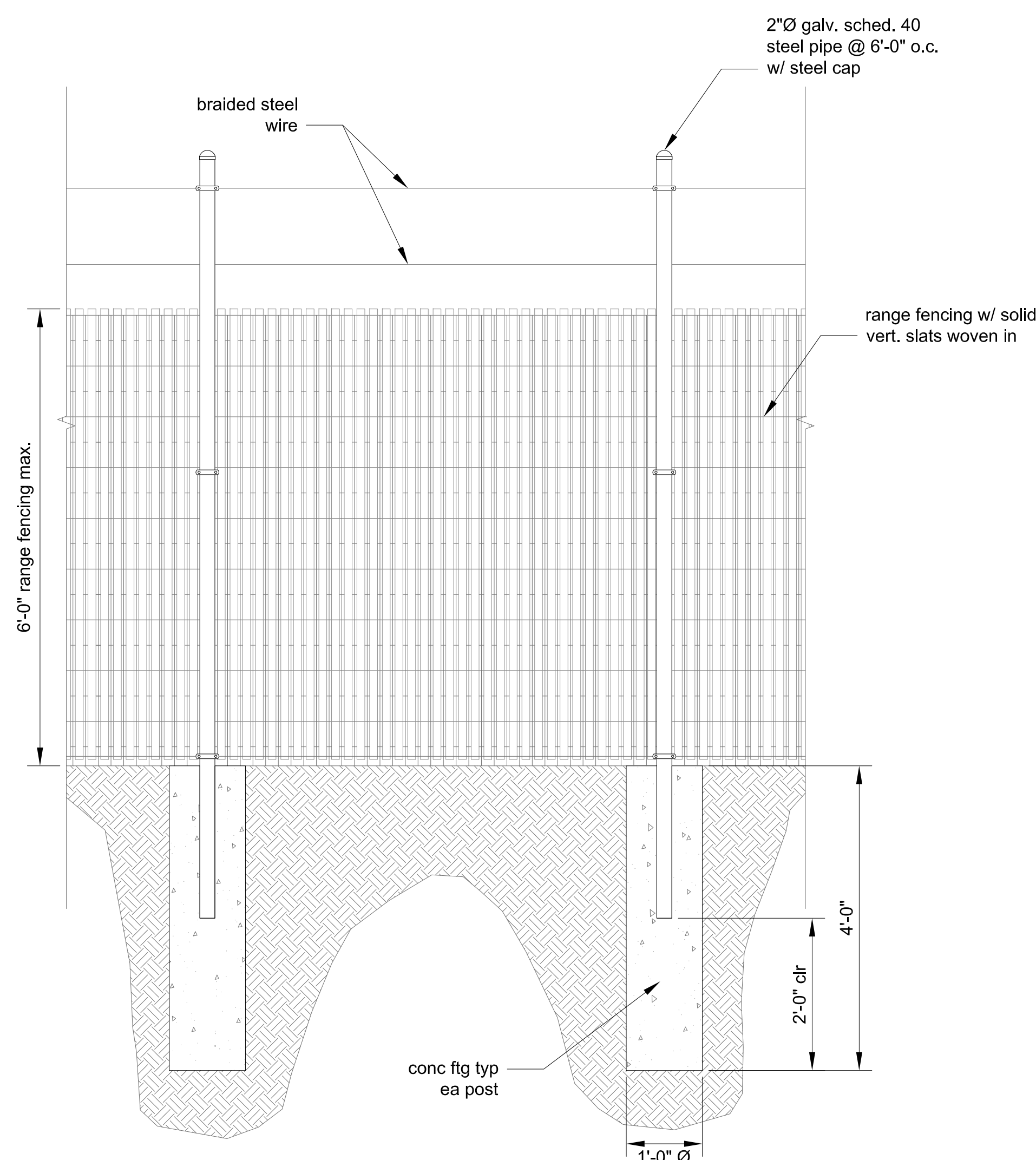
Parking Requirements per El Dorado County Site Planning and Project Design Standards
Land Use: Residential / Industrial
Vehicle Parking: 1 space per 2,000 square feet of OUA
= (19,900 sq.ft.) x (1/2000) = 9.95 = 10 spaces
Actual Spaces Provided:
10 vehicle parking spaces including:
1 ADA spaces (1 van accessible)
9 standard spaces



NOTE: Width of loading / unloading access aisle to be 5'-0" min. for regular accessible parking stall or 8'-0" min. for van accessible parking stall.

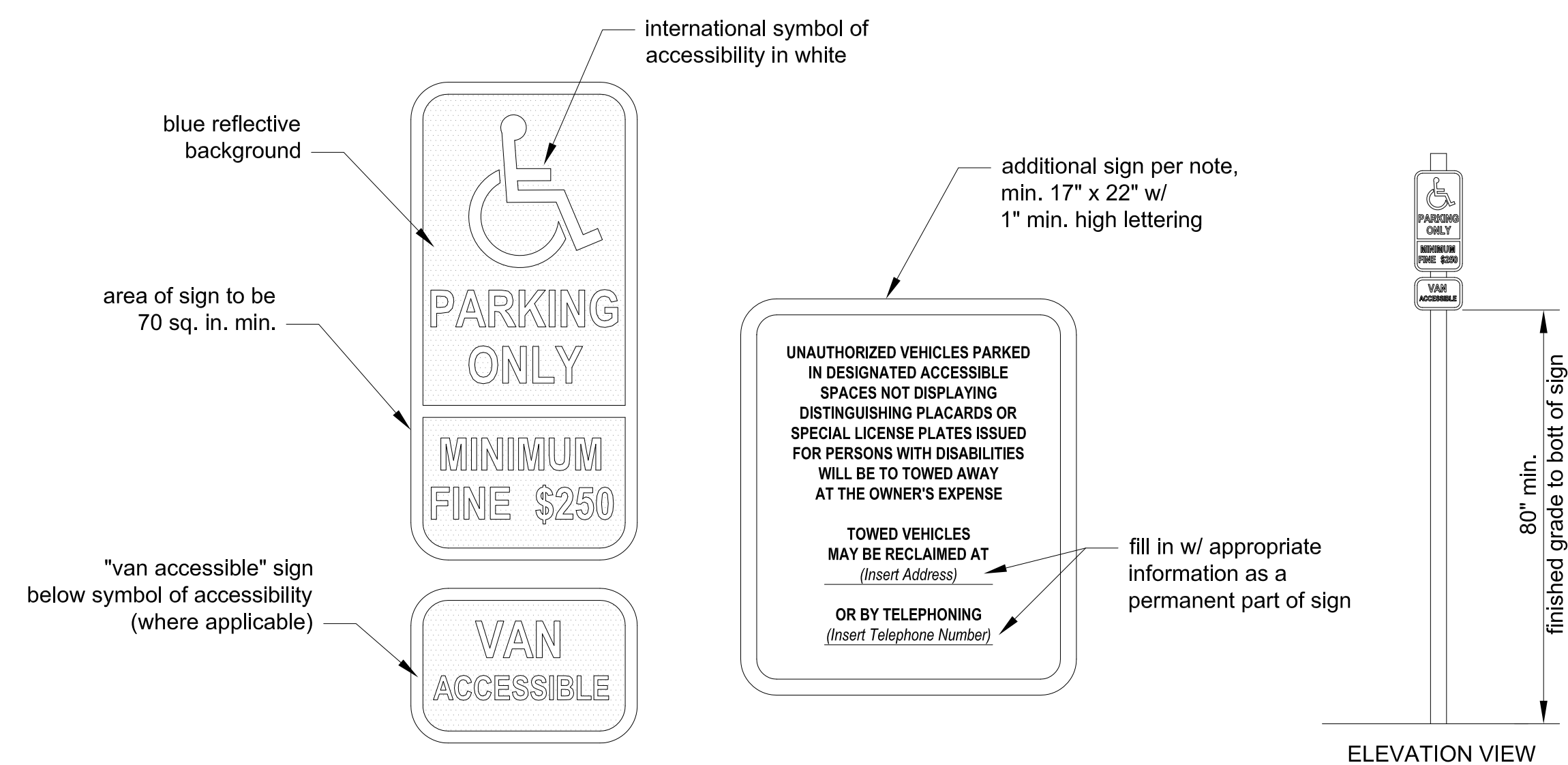
ACCESSIBLE PARKING NOTES:

1. Accessible parking serving a particular building shall be located on the shortest possible route of travel from adjacent parking to an accessible entrance. In parking facilities that do not serve a particular building, accessible parking shall be located on the shortest accessible route of travel to an accessible pedestrian entrance of the parking facility.
2. One in every eight accessible off-street parking stalls, but not less than one, shall be served by an accessible aisle of 8'-0" minimum width and shall be signed van accessible.
3. In each parking stall, a curb or bumper shall be provided and located to prevent encroachment of vehicles over the required width of walkways. Parking stalls shall be so located that persons with disabilities are not compelled to wheel or walk behind parked cars other than their own.
4. Surface slopes of accessible off-street parking stalls shall be the minimum possible and shall not exceed 2% in any direction.
5. Blue paint, instead of white may be used for marking accessibility aisles in areas where snow may cause white markings to not be visible.
6. Where a single (non-van) accessible parking space is provided, the loading and unloading access aisle shall be on the passenger side of the vehicle as the vehicle is going forward into the parking space.
7. Where a van accessible parking space is provided, the loading and unloading access aisle shall be 8'-0" wide minimum, and shall be on the passenger side of the vehicle as the vehicle is going forward into the parking space.



ACCESSIBLE GATE NOTES:

1. 11B-309.4 - Operable parts shall be operable with one hand and shall not require tight grasping, pinching, or twisting of the wrist. The force required to activate operable parts shall be 5 pounds (22.2N) maximum.
2. 11B-404.2.8 - Closing speed. Door and gate closing speed shall comply with the following:
 - 2.1. Door and gate closers shall be adjusted so that from an open position of 90 degrees, the time required to move the door to a position of 12 degrees for the latch is 5 seconds minimum.
 - 2.2. Door and gate spring hinges shall be adjusted so that from the open position of 70 degrees, the door or gate shall move to the closed position in 1.5 seconds minimum.
3. 11B-404.2.10 - Swinging door and gate surfaces within 10 inches (254mm) of the finish floor or ground measured vertically shall have a smooth surface on the push side extending the full width of the door or gate. Parts creating horizontal or vertical joints in these surfaces shall be within 1/16 inch (1.6mm) of the same plane as the other and be free of sharp or abrasive edges. Cavities created by added kick plates shall be capped.



NOTE: Additional sign as shown above shall be posted in a conspicuous place at each entrance to off-street parking facilities or immediately adjacent to and visible from each accessible stall or space.

Green Gables
6914 S. Shingle Rd.
Shingle Springs, CA 95682

Owner
Robert Sandie

Revisions	By	Date	Description

Designed MB

Drawn MB

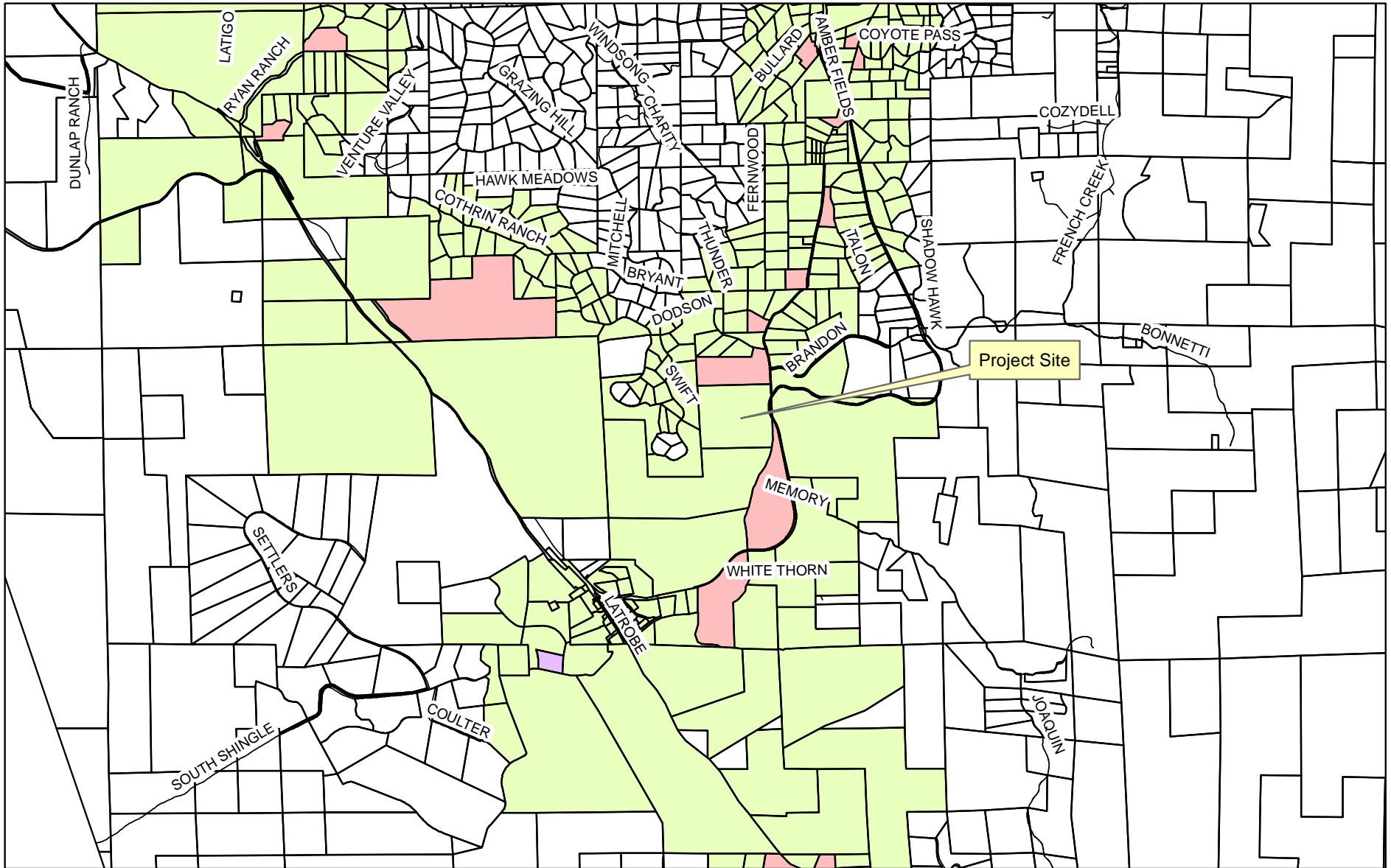
Date 06/20

Details

Sheet

C4

130.41.100.4.F.13 The security plan for the operation that includes adequate lighting, security video cameras with a minimum camera resolution of 1080 pixels and 360 degree coverage, alarm systems, and secure area for cannabis storage. The security plan shall include a requirement that there be at least 90 calendar days of surveillance video (that captures both inside and outside images) stored on an ongoing basis and made available to the County upon request. The County may require real-time access of the surveillance video for the Sheriff's Office. The video system for the security cameras must be located in a locked, tamper-proof compartment. ***The security plan shall remain confidential.***



CCUP20-0004/Green Gables Exhibit I -
 Bus Stop/School 1500 Buffer Map

- Latrobe_Elementary_School
- Millers_Hill_School
- Bus_Stops
- Parcels_Within_1500ft

