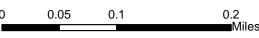
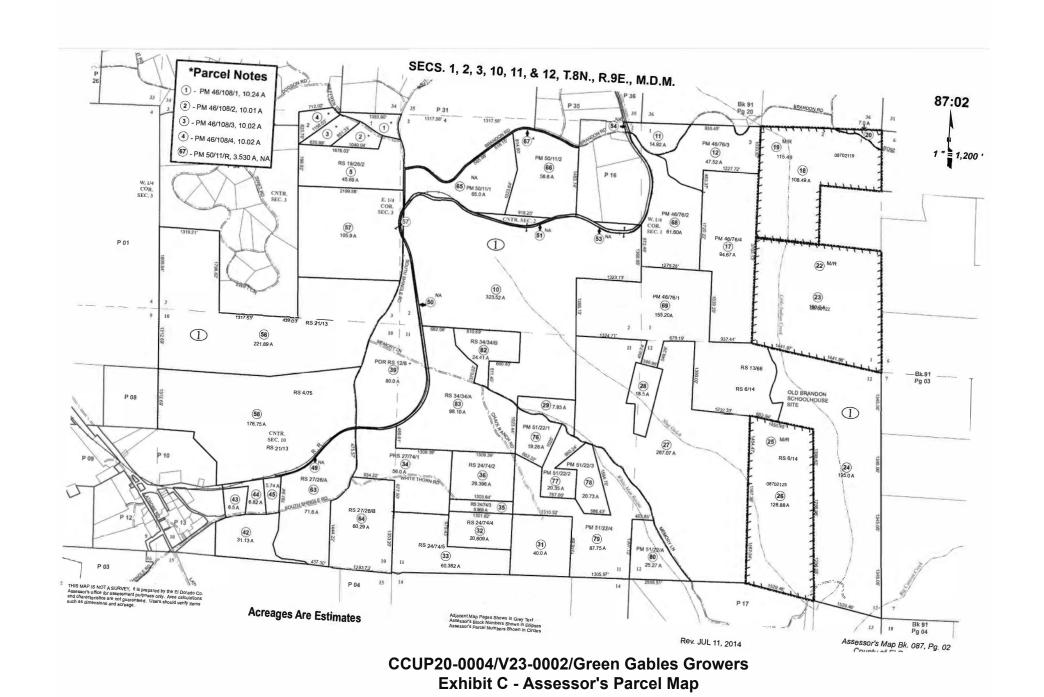


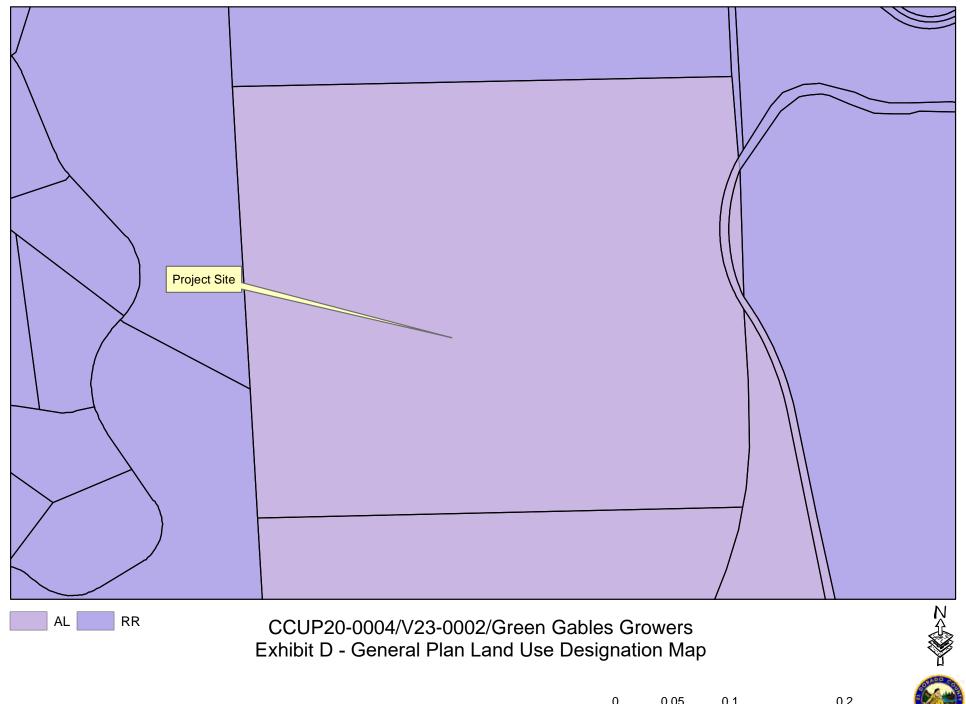


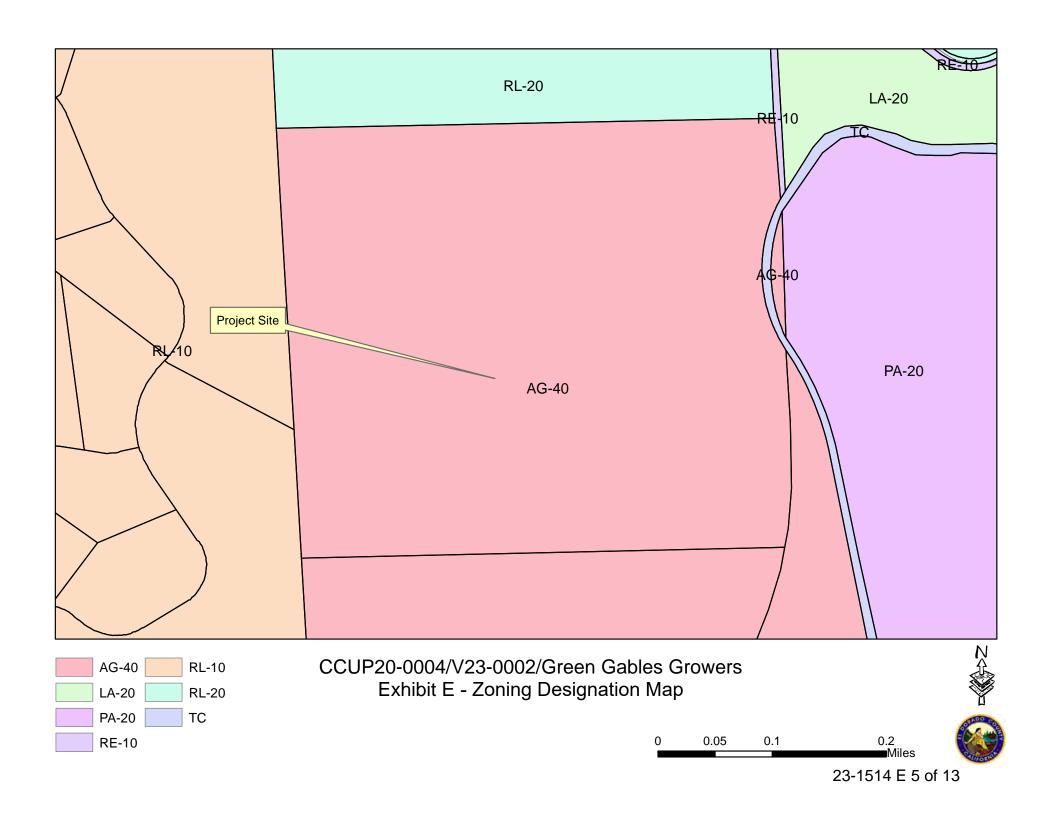
CCUP20-0004/V23-0002/Green Gables Growers Exhibit B - Aerial Map

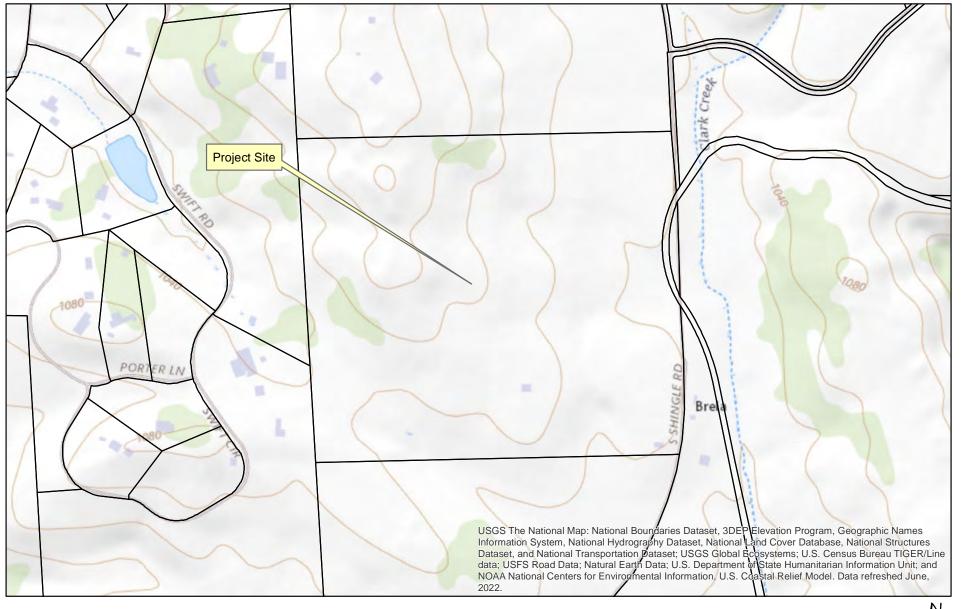






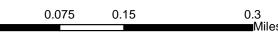






#### CCUP20-0004/V23-0002/Green Gables Growers Exhibit F - Topographic Map

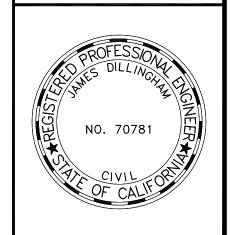




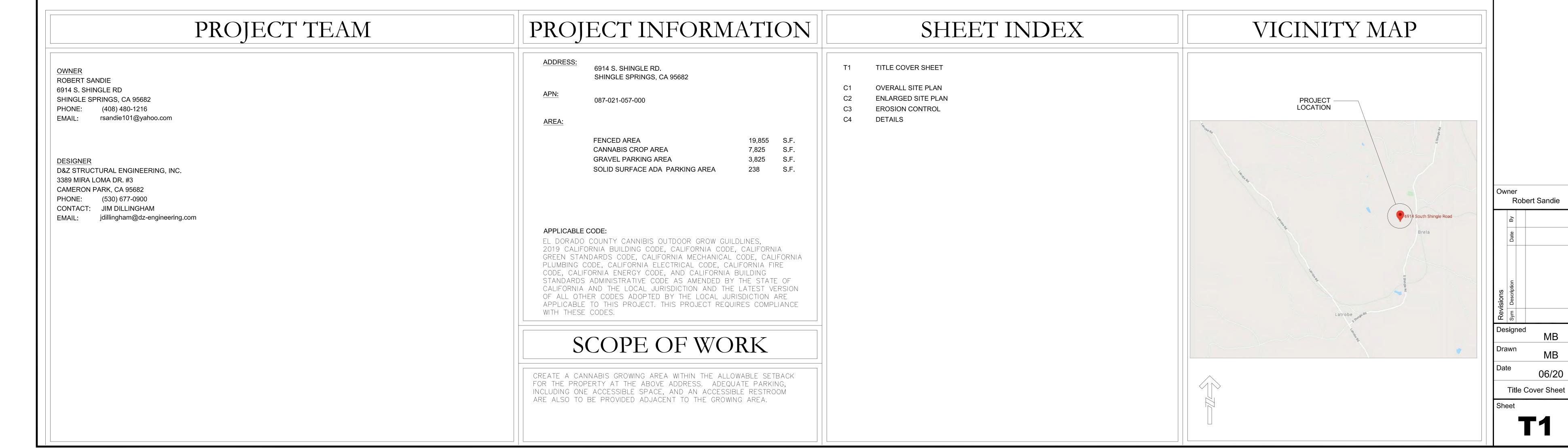
# GREEN GABLES CANNABIS FARM

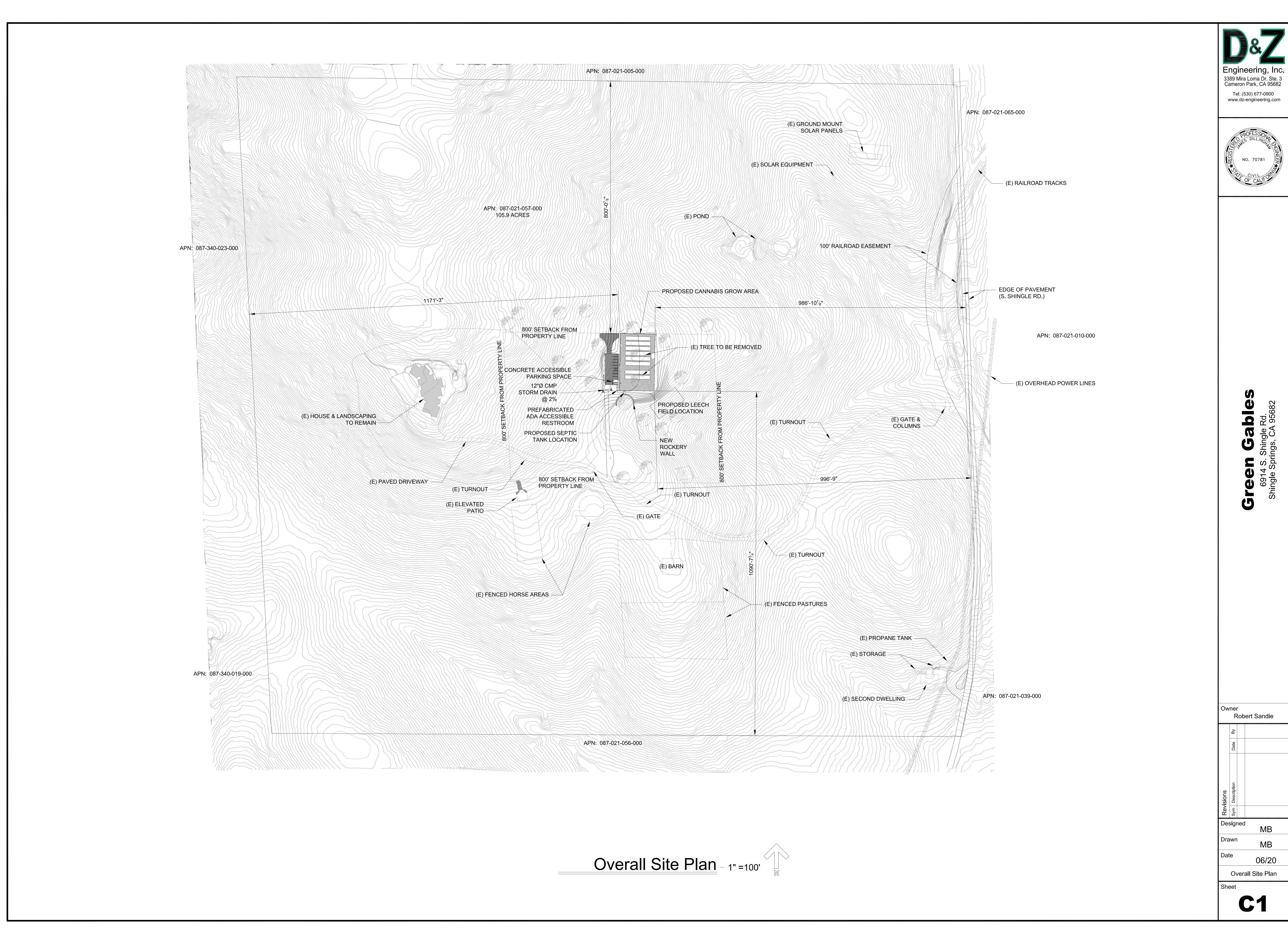
6914 SOUTH SHINGLE RD SHINGLE SPRINGS, CA 95682

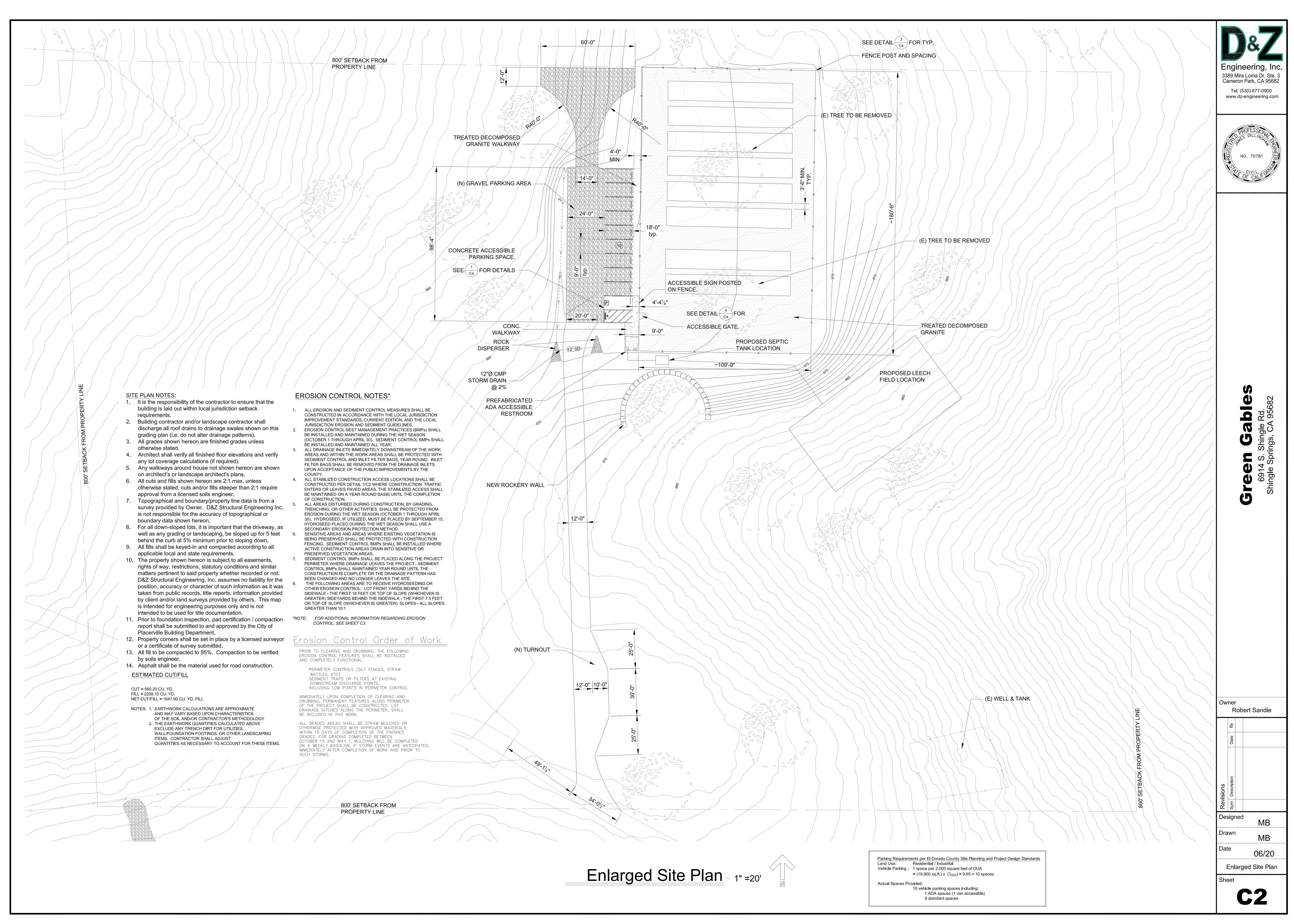


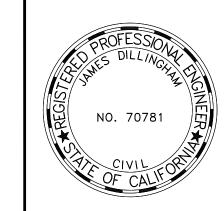


**Green Gables**6914 S. Shingle Rd.
Shingle Springs, CA 95682









Robert Sandie

**Erosion Control** 

C3

Erosion Control Guidelines

I MINIMUM CONSTRUCTION SITE STORM WATER MANAGEMENT PRACTICES THE STORM WATER MANAGEMENT PRACTICES DESCRIBED BELOW ARE THE MINIMUM, REQUIRED WATER QUALITY PROTECTION MEASURES APPLICABLE TO ALL CONSTRUCTION SITES, WITHIN THE LOCAL JURISDICTION. THIS LISTING OR GRANULAR. DOES NOT INCLUDE THE VARIOUS INSPECTION, RECORD KEEPING, TRAINING AND REPORTING REQUIREMENTS. ADDITIONALLY, THERE WILL BE INSTANCES WHERE PROJECT AND SITE CONDITIONS REQUIRE SUPPLEMENTING OR DEVIATING FROM THESE MINIMUM PROTECTION REQUIREMENTS. THE CONTRACTOR IS EXPECTED TO DEPLOY MEASURES SUFFICIENT TO ACHIEVE COMPLIANCE WITH THE LOCAL JURISDICTION'S GRADING ORDINANCE; AND, AS APPLICABLE (PROJECTS WHICH INVOLVE ONE ACRE OR MORE OF DISTURBED SOIL OR ARE PART OF A LARGER COMMON PLAN OF DEVELOPMENT THAT ENCOMPASSES ONE ACRE OR MORE OF DISTURBED SOIL), WITH THE STATE FURNISHED THAT CLEARANCE HAS BEEN OBTAINED FROM THE COUNTY AGRICULTURAL COMMISSIONER, AS WATER RESOURCES CONTROL BOARD'S (SWRCB) NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY.

CONSTRUCTION SHALL BE SCHEDULED TO MINIMIZE CONSTRUCTION ACTIVITIES IN "HIGH-RISK AREAS" AND THE AMOUNT OF ACTIVE DISTURBED SOIL AREAS, DURING THE RAINY SEASON (OCT. 1ST TO APRIL 30TH). "HIGH-RISK AREAS" INCLUDE THOSE AREAS WITHIN 50 FEET OF USGS WATERCOURSES, 100-YEAR FLOOD PLAINS, AND SUSPENDED WHEN AGITATED IN WATER. REGULATED WETLANDS, AND WHERE SLOPES EXCEED 16%. UNLESS SPECIFICALLY AUTHORIZED BY THE LOCAL JURISDICTION'S ON—SITE REPRESENTATIVE, DURING THE RAINY SEASON THE CONTRACTOR SHALL NOT SCHEDULE CONSTRUCTION ACTIVITIES IN "HIGH RISK AREAS" OR SCHEDULE |  $^{ t L}$ TO HAVE MORE THAN 5 ACRES OF ACTIVE DISTURBED SOIL AREA. WHERE PERMANENT STORM WATER TREATMENT DEVICES ARE TO BE CONSTRUCTED, THESE DEVICES SHOULD, WHENEVER FEASIBLE, BE CONSTRUCTED AS AN EARLY WORK ITEM.

REMAIN AND ENVIRONMENTALLY SENSITIVE AREAS (I.E. WETLANDS, PROTECTED HABITATS, ETC) SHALL BE FENCED - 4"). NO IMPLEMENT SHALL BE USED THAT WILL CREATE AN EXCESSIVE AMOUNT OF DOWNWARD MOVEMENT FOR PROTECTION. IN GENERAL, SITE DESIGNS SHALL PRESERVE EXISTING VEGETATION TO THE MAXIMUM EXTENT | OF SOIL OR CLODS OF SLOPING AREAS. SEEDBED MAY BE PREPARED AT TIME OF COMPLETION OF POSSIBLE; AND DURING CONSTRUCTION, EXISTING VEGETATION SHALL BE PRESERVED (AND PROTECTED BY FENCING) FOR AS LONG AS POSSIBLE TO MINIMIZE EROSION. STORM WATER RUN-ON AND CONCENTRATED FLOWS

EXISTING WATERCOURSES SHALL BE PROTECTED; AND IF DIVERTED, HANDLED IN A NON-ERODING FASHION. TO THE EXTENT FEASIBLE, ALL CONCENTRATED WATER FLOWS SHALL BE CHANNELED AWAY FROM DISTURBED SOIL AREAS / STOCKPILES. CONCENTRATED WATER FLOWS SHALL BE CONVEYED IN A NON-ERODING FASHION. D. STOCKPILE MANAGEMENT

- 1. SOIL STOCKPILES RAINY SEASON: \* COVERED, OR PROTECTED WITH SOIL STABILIZATION MEASURES & PERIMETER SEDIMENT BARRIERS
- \* COVERED OR PROTECTED WITH PERIMETER SEDIMENT BARRIERS CONCRETE/ASPHALT RUBBLE, ROCK AND AGGREGATE BASE/SUB-BASE
- COVERED OR PROTECTED WITH PERIMETER SEDIMENT BARRIÉRS 3. "COLD MIX" ASPHALT

STOCKPILES SHALL BE MANAGED AS FOLLOWS:

B. PRESERVATION OF NATURAL FEATURES

\* COVERED E. SEDIMENT TRACKING CONTROL

NON-RAINY SEASON:

A. SCHEDULING

APPROPRIATE MEASURES SHALL BE DEPLOYED TO MINIMIZE ANY TRACKING OF SEDIMENT OFF-SITE BY VEHICLES AND/OR EQUIPMENT. THESE MEASURES INCLUDE STABILIZED CONSTRUCTION ENTRANCES/EXITS & ROADWAYS, AND TIRE WASHING. WHERE TRACKING OCCURS, STREETS SHALL BE SWEPT USING A PICKUP SWEEPER WITH WATER SUPPLY.

F. NON-STORM WATER MANAGEMENT NON-STORM WATER DISCHARGES SHALL BE MINIMIZED TO THE EXTENT FEASIBLE. SEDIMENT-LADEN NON-STORM WATER IS REQUIRED TO BE FILTERED (OR EQUIVALENT TREATMENT) PRIOR TO DISCHARGING. MEASURES ) MANAGE NON—STORM WATER DISCHARGES INCLUDE: WATER CONSERVATION PRACTI CONTROL, MATERIAL STORAGE PRACTICES, VEHICLE/EQUIPMENT OPERATION AND MAINTENANCE REQUIREMENTS, WASTE MANAGEMENT PRACTICES, AND SPILL PREVENTION/CONTROL MEASURES. G. DISTURBED SOIL AREA MANAGEMENT

DISTURBED SOIL AREAS (DSA) SHALL BE PROTECTED WITH AN "EFFECTIVE COMBINATION" OF MEASURES INCLUDING SOIL STABILIZATION, SEDIMENT BARRIERS AND BASINS / TRAPS. THERE MAY BE SITUATIONS WHERE "SEDIMENT BASINS" OR "TREATMENT" ARE ABLE TO SUBSTITUTE AS ALTERNATIVE CONTROL MEASURES TO THE NORMALLY REQUIRED "EFFECTIVE COMBINATION" OF SOIL STABILIZATION, SEDIMENT BARRIERS AND BASINS / TRAPS. HOWEVER, WHEN SUBSTITUTING THESE MEASURES, THE CONTRACTOR MUST BE PREPARED TO DEMONSTRATE THAT THE SEDIMENT LOAD WITHIN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE DOES NOT EXCEED NATURAL OR PRE-CONSTRUCTION LEVELS.

- 1. SOIL STABILIZATION MEASURES INCLUDE: \* HYDRAULIC MULCH (REF. CASQA BMP # EC-3)
- \* HYDROSEEDING (REF. CASQA BMP # EC-4) \* SUITABLY STABILIZED, NON-POLLUTING STRAW / WOOD / ORGANIC MULCH (REF. CASQA BMP #'S EC-6 & EC-8)
- \* GEOTEXTILES, MATS, PLASTIC COVERS AND EROSION CONTROL BLANKETS (REF. CASQA BMP # EC-7)
- \* STABILIZED CONSTRUCTION ROADWAYS (REF. CASQA BMP # TC-2) 2. SEDIMENT BARRIERS INCLUDE: \* SILT FENCES (REF. CASQA BMP # SE-1)
- \* SAND/GRAVEL BAG BARRIERS (REF. CASQA BMP #'S SE-6 & SE-8) \* STRAW BALE BARRIERS (REF. CASQA BMP # SE-9)
- \* FIBER ROLLS (REF. CASQA BMP # SE-5)
- 3. BASIN / TRAPS INCLUDE: \* DESILTING BASINS (REF. CALTRANS BMPS) \* SEDIMENT TRAPS (REF. CALTRANS BMPS)
- 4. ON DSAS WITH SLOPE LENGTHS GREATER THAN 10 FEET, THE FOLLOWING MEASURES SHALL BE DEPLOYED: A. RAINY SEASON (OCT. 1ST TO APRIL 30TH): NON-ACTIVE AREAS (NO SOIL DISTURBING ACTIVITIES FOR 21 OR MORE DAYS) \* ON SLOPES EQUAL TO OR FLATTER THAN 1:20 (V/H), SOIL STABILIZATION
- \* ON SLOPES STEEPER THAN 1:20 (V/H), SOIL STABILIZATION AND SEDIMENT BARRIERS
- \* ON SLOPES STEEPER THAN 1:20 (V/H), SEDIMENT BARRIERS \* ON SLOPES STEEPER THAN 1:2 (V/H) WITH SLOPE LENGTHS GREATER THAN 50 FEET: SOIL STABILIZATION;
- SEDIMENT BARRIERS; AND WHERE FEASIBLE, BASINS / TRAPS B. NON-RAINY SEASON:
- NON-ACTIVE AREAS (NO SOIL DISTURBING ACTIVITIES FOR 21 OR MORE DAYS) \* ON SLOPES STEEPER THAN 1:2 (V/H), SEDIMENT BARRIERS

\* PROTECTION SHALL BE DEPLOYED ON NON-ACTIVE DSAS WITHIN 14 DAYS FROM THE CESSATION OF SOIL-DISTURBING ACTIVITIES OR ONE DAY PRIOR TO THE PREDICTED (40% OR MORE CHANCE) ONSET OF SIGNIFICANT PRECIPITATION, WHICHEVER OCCURS FIRST. PROTECTION SHALL BE DEPLOYED ON ACTIVE DSAS PRIOR TO THE PREDICTED (40% OR MORE CHANCE) ONSET OF SIGNIFICANT PRECIPITATION. \* "TERRACES." FOR CUT SLOPES UP TO 60 FEÉT IN HEIGHT, TERRACES AT LEAST 8 FEET (2.4 METERS) IN | THE CONTRACTOR'S ATTENTION IS DIRECTED TO SECTION 7-1.01G, "WATER POLLUTION" OF THE WIDTH SHALL BE ESTABLISHED AT NOT MORE THAN 30-FOOT (9.1 METERS) VERTICAL INTERVALS ON ALL CUT SLOPES TO CONTROL SURFACE DRAINAGE AND DEBRIS EXCEPT THAT WHERE ONLY ONE TERRACE IS REQUIRED, SHALL BE AT MIDHEIGHT. FOR CUT SLOPES GREATER THAN 60 FEET (18 METERS) AND UP TO 120 FEET (37 METERS) IN VERTICAL HEIGHT, ONE ADDITIONAL TERRACE AT APPROXIMATELY MIDHEIGHT SHALL BE 12 FEET (3.6 | COMPLIANCE WITH THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) METERS) IN WIDTH. TERRACES SHALL SLOPE A MINIMUM OF 5 PERCENT GRADIENT TOWARD THE HILLSIDE. TERRACE WIDTHS AND SPACING FOR CUT SLOPES GREATER THAN 120 FEET (36 METERS) IN HEIGHT SHALL BE DESIGNED BY THE CIVIL ENGINEER AND APPROVED BY THE DIRECTOR. SUITABLE ACCESS SHALL BE PROVIDED TO PERMIT PROPER CLEANING AND MAINTENANCE. \* "SEDIMENT BASIN:" A BASIN WITH A CAPACITY EQUIVALENT TO AT LEAST 3600 CUBIC FEET OF STORAGE (AS MEASURED FROM THE BOTTOM OF THE BASIN TO THE PRINCIPAL OUTLET) PER ACRE DRAINING INTO THE BASIN. THE LENGTH OF THE BASIN SHALL BE MORE THAN TWICE THE BASIN'S WIDTH (LENGTH IS DETERMINED BY MEASURING THE DISTANCE BETWEEN THE INLET AND THE OUTLET). THE DEPTH OF THE BASIN MUST NOT BE | PROVISIONS OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP). SWPPPs ARE LESS THAN THREE FEET NOR GREATER THAN FIVE FEET "TREATMENT": A COMBINATION OF BASIN AND TREATMENT ENGINEERED TO CAPTURE AND TREAT (TO REMOVE

0.01 MM SIZED PARTICLES AND LARGER) THE 10-YEAR, 6-HOUR RAIN EVENT USING Q=C×1×A WHERE C=0.5.

II CRITICAL AREA PLANTING SPECIFICATIONS

INOCULATION, AND THE WEIGHT AND SOURCE OF INOCULANT MATERIALS.

A. SCOPE — ESTABLISHING VEGETATION ON SEVERELY ERODING AREAS OR AREAS WITH AN EROSION POTENTIAL. MODIFICATIONS TO THE FEATURES AND PRACTICES IMPLEMENTED AND PROPOSED. ITS PURPOSE IS TO STABILIZED THE SOIL, MINIMIZE OR PREVENT DAMAGE FROM SEDIMENT AND RUNOFF TO DOWNSTREAM AREAS, PROTECT WILDLIFE HABITAT, AND MAINTAIN AESTHETIC QUALITIES. B. AREAS TO BE SEEDED, TIMING OF SEEDING — COMPLETE REVEGETATION AND STABILIZATION OF ALL DISTURBED SOILS, BOTH WITHIN AND OUTSIDE COUNTY RIGHTS-OF-WAY, WILL BE ACCOMPLISHED WITH SPECIFIED AMOUNTS AND TYPES OF VEGETATIVE SPECIES, MULCH AND FERTILIZER MATERIAL. SEE MAJOR LAND RESOURCE AREA EXHIBITS MLRA 18 OR 22. ALL EROSION AND SEDIMENT CONTROL PRACTICES PERFORMED AFTER OCTOBER 1ST, SHALL FOLLOW "RAINY SEASON" SPECIFICATION CONTAINED IN THE STORM WATER MANAGEMENT PRACTICES.

1. SEED - ALL SEED SHALL BE DELIVERED TO THE SITE TAGGED AND LABELED IN ACCORDANCE WITH THE CALIFORNIA AGRICULTURAL CODE AND SHALL BE ACCEPTABLE TO THE COUNTY AGRICULTURAL COMMISSIONER. SEED SHALL BE OF A QUALITY WHICH HAS A MINIMUM PURE LIVE SEED CONTENT OF 80% (% PURITY ×% GERMINATION) AND WEED SEED SHALL NOT EXCEED 0.5% OF THE AGGREGATE OF PURE LIVE SEED AND OTHER MATERIALS. LEGUME SEED SHALL BE INOCULATED WITH INOCULATE SPECIFIC TO ITS NEEDS WITHIN TWO HOURS PRIOR TO SEEDING. INOCULANTS SHALL NOT BE USED LATER THAN THE DATE INDICATED ON THE CONTAINER OR AS OTHERWISE SPECIFIED. ALL INOCULATED SEED SHALL BE LABELED TO SHOW WEIGHT OF SEED, DATE OF

2. FERTILIZER - A COMMERCIAL FERTILIZER SHALL BE AMMONIUM PHOSPHATE AND CONTAIN A MINIMUM OF 16% NITROGEN, 20% PHOSPHORUS AND 0% POTASH, UNIFORM IN COMPOSITION, DRY AND FREE FLOWING, PELLETED ALL FERTILIZER SHALL BE DELIVERED IN UNBROKEN OR UNOPENED CONTAINERS, LABELED IN ACCORDANCE WITH APPLICABLE STATE REGULATIONS AND BEARING THE WARRANTY OF THE PRODUCER FOR THE GRADE FURNISHED. 3. MULCH — MULCH SHALL BE ONE OF THE FOLLOWING MATERIALS AS APPROVED BY THE GOVERNMENT REPRESENTATIVE. 3A. STRAW — STRAW SHALL BE NEW STRAW DERIVED FROM RICE, WHEAT, OATS, OR BARLEY AND BE FREE OF MOLD AND NOXIOUS WEED SEED. STRAW SHALL BE FURNISHED IN AIR DRY BALES. EVIDENCE SHALL BE

DELIVERED TO THE SITE OF THE WORK. 3B. WOOD FIBER MULCH — WOOD FIBER MULCH IS A WOOD CELLULOSE FIBER THAT CONTAINS NO GERMINATING OR GROWTH INHIBITING FACTORS. IT IS COLORED WITH A NON—TOXIC, WATER SOLUBLE, GREEN DYE TO PROVIDE A PROPER GAUGE FOR METERING OVER GROUND SURFACES. IT HAS THE PROPERTY TO BE EVENLY DISPERSED

REQUIRED BY LAW, BEFORE STRAW OBTAINED FROM OUTSIDE THE COUNTY IN WHICH IT IS TO BE USED IS

SEEDING REQUIREMENTS GENERAL - ALL SEEDING, FERTILIZER AND MULCHING OPERATIONS SHALL BEGIN WHEN APPROVAL IS GIVEN Y THE APPROPRIATE COUNTY ENGINEER OR CONSERVATION DISTRICT REPRESENTATIVE. SEEDBED PREPARATION - THE ENTIRE AREA TO BE SEEDED SHALL BE REASONABLY SMOOTH AND CONFORM O THE DESIRED SHAPE BEFORE ACTUAL SEEDBED PREPARATION IS BEGUN. ANY DEBRIS WHICH WOULD INTERFERE WITH SEEDING OPERATIONS, GROWTH OR MAINTENANCE OF THE VEGETATIVE COVER WILL BE REMOVED. THE AREA TO BE SEEDED SHALL HAVE A FIRM SEEDBED WHICH HAS PREVIOUSLY BEEN ROUGHENED BY PRIOR TO THE COMMENCEMENT OF SOIL-DISTURBING ACTIVITIES, AREAS OF EXISTING VEGETATION THAT ARE TO | SCARIFYING, DISKING, HARROWING, CHISELING, OR OTHERWISE WORKED TO A DEPTH OF TWO TO FOUR INCHES (2) EARTH-MOVING WORK. 3. FERTILIZING — FERTILIZER SHALL BE DISTRIBUTED UNIFORMLY OVER THE SEEDBED AT THE RATE OF 300 POUNDS PER ACRE, AND SHALL BE IN SUCH PHYSICAL CONDITION TO INSURE UNIFORM APPLICATION OVER THE AREA TO BE FERTILIZED. FERTILIZER MAY BE APPLIED IN ANY WAY THAT WILL RESULT IN UNIFORM DISTRIBUTION. THE FERTILIZER SHALL BE INCORPORATED INTO THE SOIL. 4. SEEDING - SEED SHALL BE BROADCAST BY HAND, MECHANICAL HAND SEEDER, POWER OPERATED SEEDER, HYDROSEEDER OR OTHER APPROVED EQUIPMENT. 'SEED SHALL HAVE A SOIL COVER OF NOT MORE THAN ONE-HALF INCH. SEEDING WILL BE CARRIED OUT USING EITHER OF THE FOLLOWING METHODS:

METHOD 1 THE SEED MAY BE DRILLED, NOT TO EXCEED ONE-HALF (1/2) INCH DEEP AND CULTIPACKED OR ROLLED ONCE OVER WITH A CORRUGATED ROLLER ON ALL AREAS WHERE EQUIPMENT CAN BE OPERATED SAFELY SEED OPERATIONS WILL BE ACROSS THE SLOPE. METHOD 2 THE SEED MAY BE APPLIED IN A SLURRY MIX OF WOOD CELLULOSE FIBER DISTRIBUTED UNIFORMLY AT THE PRESCRIBED RATE (SEE ITEM E.2, WOOD CELULOSE FIBER —HYDRO—MULCHING, BELOW). THE APPLICATION UNIT USED FOR "HYDRO MULCH" SHALL BE EQUIPPED WITH AN AGITATOR TO MAINTAIN THE SEED AND MULCH IN SUSPENSION WITHIN THE UNIT'S TANK PRIOR TO AND DURING APPLICATION. METHOD 3 WHERE EMERGENCY TREATMENT OF EXPOSED SOILS EXTENDS BEYOND OCTOBER 1ST, EMERGENCY MULCHING WITHOUT SEED WILL BE PRESCRIBED IN ACCORDANCE WITH "SOIL STABILIZATION MEASURES" DESCRIBED PREVIOUSLY.

SPECIAL NOTE: A MINIMUM 70% SEED GERMINATION WITH AT LEAST 1" GROWTH MUST BE OBTAINED BY DECEMBER 1ST, OR AREA MUST BE COVERED WITH STRAW MULCH. (SECTION E-1)

MLRA 18				
FOR SEEDING PERFORMED BETWEEN SEPTEMBER 15 AND OCTOBER 15				
METHOD	TYPE OF SEED	AMT. PER ACRE	AMT. PER 1000 SQ.FT	TYPE MULCH
HYDROSEEDED:	BLANDO BROME AND EITHER WIMERRA "62"OR ANNUAL RYEGRASS	12 LBS/ACRE 9 LBS/ACRE	0.3 LBS/1000 SqFt 0.2 LBS/1000 SqFt	
BROADCASTED:	BLANDO BROME AND ROSE CLOVER AND ROSE CLOVER	12 LBS/ACRE 9 LBS/ACRE	0.3 LBS/1000 SqFt 0.2 LBS/1000 SqFt	
FOR SEEDING NOT PERFORMED BETWEEN SEPTEMBER 15 AND OCTOBER 15				
HYDROSEEDED:	BLANDO BROME AND EITHER WIMERRA "62"OR ANNUAL RYEGRASS	24 LBS/ACRE 18 LBS/ACRE	0.6 LBS/1000 SqFt 0.4 LBS/1000 SqFt	
BROADCASTED:	BLANDO BROME AND ROSE CLOVER AND ROSE CLOVER	24 LBS/ACRE 18LBS/ACRE	0.6 LBS/1000 SqFt 0.4 LBS/1000 SqFt	ONILY

A MULCH COVERING SHALL BE APPLIED OVER THE SURFACE OF THE SEEDED AREA. MULCHING SHALL FOLLOW IMMEDIATELY AFTER SEEDING UNLESS OTHERWISE DIRECTED. MULCH WILL BE OF THE MATERIAL INDICATED.

#### Erosion and Sediment Control General Notes

STANDARD SPECIFICATIONS.

THE PROJECT EROSION AND SEDIMENT CONTROL (ESC) FEATURES ARE INTENDED TO ENSURE PROVISIONS OF THE CLEAN WATER ACT (CWA) UNDER THE STATE OF CALIFORNIA STATEWIDE GENERAL PERMIT FOR CONSTRUCTION DISCHARGES.

TO THIS END, THE CONTRACTOR SHALL:

THE CWA.

MAKE HIM/HERSELF AWARE OF THE REQUIREMENTS OF SAID GENERAL PERMIT AND THE REQUIRED FOR ALL CONSTRUCTION ACTIVITIES WITH SOIL DISTURBANCES OF FIVE (5) ACRES OR MORE IN SIZE.

IMPLEMENT THE ESC FEATURES AND BEST MANAGEMENT PRACTICES (BMPs) CONTAINED IN THE IMPROVEMENT PLANS AND THE SWPPP, AND OTHERWISE DILIGENTLY PURSUE COMPLIANCE WITH

ASSIST THE OWNER, ENGINEER, AND DOT IN THE ASSESSMENT OF THE FUNCTIONALITY OF AND DOCUMENT ANY MAINTENANCE, REPLACEMENTS, INSPECTION, MODIFICATIONS OR ADDITIONS TO THE PROJECT ESC FEATURES, AND NOTIFY THE ENGINEER, OWNER AND DOT OF ANY SUBSTANTIAL MODIFICATION OR ADDITIONS TO THE ESC PRACTICES AND FEATURES. ALL DISTURBED AREAS SHALL BE STRAW MULCHED OR OTHERWISE PROTECTED WITH APPROVED MATERIALS WITHIN 15 DAYS OF COMPLETION OF THE FINISHED GRADES. FOR CONSTRUCTION COMPLETED BETWEEN OCTOBER 1ST AND APRIL 30TH, DOCUMENTATION OF INSPECTION AND MAINTENANCE OF ALL ESC FEATURES WILL BE COMPLETED ON A WEEKLY BASIS AND PRIOR TO, DURING, AND AFTER THE COMPLETION OF ALL STORM EVENTS.

CONTACT THE LOCAL RCD A MINIMUM OF FORTY-EIGHT (48) HOURS PRIOR TO COMMENCING WORK ON RE-VEGETAION. RE-VEGETATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE RCD.

MAINTAIN AN INVENTORY OF ESC MATERIALS (STRAW BALES, 1.5-3" CLEAN CRUSHED ROCK, FIBER ROLLS. SILT FENCE, ROCK BAGS, ETC.) ON SITE FOR EMERGENCY USE AS DIRECTED BY THE ENGINEER, OWNER, OR THE DEPARTMENT OF TRANSPORTATION.

IF GRADING ACTIVITIES ARE NOT COMPLETE BY OCTOBER 1ST, THE CONTRACTOR SHALL IMPLEMENT ANY MODIFICATIONS OR ADDITIONS TO THE ESC PLANS AND FEATURES AS DIRECTED BY THE ENGINEER, OWNER, OR DEPARTMENT OF TRANSPORTATION IN ORDER TO "WINTERIZE" THE PROJECT. SUCH WINTERIZATION MAY INCLUDE RESTRICTIONS ON THE TYPES AND SCHEDULING OF WORK TO BE COMPLETED BETWEEN OCTOBER 15TH AND MAY 1ST AND/OR INSTALLATION OF ADDITIONAL FEATURES IN ORDER TO COMPLY WITH THE CWA.

IT IS EXPRESSLY UNDERSTOOD THAT APPROVAL OF THE PROJECT GRADING, ESC, OR IMPROVEMENT PLANS SHALL NOT RELIEVE THE DEVELOPER, ENGINEER, OR CONTRACTOR OF ANY RESPONSIBILITIES UNDER THE PERMIT, AGREEMENT, OR PLANS FOR THE SUCCESSFUL IMPLEMENTATION OF SEDIMENTATION CONTROL IN MANUALS, CONDITIONS, PERMITS, AGREEMENTS OR PLANS.

THE ESC FEATURES, AS OUTLINED BELOW, SHALL BE PROVIDED AT THE ASSOCIATED STAGE OF DEVELOPMENT IN THE ESC PLAN. THE ESC PLAN SHALL BE COMPREHENSIVE IN NATURE, WITH MODIFICATIONS AS NEEDED, THROUGH THE DEVELOPMENT OF THE PROJECT. THE MOST CURRENT LOCAL RCD GUIDELINES SHALL BE UTILIZED AS THE BMPs IN THE IMPLEMENTATION OF THE FOLLOWING ESC FEATURES:

STAGE 1 - INITIAL PERIMETER ESC FEATURES TO BE PLACED PRIOR TO THE COMMENCEMENT OF WORK INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING: SILT FENCES, FIBER ROLLS, STRAW BALES, ENTRANCE/EXIT TIRE WASH, SEDIMENT BASINS.

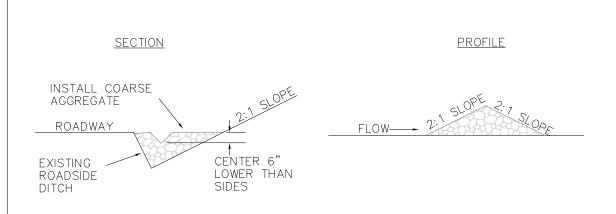
STAGE 2 — INTERMEDIATE ESC FEATURES TO THE PLACED AFTER INITIAL DISTURBANCE OF SOIL SURFACE INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING: AFTER CLEARING AND GRUBBING: DIVERSION DITCHES WITH CHANNEL LINING IF NECESSARY, SEDIMENT TRAPS AND BASINS AT ALL BOUNDARY OUT FALLS.

DURING ROUGH GRADING, PLACEMENT OF UNDERGROUND FACILITIES, AND ROADWAY CONSTRUCTION: TEMPORARY CHANNEL LINING, INLET/OUTLET PROTECTIVE LINING, TEMPORARY SLOPE DRAINS, TEMPORARY AND PERMANENT SEEDING/MULCHING OR HYDRO SEEDING, PERMANENT ESC BLANKETS. SETTLING STRUCTURES, TEMPORARY AND PERMANENT CHECK DAMS, SEDIMENT TRAPS AND BASINS IN DEPRESSION, VACUUM SWEEPERS, AND THE PLACEMENT OF ANY OTHER PERMANENT ESC FEATURES.

STAGE 3 - FINAL ESC FEATURES FOR FINAL STABILIZATION TO BE PLACED PRIOR TO FINAL SIGN OFF OF IMPROVEMENTS INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING: PLACEMENT OF SEEDING/MULCHING, HYDRO SEEDING, PERMANENT TURF ON ALL UNPROTECTED SOIL

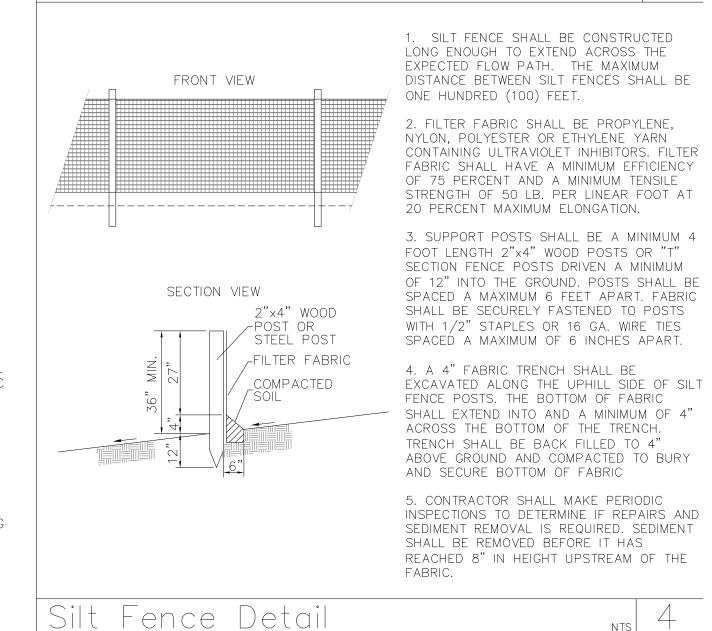
SURFACE, REMOVAL OF DEBRIS FROM ALL DRAINAGE FACILITIES, REMOVAL OF ANY TEMPORARY ESC FEATURES (IF NECESSARY), AND THE PLACEMENT OF ANY OTHER PERMANENT ESC FEATURES. ALTERNATIVES FOR THE PLACEMENT OF ESC FEATURES FOR CONSTRUCTION ACTIVITIES DURING APRIL 30TH - OCTOBER 1ST.

FOR CONSTRUCTION ACTIVITIES DURING APRIL 30TH - OCTOBER 1ST, THE PLAN CHECKER/INSPECTOR MAY CONSIDER THE ALTERNATIVE OF ONLY REQUIRING THE STOCKPILING OF ESC FEATURES ON-SITE FOR SITES WITH GENTLE SLOPES, MINIMAL GRADING, NENT TURFÌ AND NO ADJACENT EXISTING DRAINAGE FACILITIES. THIS ALTERNATIVE REQUIRES IMMEDIATE (SAME WORKING DAY) INSTALLATION OF ESC FEATURES TO PREVENT SEDIMENT DISCHARGE, TO BE ACCOMPLISHED BY THE CONTRACTOR. THE PLACEMENT OF FINAL ESC FEATURES IS REQUIRED ON ALL PROJECTS.



SPACE ROCK CHECKS AT INTERVALS AS SHOWN ON PLANS

Rock Check Detail



- BACK OF SIDEWALK

GRAVEL FILLED SANDBAGS

- PONDING HEIGHT

ARE STACKED TIGHTLY

CATCH BASIN

CATCH

BASIN

WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.

. PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREET SEGMENTS WHERE

-CURB INLET

.. CURB INLET PLAN VIEW

- SIDEWALK

SECTION A - A

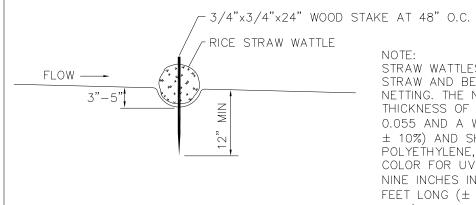
BACK OF CURB

2" CRUSHED GRAVEL SUBGRADE REINFORCEMENT GEOTEXTILE, AS REQUIRED

1. A STABILIZED CONSTRUCTION ENTRANCE SHALL BE USED AT ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS.

- 2. THE AGGREGATE SHALL BE 2" CRUSHED ROCK OR 1 TO 3 INCH WASHED WELL GRADED GRAVEL.
- 3. THE ENTRANCE SHALL BE PROPERLY GRADED TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.
- 4. THE ENTRANCE SHALL BE CONSTRUCTED ON LEVEL GROUND.
- 5. PERIODIC TOP DRESSING WITH ADDITIONAL STONE SHALL BE PROVIDED TO INSURE THE INTEGRITY OF THE ENTRANCE DURING CONSTRUCTION.
- 6. THE ENTRANCE SHALL BE INSPECTED MONTHLY AND AFTER EACH RAINFALL.
- 7. THE CRUSHED ROCK MATERIAL SHALL BE REPLACED WHEN SURFACE VOIDS ARE VISIBLE.
- 8. ALL SEDIMENT DEPOSITS ON PAVED ROADWAYS SHALL BE REMOVED WITHIN 24 HOURS.
- 9. THE CRUSHED ROCK AND GEOTEXTILE SHALL BE REMOVED AT COMPLETION OF CONSTRUCTION.

Stabilized Construction Entrance



STRAW WATTLES SHALL BE MANUFACTURED FROM RICE STRAW AND BE WRAPPED IN A TUBULAR BLACK PLASTIC NETTING. THE NETTING SHALL HAVE A STRAND THICKNESS OF 0.30 INCH, AND A KNOT THICKNESS OF 0.055 AND A WEIGHT OF 0.35 OUNCE PER FOOT (EACH ± 10%) AND SHALL BE MADE FROM 85% HIGH DENSITY POLYETHYLENE, 14% ETHYL VINYL ACETATE AND 1% COLOR FOR UV INHIBITION. STRAW WATTLE SHALL BE NINE INCHES IN DIAMETER ( $\pm$  1"), BE TWENTY-FIVE FEET LONG ( $\pm$  6") AND WEIGH APPROX. 30 POUNDS ( $\pm$ 

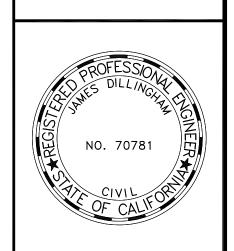
2. SANDBAGS, OF EITHER BURLAP OR WOVEN GEOTEXTILE FABRIC, ARE FILLED WITH GRAVEL, LAYERED AND PACKED TIGHTLY. 3. LEAVE ONE SANDBAG GAP IN THE TOP ROW TO PROVIDE A SPILLWAY FOR OVERFLOW. 4. INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.

NOTES:

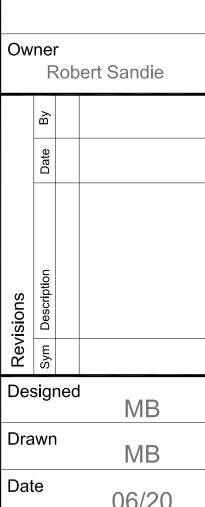
Straw Wattle Detail

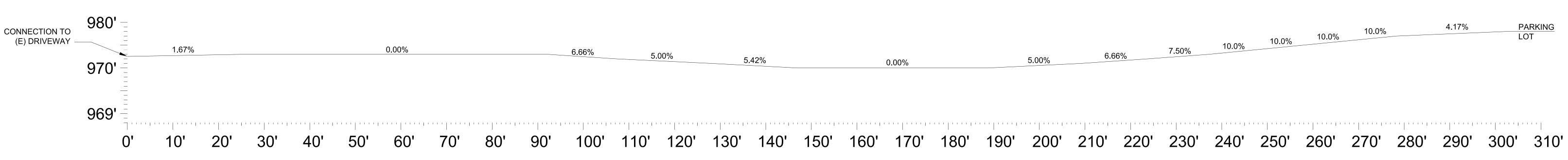
NTS 2 Bags At Drainage Inlets

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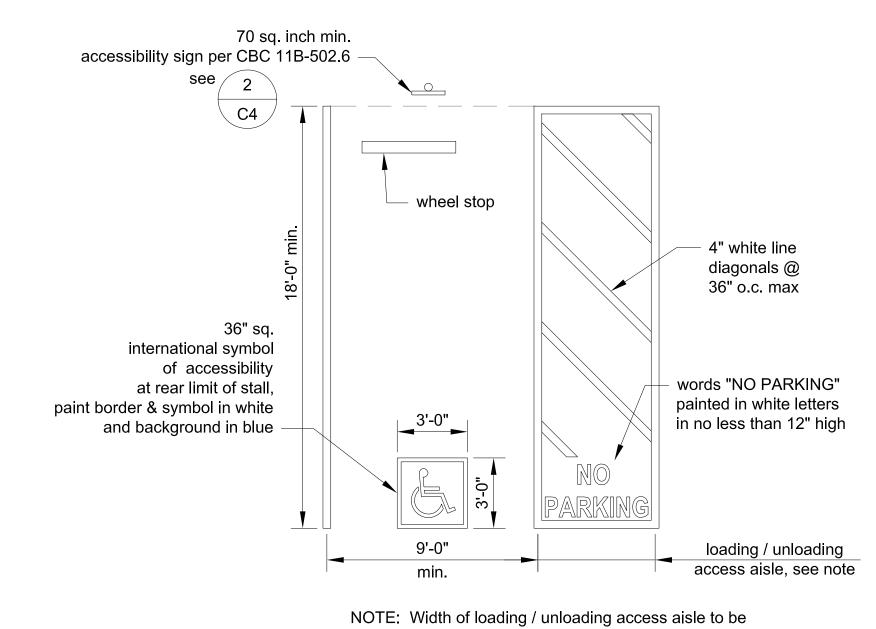


abl





## Driveway Profile - 1" = 10'



5'-0" min. for regular accessible parking stall or 8'-0" min. for van accessible parking stall.

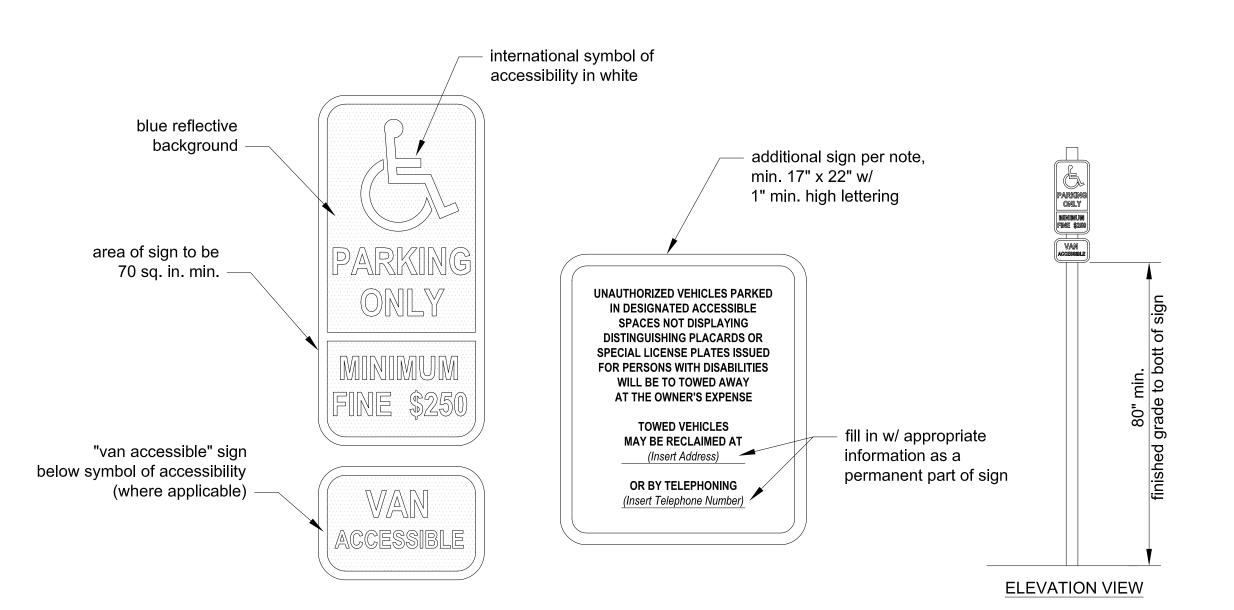
### Accessible Parking 1 - 1/4" = 1'-0" Single Parking Stall

ACCESSIBLE PARKING NOTES:

accessible pedestrian entrance of the parking facility.

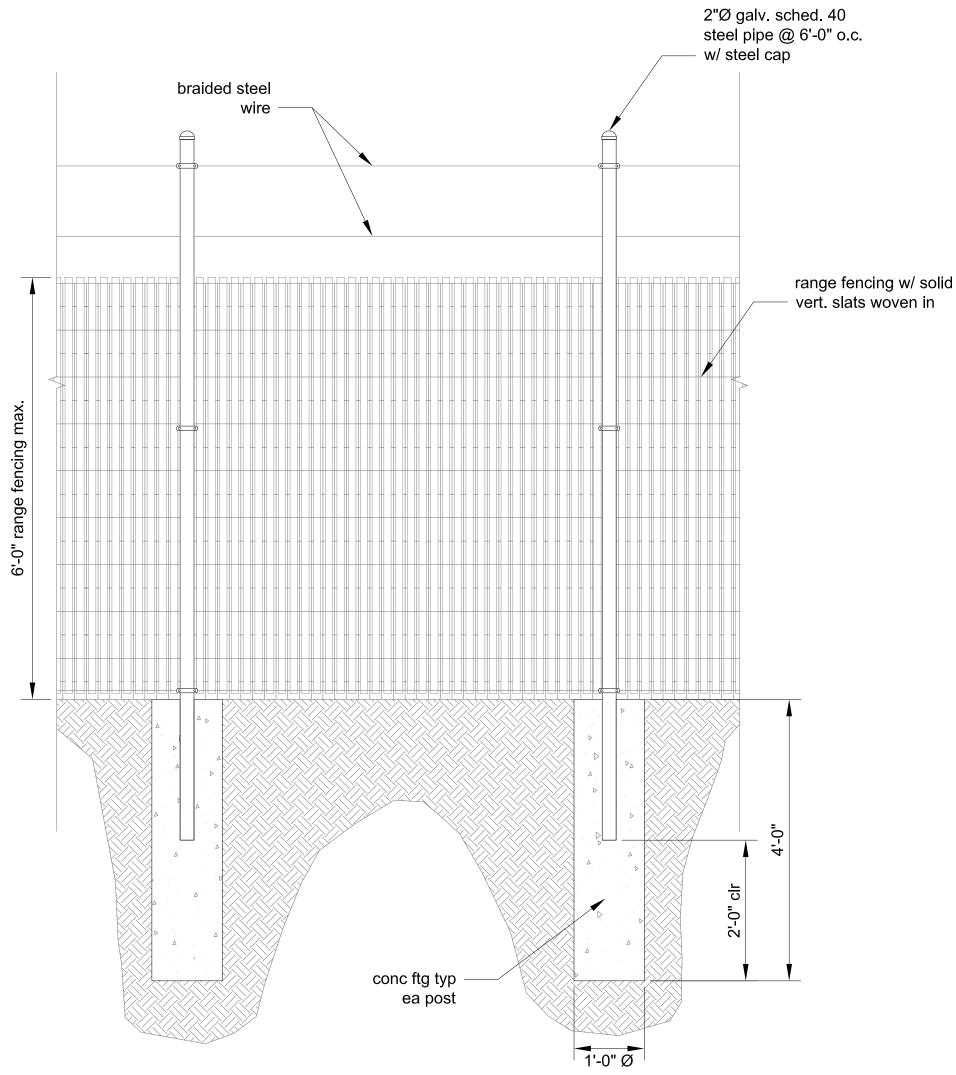
1. Accessible parking serving a particular building shall be located on the shortest possible route of travel from adjacent parking to an accessible entrance. In parking facilities that do not serve a particular building, accessible parking shall be located on the shortest accessible route of travel to an

- 2. One in every eight accessible off-street parking stalls, but not less than one, shall be served by an accessible aisle of 8'-0" minimum width and shall be signed van accessible.
- 3. In each parking stall, a curb or bumper shall be provided and located to prevent encroachment of vehicles over the required width of walkways. Parking stalls shall be so located that persons with disabilities are not compelled to wheel or walk behind parked cars other than their own. 4. Surface slopes of accessible off-street parking stalls shall be the minimum possible and shall not
- exceed 2% in any direction. 5. Blue paint, instead of white may be used for marking accessibility aisles in areas where snow may
- cause white markings to not be visible. 6. Where a single (non-van) accessible parking space is provided, the loading and unloading access aisle shall be on the passenger side of the vehicle as the vehicle is going forward into the parking
- 7. Where a van accessible parking space is provided, the loading and unloading access aisle shall be 8'-0" wide minimum, and shall be on the passenger side of the vehicle as the vehicle is going forward into the parking space.

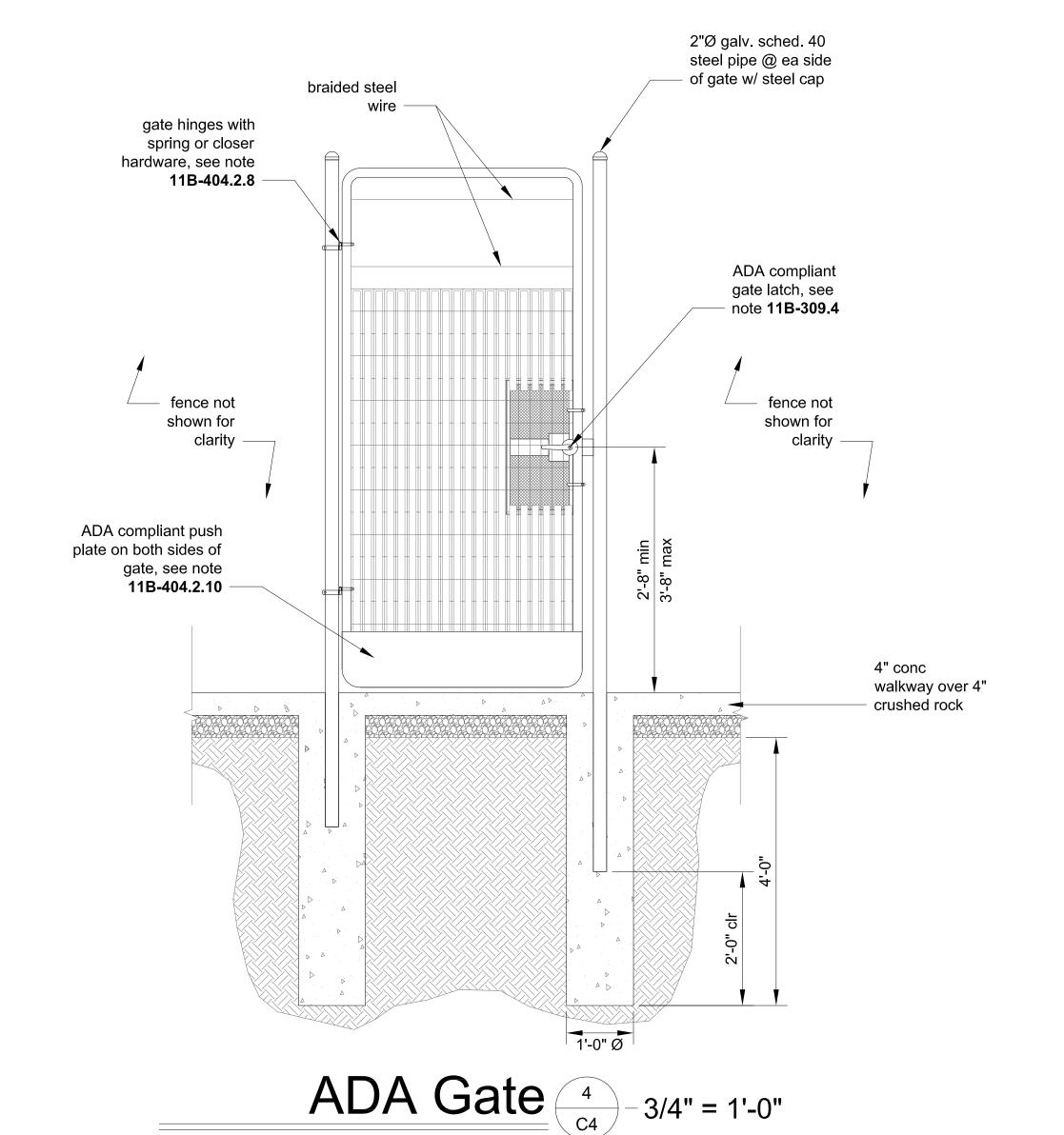


NOTE: Additional sign as shown above shall be posted in a conspicuous place at each entrance to off-street parking facilities or immediately adjacent to and visible from each accessible stall or space.

Parking Signs 2 No Scale



Typ. Fence Post  $\frac{3}{C4}$  - 3/4" = 1'-0"



ACCESSIBLE GATE NOTES:

1. 11B-309.4 - Operable parts shall be operable with one hand and shall not require tight grasping, pinching, or twisting of the wrist. The force required to activate operable parts shall be 5 pounds (22.2N) maximum.

2. 11B-404.2.8 - Closing speed. Door and gate closing speed shall comply with the following: 2.1. Door and gate closers shall be adjusted so that from an open position of 90 degrees, the time required to move the door to a position of 12 degrees for the latch is 5 seconds minimum. 2.2. Door and gate spring hinges shall be adjusted so that from the open position of 70 degrees, the

door or gate shall move to the closed position in 1.5 seconds minimum. 3. 11B-404.2.10 - Swinging door and gate surfaces within 10 inches (254mm) of the finish floor or ground measured vertically shall have a smooth surface on the push side extending the full width of the door or gate. Parts creating horizontal or vertical joints in these surfaces shall be within  $\frac{1}{16}$  inch (1.6mm) of the same plane as the other and be free of sharp or abrasive edges. Cavities created by added kick plates shall be capped.

130.41.100.4.F.13 The security plan for the operation that includes adequate lighting, security video cameras with a minimum camera resolution of 1080 pixels and 360 degree coverage, alarm systems, and secure area for cannabis storage. The security plan shall include a requirement that there be at least 90 calendar days of surveillance video (that captures both inside and outside images) stored on an ongoing basis and made available to the County upon request. The County may require real-time access of the surveillance video for the Sheriff's Office. The video system for the security cameras must be located in a locked, tamper-proof compartment. *The security plan shall remain confidential.* 

