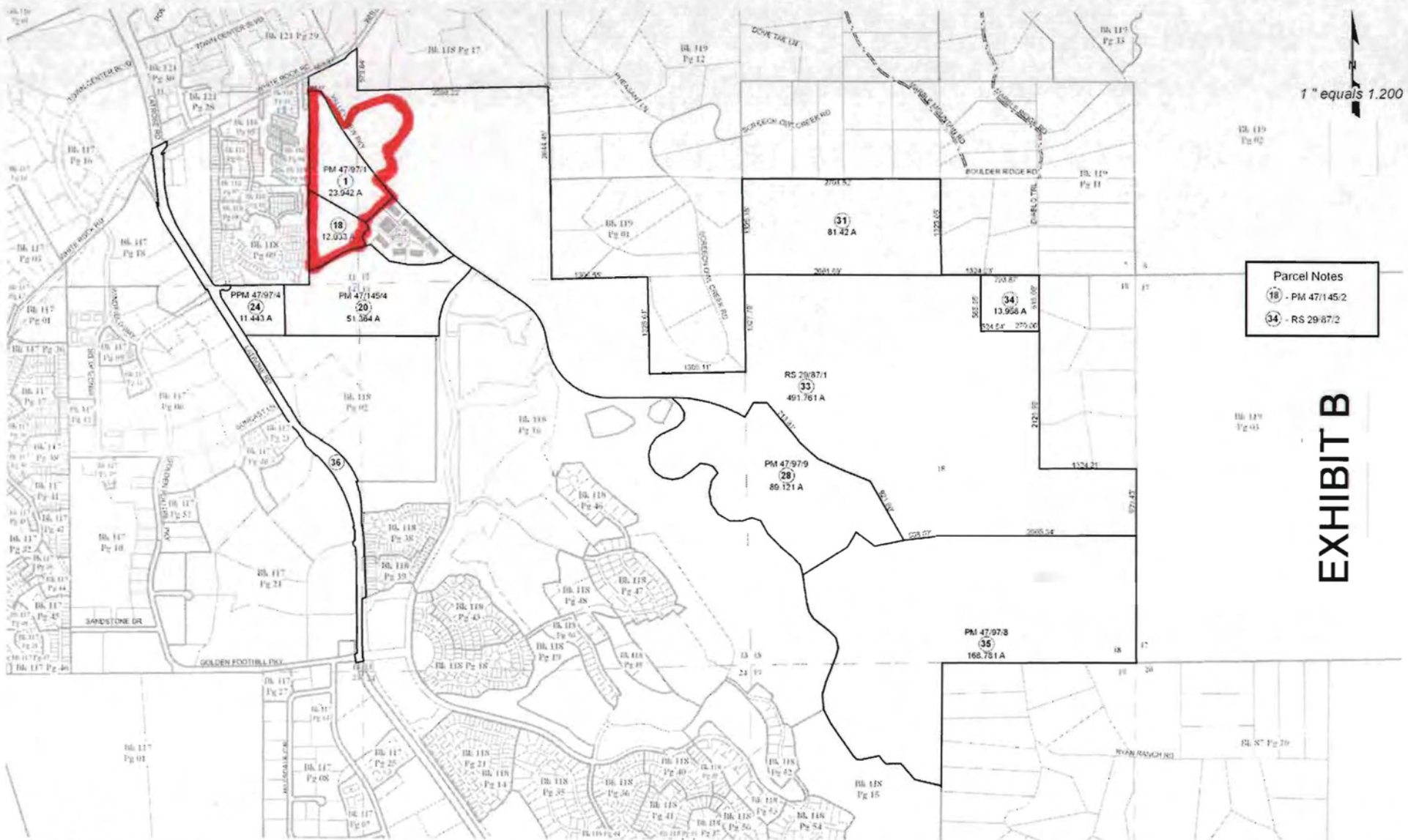


EXHIBIT A

POR. SECS. 11, 12, 13, 14, & 24, T.9N., R.8E., & POR. SECS. 7, 18, & 19, T.9N., R.9E., M.D.M.

118:13



Parcel Notes
 (18) - PM 47/145/2
 (34) - 13.956 A
 (34) - RS 29/87/2

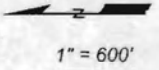
EXHIBIT B

THIS MAP IS NOT A SURVEY. It is prepared by the El Dorado Co Assessor's office for assessment purposes only. Area calculations and characteristics are not guaranteed. Users should verify items such as dimensions and acreage.

Acreages Are Estimates

POR. SECS. 13 & 24, T.9N., R.8E., & SECS. 18 & 19, T.9N., R.9E., M.D.M.
 WEST VALLEY VILLAGE
 J-43

118:14



***Parcel Notes**
 39 - POR LOT 13, 0.324 A, NA
 57 - POR LATROBE RD, NA
 59 - POR LOT 13, 19.668 A, AW

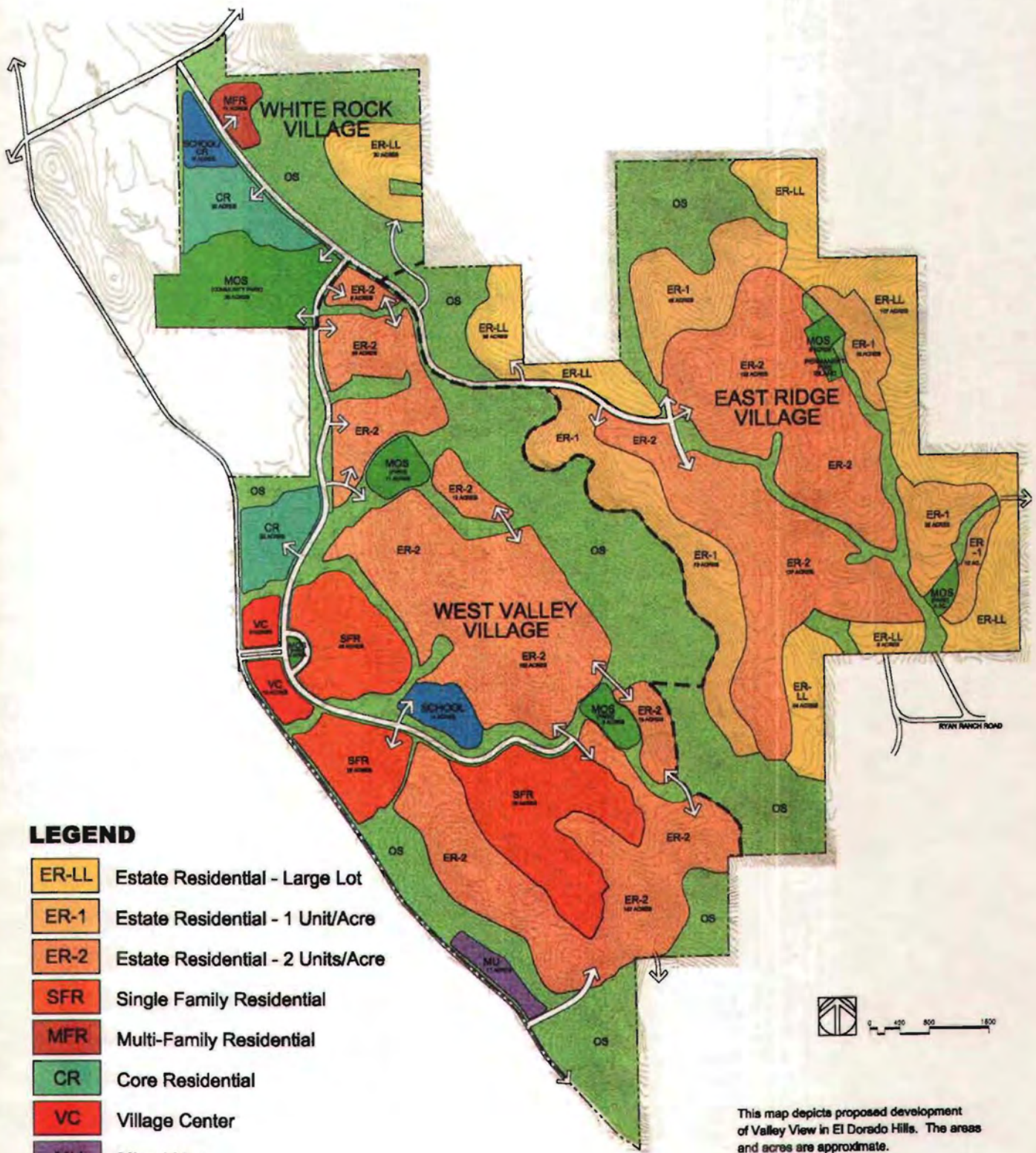
THIS MAP IS NOT A SURVEY. It is prepared by the El Dorado Co Assessor's office for assessment purposes only. Area calculations and characteristics are not guaranteed. Users should verify items such as dimensions and acreage.

Acreages Are Estimates

Adjacent Map Pages Shown in Grey Text
 Assessor's Block Numbers Shown in Ellipses
 Assessor's Parcel Numbers Shown in Circles

Rev. Nov 7, 2013

Assessor's Map Bk. 118, Pg. 14
 County of El Dorado, CA

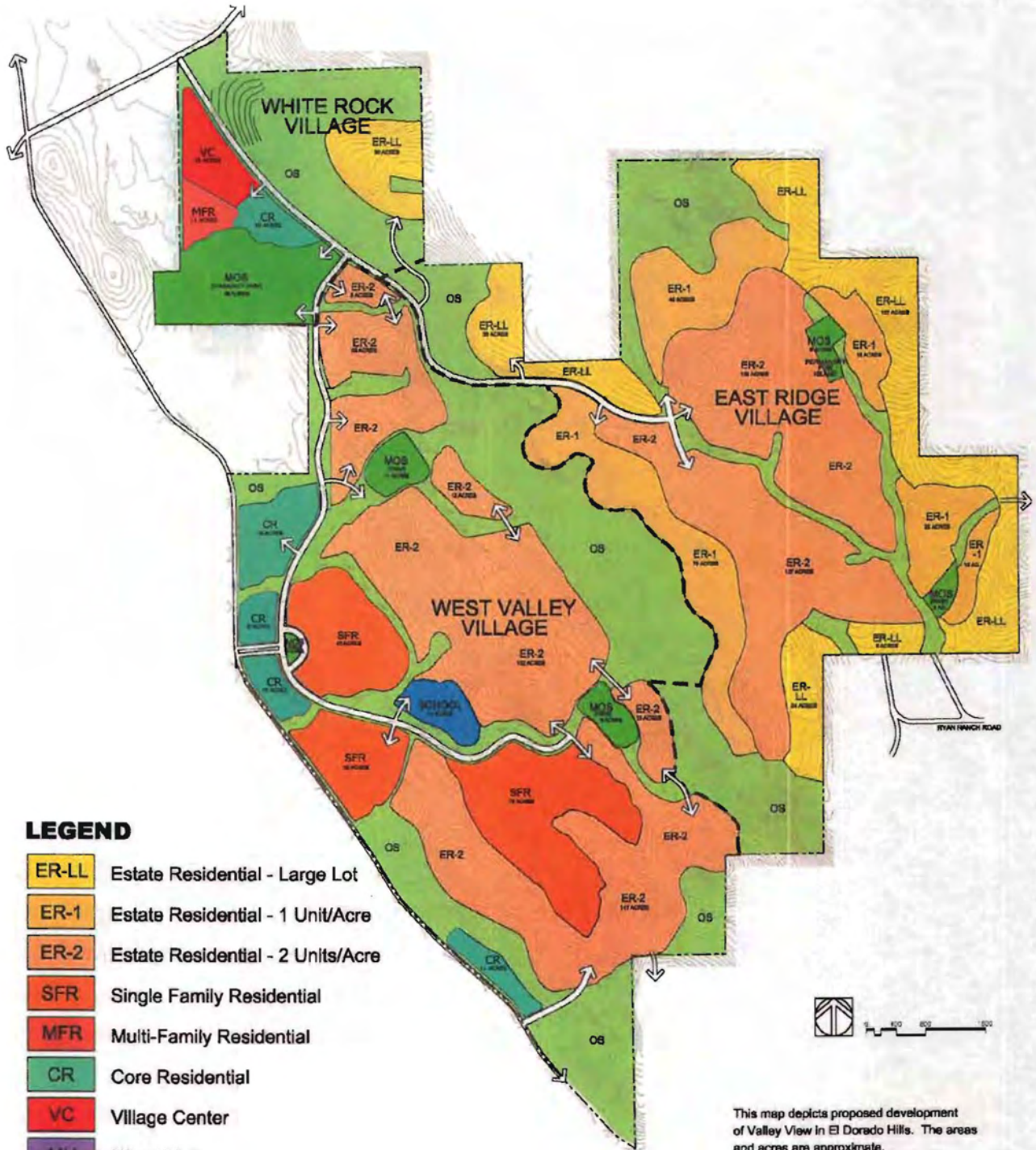


LEGEND

- ER-LL Estate Residential - Large Lot
- ER-1 Estate Residential - 1 Unit/Acre
- ER-2 Estate Residential - 2 Units/Acre
- SFR Single Family Residential
- MFR Multi-Family Residential
- CR Core Residential
- VC Village Center
- MU Mixed Use
- MOS Multi-Use Open Space
- OS Open Space
- SCH School Site (MOS District)
- Village Boundary

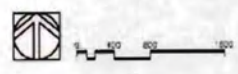
This map depicts proposed development of Valley View in El Dorado Hills. The areas and acres are approximate.

Figure 4.2
Land Use Plan
Valley View



LEGEND

- ER-LL Estate Residential - Large Lot
- ER-1 Estate Residential - 1 Unit/Acre
- ER-2 Estate Residential - 2 Units/Acre
- SFR Single Family Residential
- MFR Multi-Family Residential
- CR Core Residential
- VC Village Center
- MU Mixed Use
- MOS Multi-Use Open Space
- OS Open Space
- SCH School Site (MOS District)
- Village Boundary



This map depicts proposed development of Valley View in El Dorado Hills. The areas and acres are approximate.

REVISED
Figure 4.2
Land Use Plan
Valley View
 NOVEMBER, 2013

EXHIBIT D

Figure 4.1
Land Use Table

Land Use District	Abbreviation	Density/ Range ¹ / Intensity ²	Original Specific Plan		Proposed Rezone Lots X, W and V to CR		Staff Recommendation		Dwelling Units ³ / Sq Footage ⁴
			Acreage	% of Plan	Acreage	% of Plan	Acreage	% of Plan	
Estate Residential [.25-2.0 dus/ac]	ER-LL	.25/	206	10%	206	10%	206	10%	2840/100 0
	ER-1	1/	172	8%	172	8%	172	8%	
	ER-2	2/	648 ⁷	32%	648 ⁷	32%	648 ⁷	32%	
Single Family Residential	SFR	4/	152	7%	152	7%	152	7%	
Core Residential	CR	6-15/	53 ⁷	3%	62 ⁷	3%	62 ⁷	3%	
Multi-family residential	MFR	12/	11	0.5%	11 ⁸	0.5%	30 ⁸	1.5%	
Mixed Use	MU	10/.20	11 ⁵	1%	0 ⁵	0%	0 ⁵	0%	
Village Center	VC	12/.25	18 ⁶	1%	19 ⁹	1%	0 ⁹	0%	
[Subtotal: Developed]			1271	62%	1270	61.5%	1270	61.5%	
Open Space/Buffer	OS	n.a.	617	30%	628	31%	628	31%	
Multiuse Open Space	MOS	n.a.	86	5%	86	5%	86	5%	
[Subtotal: Open Space]			703	35%	714	36%	714	36%	
School Sites	varies	n.a.	24	1%	14	0.5%	14	0.5%	
Major Roads	n.a.	n.a.	39	2%	39	2%	39	2%	
[Subtotal: Public]			63	3%	53	2.5%	53	2.5%	
Total			2037	100%	2037	100%	2037	100%	

¹Gross density, including local roads, expressed in dwelling units per acre. All acreages are approximate.

²Expressed as a floor area ratio (FAR), the ratio of the total gross leaseable floor area is a percentage of the site devoted to the commercial or research and development use.

³Projected dwelling units including attached units. Actual units may vary but shall not exceed a total of 2840 d.u.'s commercial or research and development use.

⁴Total gross leaseable floor area in 1000's of square feet

⁵50% of total acreage assumed to be developed as residential, 50% as office.

⁶70% of total acreage assumed to be developed as residential, 30% as commercial.

⁷CR or ER acreage will increase if school site(s) are not accepted by district.

The following two footnotes are proposed to be added to the Figure 4.1

⁸MFR Density Bonus provision per GP policy 4.3.1.2

⁹Total acreage to be developed as residential, no commercial.

OWNERS OF RECORD

THE NEW HOME COMPANY
3801 EAST ROOSEVELT PARKWAY, #150
RIVERVIEW, CA 95070

APPLICANT

THE NEW HOME COMPANY
3801 EAST ROOSEVELT PARKWAY, #150
RIVERVIEW, CA 95070

ENGINEER

cta Engineering & Surveying
Civil Engineering • Land Surveying • Land Planning
10000 S. DEER CREEK ROAD, SUITE 200
RIVERVIEW, CA 95070

MAP SCALE

1" = 40'

CONTOUR INTERVAL

CONTOUR INTERVAL: 1' FOOT

SOURCE OF TOPOGRAPHY

(AERIAL PHOTOGRAPHY/TOPOGRAPHIC SURVEY)

SECTION, TOWNSHIP and RANGE

FOR SECTIONS 13 & 24, T.9N., R.9E. M.D.M.

ASSESSOR'S PARCEL NUMBERS

A.P.N. 113-140-63

PROPOSED SPECIFIC PLAN

VALLEY VIEW SPECIFIC PLAN 03

PRESENT SPECIFIC PLAN

VALLEY VIEW SPECIFIC PLAN 03

TOTAL AREA

6.66 ACRES

TOTAL NUMBER OF PARCELS

RESIDENTIAL LOTS (1-32)	32
LEFFERD LOT A	0.17 AC
(P.S.T. & SIDEWALK LANDSCAPE)	0.36 AC
LEFFERD LOT B	0.16 AC
(PARKING & LANDSCAPE)	0.16 AC
LEFFERD LOT C	0.09 AC
(PARKING, OPEN SPACE & LANDSCAPE)	0.09 AC
LEFFERD LOT D	0.09 AC
(PARKING, OPEN SPACE & LANDSCAPE)	0.09 AC
LEFFERD LOTS E & F	0.09 AC
(LANDSCAPE)	0.09 AC
LOT P (INTERNAL ROADS)	2.61 AC
PD LOTS TOTAL	9.66 AC

MINIMUM LOT AREA

2,570 SQUARE FEET

WATER, RECYCLED WATER and SEWAGE DISPOSAL

EL DONOSO HILLS COUNTY WATER DISTRICT (PRE DEPT.)

PROPOSED STRUCTURAL FIRE PROTECTION

EL DONOSO HILLS COUNTY WATER DISTRICT (PRE DEPT.)

DATE OF PREPARATION

FEBRUARY 25, 2014

PHASING PLAN NOTICE

THE ENGINEER HAS PREPARED THIS MAP FOR THIS PROJECT AND SUPERVISOR SHALL BE REQUIRED TO DEFINE THE NUMBER OR CONFIGURATION OF THE PROPOSED MULTIPLE PHASE MAPS (PER THE SUBMISSION MAP ACT, SECTION 85551.)

ENGINEER'S CERTIFICATE

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THE LAND DEVELOPMENT KNOWN AS WEST VALLEY VILLAGE LOT 12 OF THE VALLEY VIEW SPECIFIC PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE SPECIFICATIONS AND COUNCILMAN'S STAFF REPORT OF EL DONOSO

[Signature]
CLAudia RODRIGUEZ
DATE

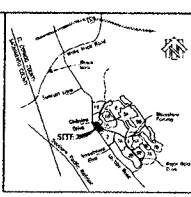
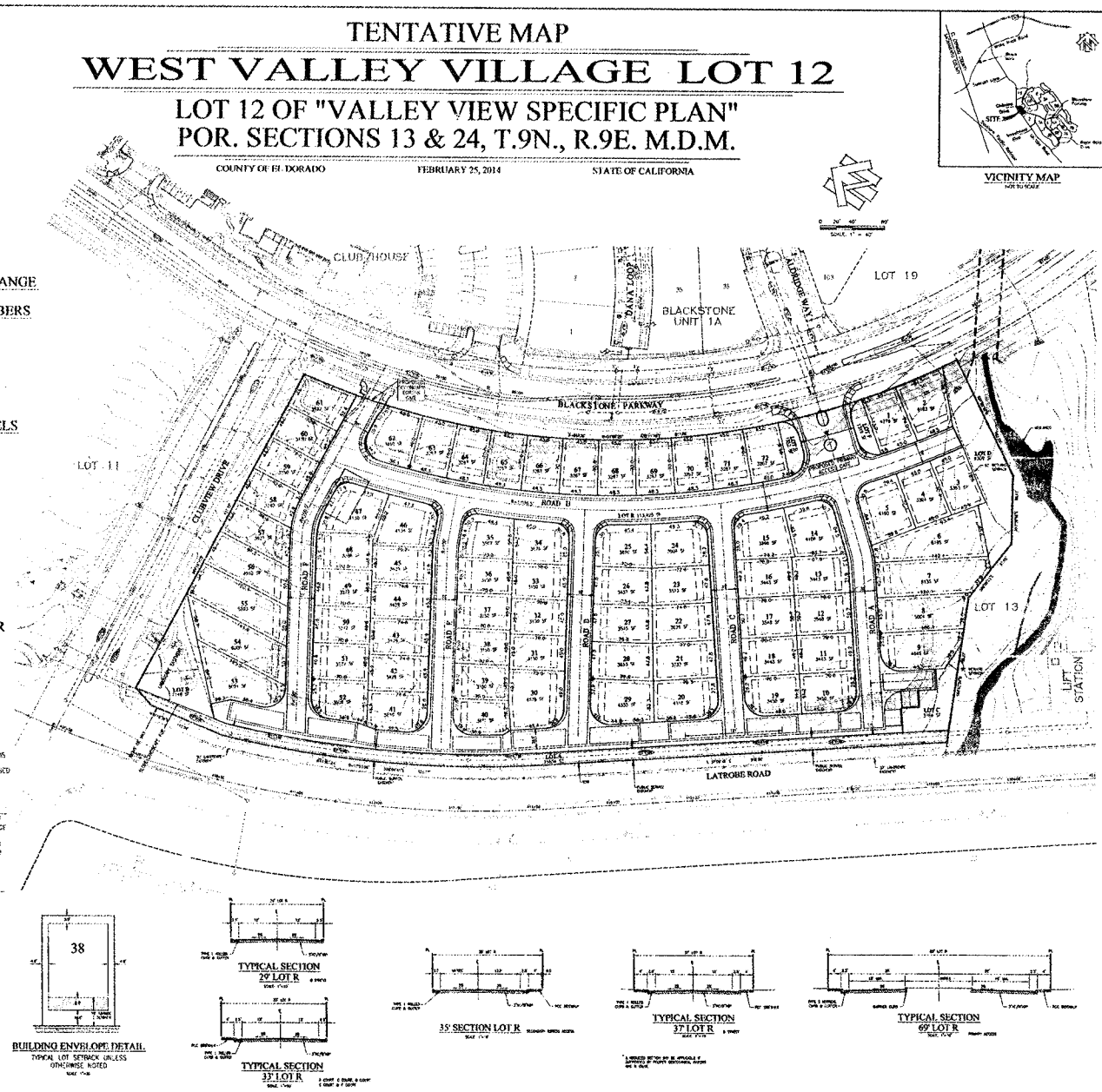
NOTE:

SEE DRAWING ENVELOPE DETAIL FOR PROPOSED TYPICAL BUILDING SETBACKS

LEGEND:

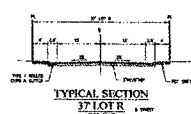
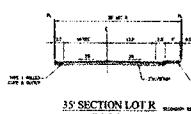
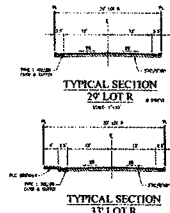
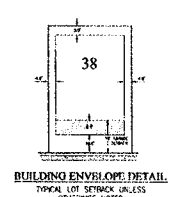
PROPOSED FIRE HYDRANT
EXISTING WETLANDS

PLANNING COMMISSION: _____
APPROVAL DATE: _____
DATE OF MEETING: _____
APPROVAL SIGNATURE: _____



14 MAR 25 AM 11:31
RECEIVED
PLANNING DEPARTMENT

REVISED EXHIBIT F

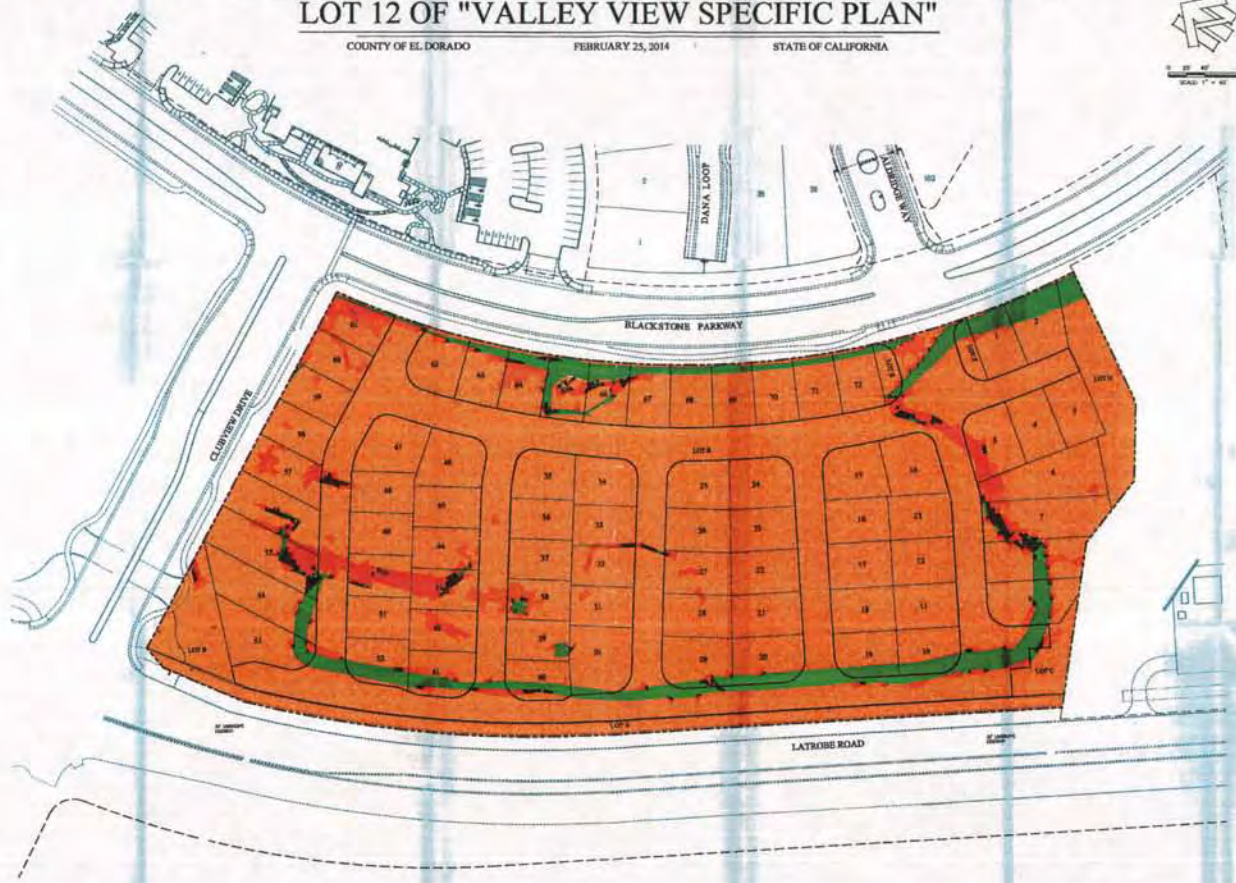


SLOPE MAP
WEST VALLEY VILLAGE LOT 12
LOT 12 OF "VALLEY VIEW SPECIFIC PLAN"

COUNTY OF EL DORADO FEBRUARY 25, 2014 STATE OF CALIFORNIA



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 PLANNING DEPARTMENT



COLOR LEGEND

COLOR	SLOPE RANGE	AREA	PERCENT OF AREA STUDY
Orange	0% - 10%	84 AC.	87.5%
Red	10% - 15%	23 AC.	2.4%
Dark Red	15% - 20%	12 AC.	1.2%
Black	20% - 30%	61 AC.	1.0%
Green	30% - 40%	23 AC.	2.3%
Dark Green	40% +	54 AC.	4.3%

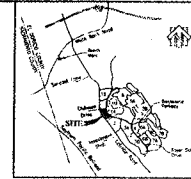
REVISED EXHIBIT G

PRELIMINARY GRADING PLAN
WEST VALLEY VILLAGE LOT 12
LOT 12 OF "VALLEY VIEW SPECIFIC PLAN"

COUNTY OF EL DORADO

FEBRUARY 25, 2014

STATE OF CALIFORNIA

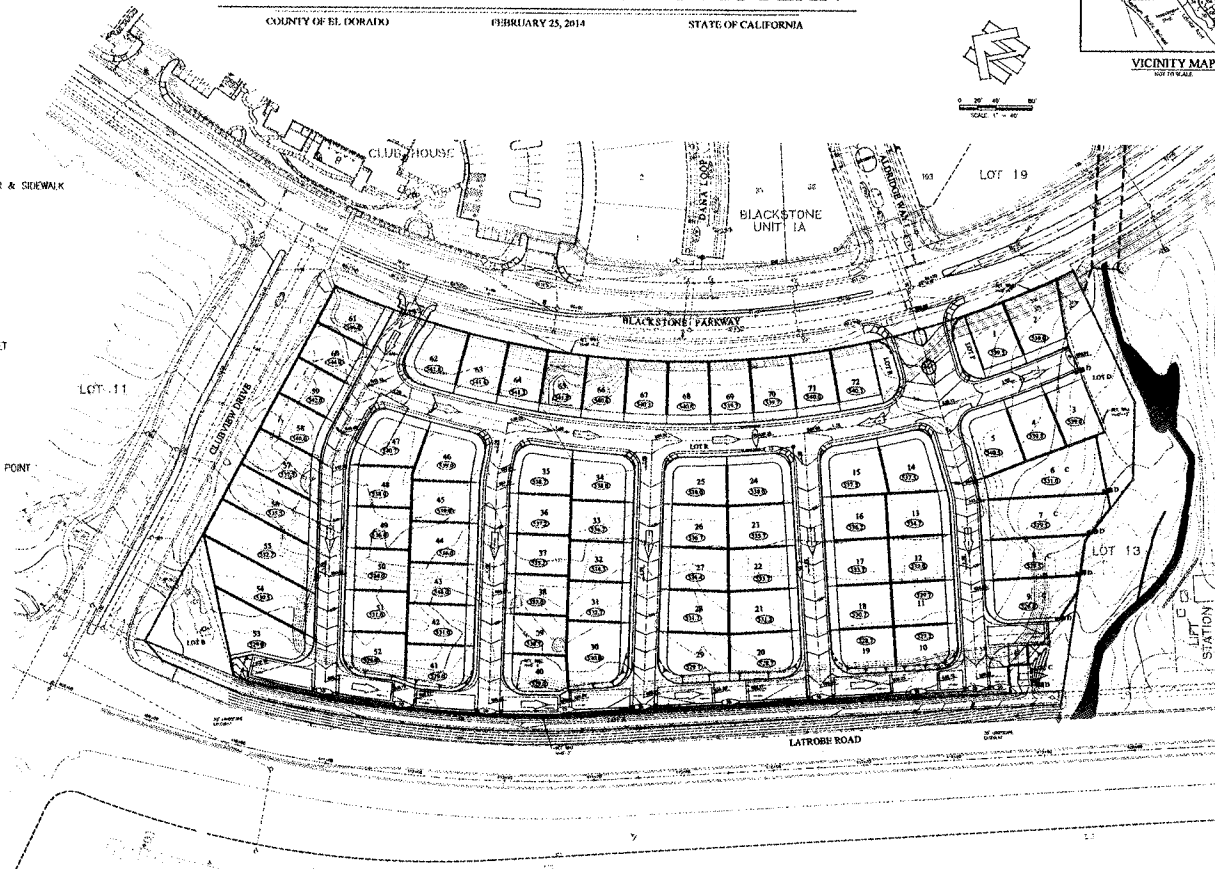


VICINITY MAP
NOT TO SCALE

14 MAR 25 AM 11:30
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 PLANNING DEPARTMENT

LEGEND

- EX. CONTOUR
- PROP. CONTOUR
- GRADE BREAK
- PROP. CURB, GUTTER & SIDEWALK
- PROP. SPOT GRADE
- EX. SPOT GRADE
- PROP. SLOPE
- EX. SEWER
- EX. WATER
- EX. STORM DRAIN
- PROP. STORM DRAIN
- PROP. DRAINAGE INLET
- PROP. SD MANHOLE
- RSP
- CLASS C LOT
- 2:1 SLOPE
- PAD ELEVATION
- DRAINAGE DISCHARGE POINT
- WETLANDS
- OVERLAND RELEASE



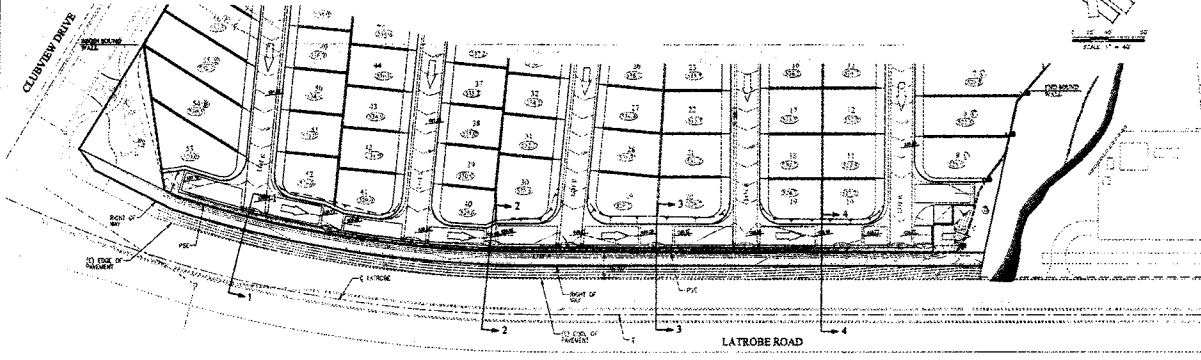
EARTHWORK
 EXCAVATION =11,765 CY
 EMBANKMENT =20,105 CY

cta Engineering & Surveying
 Civil Engineering Land Surveying Land Planning
 17700 Valley View, Irvine, California 92614
 949.453.8888

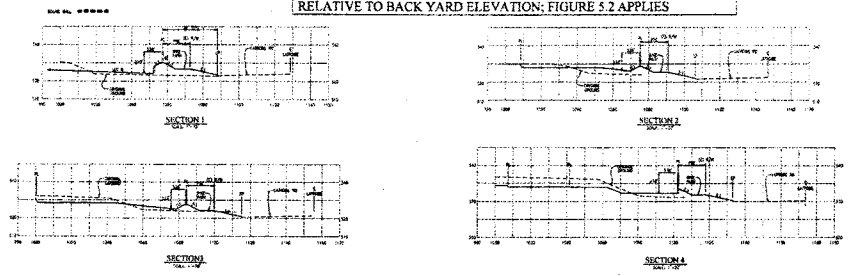
REVISED EXHIBIT H

RECEIVED
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FEB 25 AM 11:30

WEST VALLEY VILLAGE LOT 12 TM 12-1506
SOUND WALL/ BERM EXHIBIT; MM N-1 COMPLIANCE
COUNTY OF EL DORADO, CALIFORNIA
SCALE: 1"=40' FEBRUARY 23, 2014

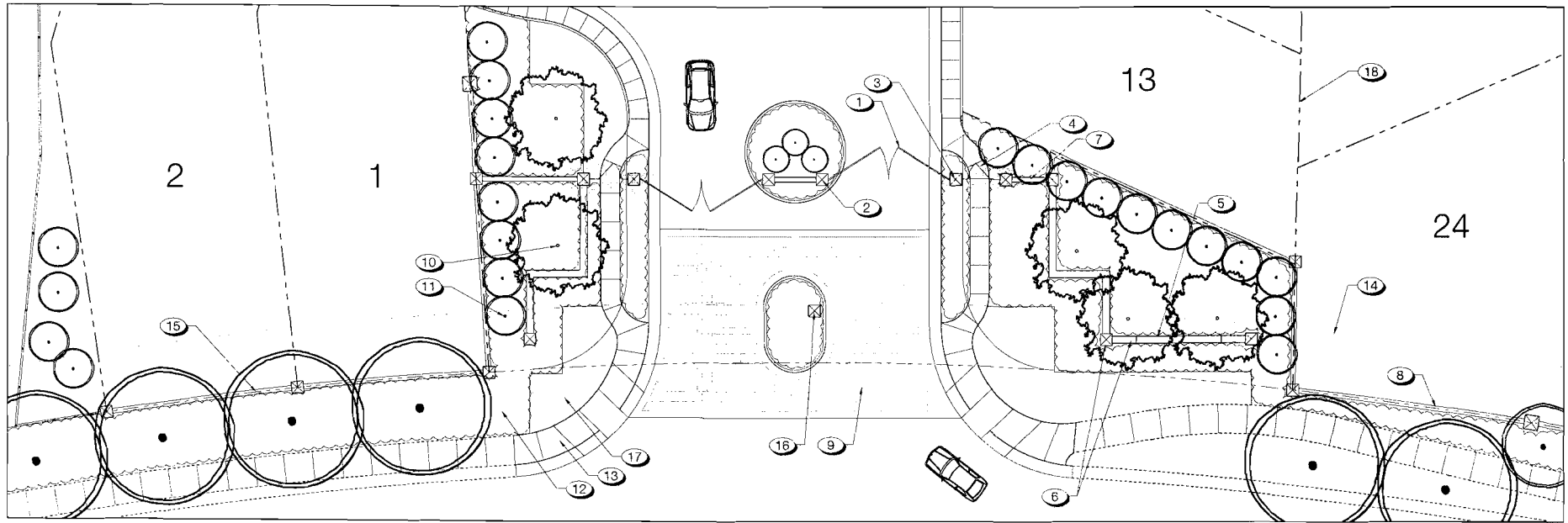


PER TRAFFIC NOISE ANALYSIS BAC REQUIRED BARRIER HEIGHT $\geq 10'$
RELATIVE TO BACK YARD ELEVATION; FIGURE 5.2 APPLIES



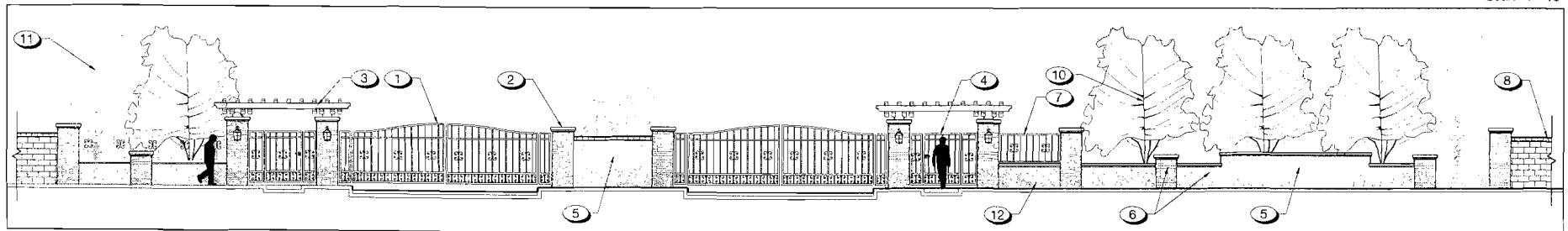
cta Engineering & Surveying
Civil Engineering • Land Surveying • Land Planning
200 West 10th Street, Suite 2000, El Dorado, CA 95762
TEL: 530.243.1100 FAX: 530.243.1101

REVISED EXHIBIT I



Plan Enlargement

Scale: 1"=10'



Entry Elevation

Not to Scale/Enlarged to Shown Detail

Project Elements Legend

- | | | | |
|--|--|-------------------------------------|-----------------------------------|
| ① Ornamental Entry Gate (style/detailing to be determined following Architectural Design Charette) | ⑤ Project Entry Signage and/or Logo (to be determined) | ⑩ Multi-stem Specimen Tree, typ. | ⑮ Project boundary, typ. |
| ② Stone Veneer Pilaster, typ. | ⑥ Low Stucco Planter Wall with Stone Veneer Pilasters, typ. | ⑪ Columnar Tree, typ. | ⑯ Gate Call Box |
| ③ Metal Entry Trellis with Light Fixtures, typ. | ⑦ Low Stucco Wall with Ornamental Metal Fence, typ. | ⑫ Shrub/Groundcover Plantings, typ. | ⑰ Sodded Turf, typ. |
| ④ Pedestrian Entry/Security Gate, typ. | ⑧ Masonry Soundwall and Cap, typ. | ⑬ Concrete Sidewalk, typ. | ⑱ Housing Lot Property Line, typ. |
| | ⑨ Stamped/Colored Concrete Paving (pattern to be determined) | ⑭ Existing PUE, typ. | |



The HLA Group Landscape Architects & Planners, Inc.
 1050 Twentieth Street, Suite 200 / Sacramento, California 95811
 916.447.7470 / 916.447.8270 fax / www.hlagroup.com

Blackstone Lot W - The New Home Company
 Project Entry - Plan Enlargement #1
 El Dorado Hills, California



L2
 September 20, 2011



WEST VALLEY VILLAGE, LOT 12
PRELIMINARY DEVELOPMENT PLAN
 EL DORADO COUNTY, CALIFORNIA
 SCALE 1"=40' updated FEBRUARY 25, 2014

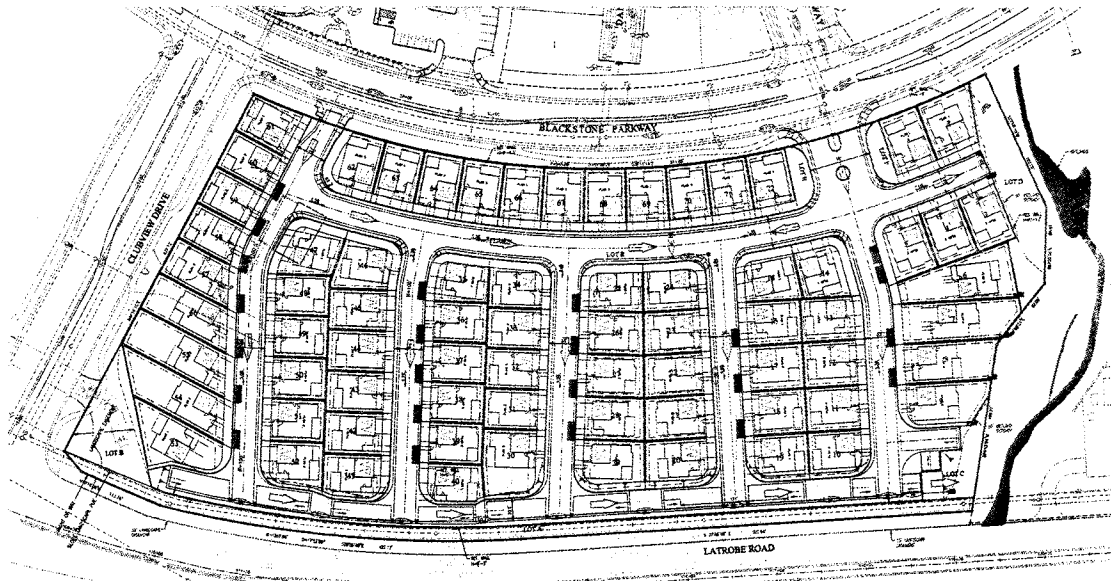
PLAN PRODUCT SUMMARY

PLAN DESIGNATION	NO. OF LOTS	TOTAL AREA (SQ. FT.)	TOTAL AC.
PLAN 1	13	12	28
PLAN 2	12	12	24
PLAN 3	6	12	21
TOTAL LOTS			72

LEGEND
 PARALLEL PARKING STALL
 TOTAL CLUST PARKING STALLS



0 20 40 80
 FEET
 SCALE 1" = 40'



cta Engineering & Surveying
 CIVIL Engineering • Land Surveying • Land Planning
 10000 El Dorado Blvd., Suite 200
 El Dorado, CA 95623
 Telephone: 916.688.1100

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REVISED EXHIBIT K

BLACKSTONE

SCHEMATIC DESIGN SET

JZMK JOB 13005
15 NOVEMBER 2013



CHARACTER ELEVATION



SITE CONTEXT / VICINITY MAP



LOCATION: _____
EL DORADO HILLS, CA

THE NEW
HOME
COMPANY

APPLICANT:
THE NEW HOME COMPANY
CONTACT: AARON SUSSMAN
2220 DOUGLAS BLVD,
SUITE 240
ROSEVILLE, CA 95661

TEL: 916.771.2223
FAX: 916.771.4199

J Z M K
PARTNERS

ARCHITECT:
JZMK PARTNERS
CONTACT: ERIC ZUZIAK
3080 BRISTOL STREET,
SUITE 650
COSTA MESA, CA 92626

TEL: 714.426.6900
FAX: 714.426.6901

SHEET INDEX

P-#	TITLE
P-00	COVER SHEET
P-01	TENTATIVE TRACT MAP
P-02	PLAN 1 - FIRST & SECOND FLOOR PLAN
P-03	PLAN 1 - SPANISH COLONIAL PERSPECTIVE
P-04	PLAN 1 - SPANISH COLONIAL ELEVATIONS
P-05	PLAN 1 - MONTEREY PERSPECTIVE
P-06	PLAN 1 - MONTEREY ELEVATIONS
P-07	PLAN 1 - RURAL ITALIAN PERSPECTIVE
P-08	PLAN 1 - RURAL ITALIAN ELEVATIONS
P-09	PLAN 1 - ROOF PLANS
P-10	PLAN 2 - FIRST & SECOND FLOOR PLAN
P-11	PLAN 2 - SPANISH COLONIAL PERSPECTIVE
P-12	PLAN 2 - SPANISH COLONIAL ELEVATIONS
P-13	PLAN 2 - MONTEREY PERSPECTIVE
P-14	PLAN 2 - MONTEREY ELEVATIONS
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P-16	PLAN 2 - RURAL ITALIAN ELEVATIONS
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P-18	PLAN 3 - FIRST & SECOND FLOOR PLAN
P-19	PLAN 3 - SPANISH COLONIAL PERSPECTIVE
P-20	PLAN 3 - SPANISH COLONIAL ELEVATIONS
P-21	PLAN 3 - MONTEREY PERSPECTIVE
P-22	PLAN 3 - MONTEREY ELEVATIONS
P-23	PLAN 3 - RURAL ITALIAN PERSPECTIVE
P-24	PLAN 3 - RURAL ITALIAN ELEVATIONS
P-25	PLAN 3 - ROOF PLANS
P-26	PERSPECTIVE VIEW

PROPOSED GENERAL STATISTICS:

Home counts: 73 Total new Homes; Single Family Detached
Project Size: Approximately 6.43 Acres
Proposed Density: 11.35 DU/AC

Conceptual Unit Mix:

SFD 1	3 BR + STUDY, 2.5 BA	2,000 S.F.	24	33%
SFD 2	3 BR + LOFT/OPT. BR 4, 3.5 BA	2,238 S.F.	24	33%
SFD 3	3 BR + OFFICE, OPT. BR 4, 3 BA	2,333 S.F.	25	34%

Total: 2,190 S.F. /AV. 73 100%

Parking:

- 2-car attached direct access side-by-side garages for all homes
- xx Guest Parking Spaces
- xx Total Parking Spaces
- xx Total Parking Spaces/Home ratio

Building Height:

Approximately 28'-0" (36'-0" max.)

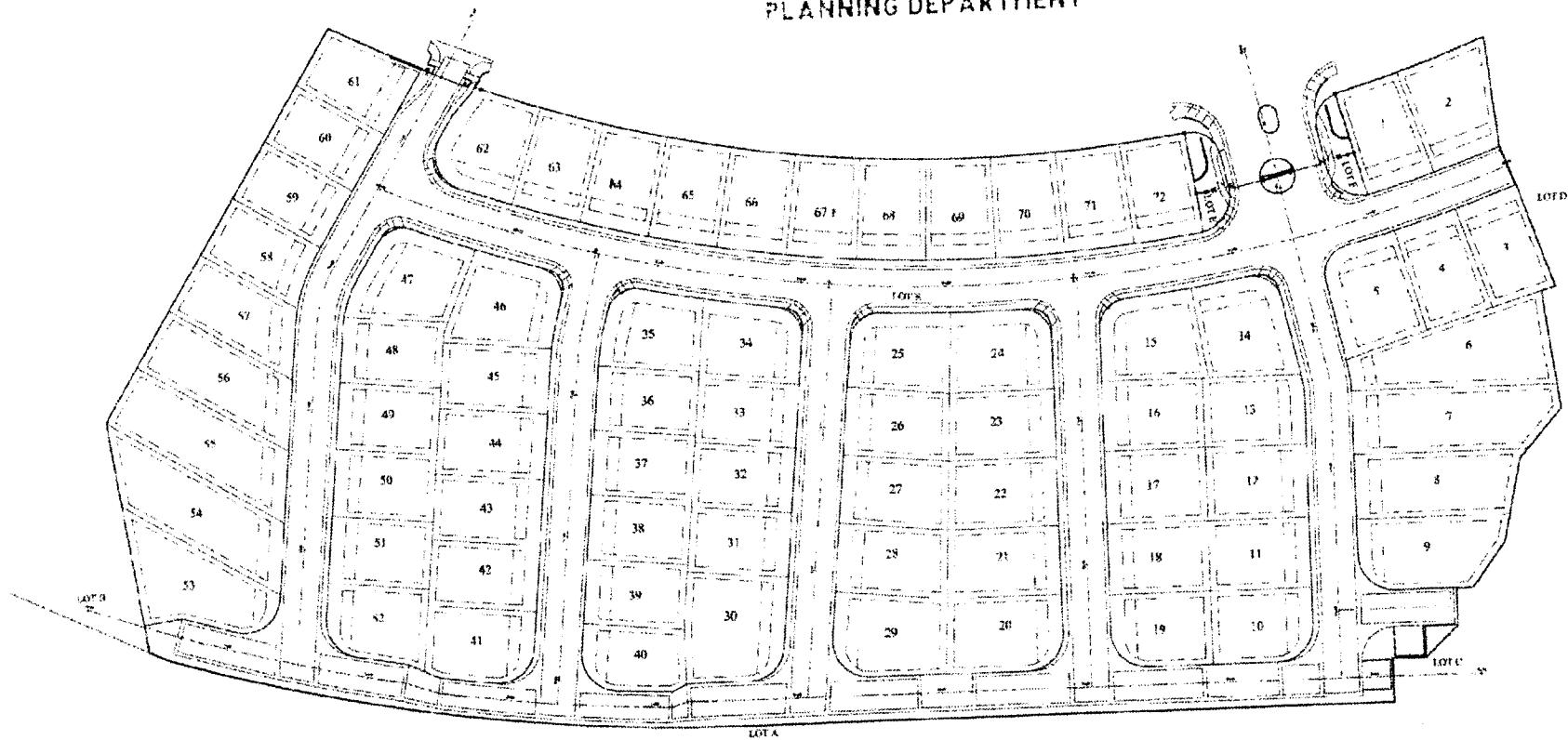
Construction Type:

Type V: 2-Story Detached Single Family Homes

EXHIBIT L

14 MAR 25 AM 11:30
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REVISED EXHIBIT L



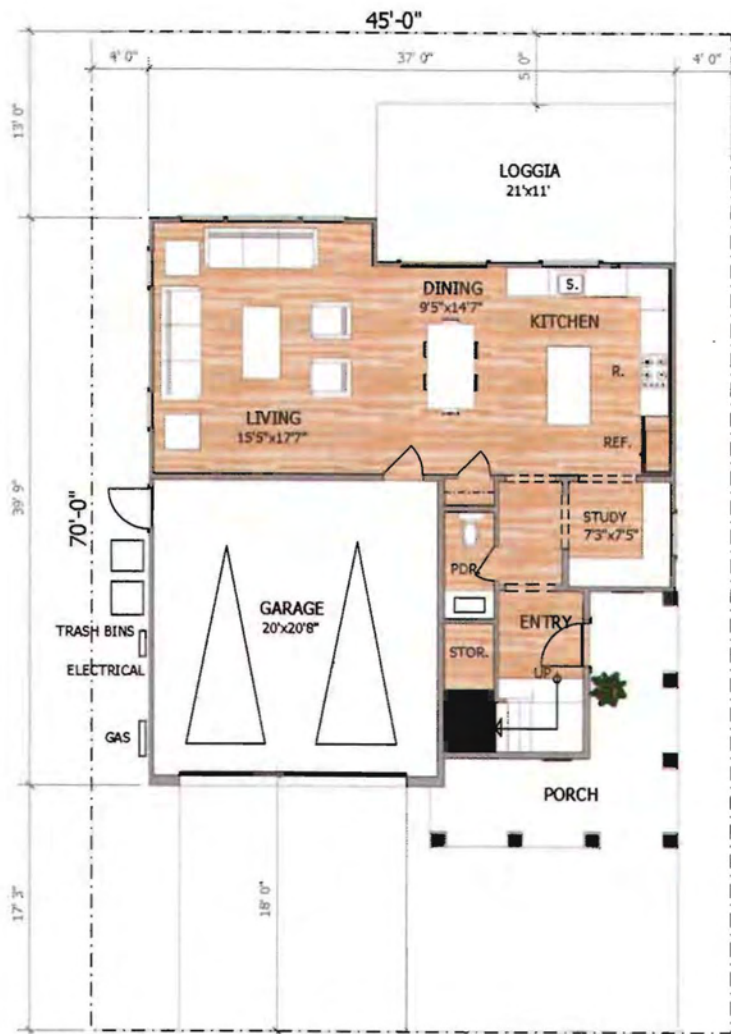
TENTATIVE TRACT MAP

BLACKSTONE
EL DORADO HILLS, CA

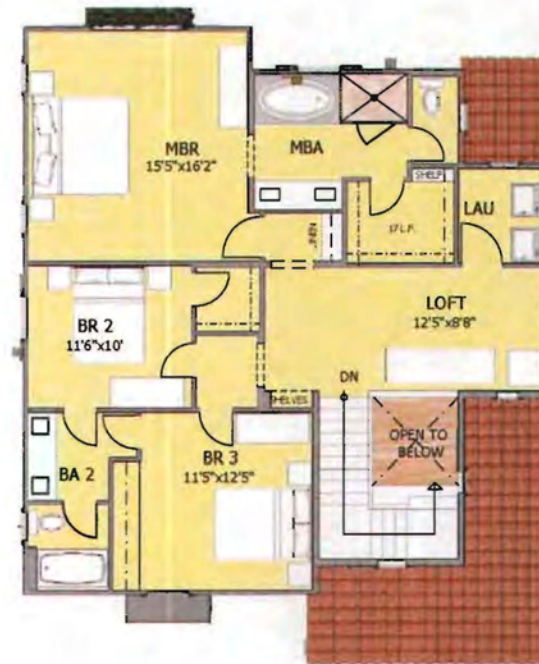
THE NEW
HOME
COMPANY

JZMK
LAND SURVEYORS

JOB # 13005 11-15-2013 P-01



FIRST FLOOR



SECOND FLOOR

PLAN 1-FLOOR PLANS

3BR + STUDY, 2.5BA APPROX. 2,000 SF

BLACKSTONE
EL DORADO HILLS, CA

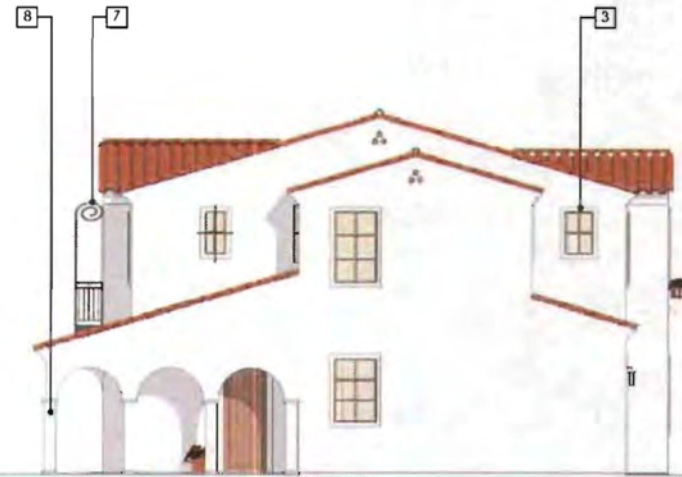
NOTE: FLOOR PLAN SHOWN REFLECTS THE SPANISH COLONIAL STYLE.



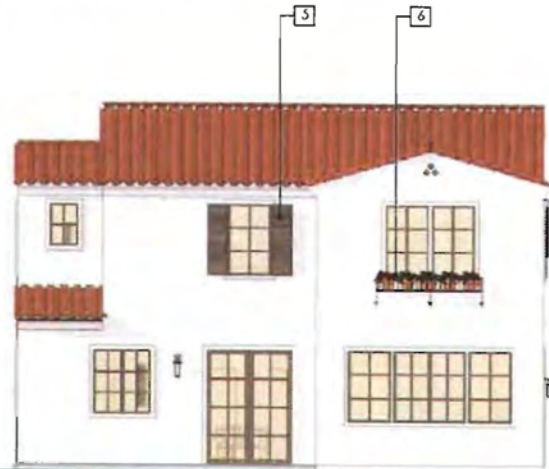
PLAN 1 - SPANISH COLONIAL PERSPECTIVE



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

FINISH LEGEND

- | | |
|------------------------|------------------------|
| 1 STUCCO | 5 SHUTTER |
| 2 S-TILE ROOF | 6 W.I. POT SHELF |
| 3 WINDOW SURROUND | 7 DECORATIVE W.I. BARS |
| 4 DECORATIVE CLAY PIPE | 8 STUCCO COLUMNS |



LEFT ELEVATION

PLAN 1 - SPANISH COLONIAL ELEVATIONS

BLACKSTONE
EL DORADO HILLS, CA



PLAN 1 - MONTEREY PERSPECTIVE

THE NEW
HOME
COMPANY

BLACKSTONE
EL DORADO HILLS, CA

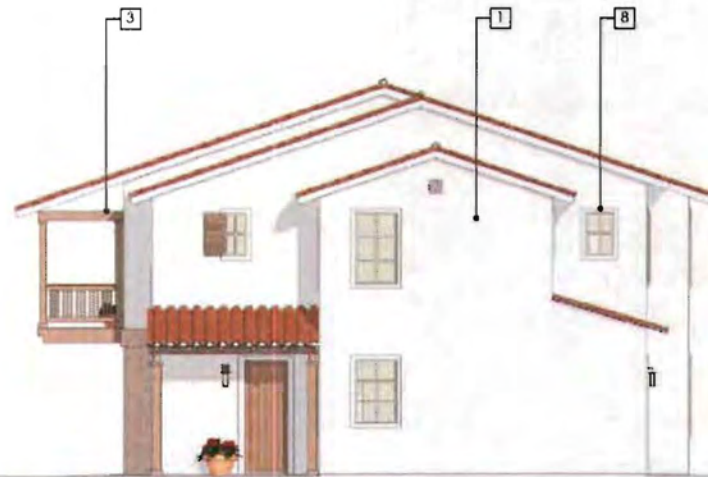
JZMK

ARCHITECTS

JOB # 13005 11-15-2013 P-05



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



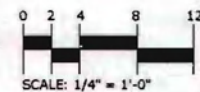
LEFT ELEVATION

FINISH LEGEND

- | | |
|-----------------|-------------------|
| 1 STUCCO | 5 WOOD POST |
| 2 S - TILE ROOF | 6 SHUTTER |
| 3 WOOD BEAM | 7 BRICK |
| 4 WOOD RAILING | 8 WINDOW SURROUND |

PLAN 1 - MONTEREY ELEVATIONS

BLACKSTONE
EL DORADO HILLS, CA



J Z M K
ARCHITECTS

JOB # 13005 11-15-2013 P-06



PLAN 1 - RURAL ITALIAN PERSPECTIVE

THE NEW
HOME
COMPANY

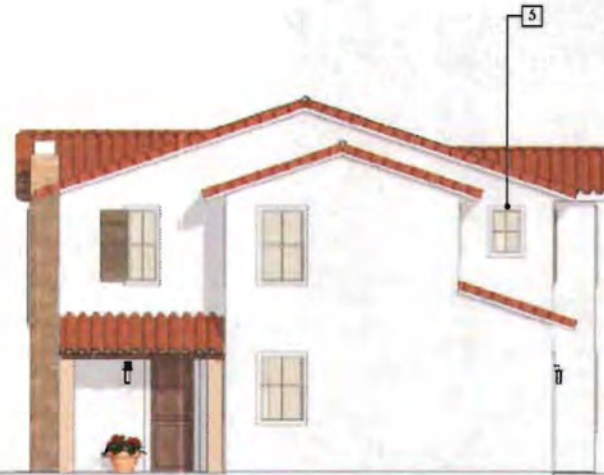
BLACKSTONE
EL DORADO HILLS, CA

JZMK
PARTNERS

JCB # 13005 11-15-2013 P-07



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



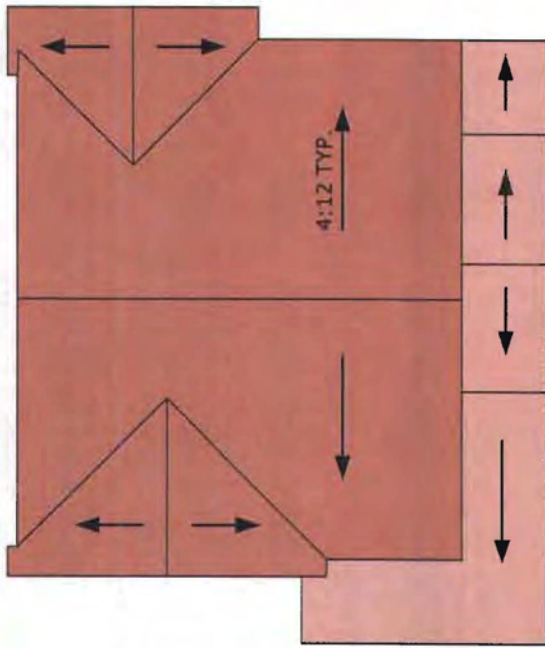
LEFT ELEVATION

FINISH LEGEND

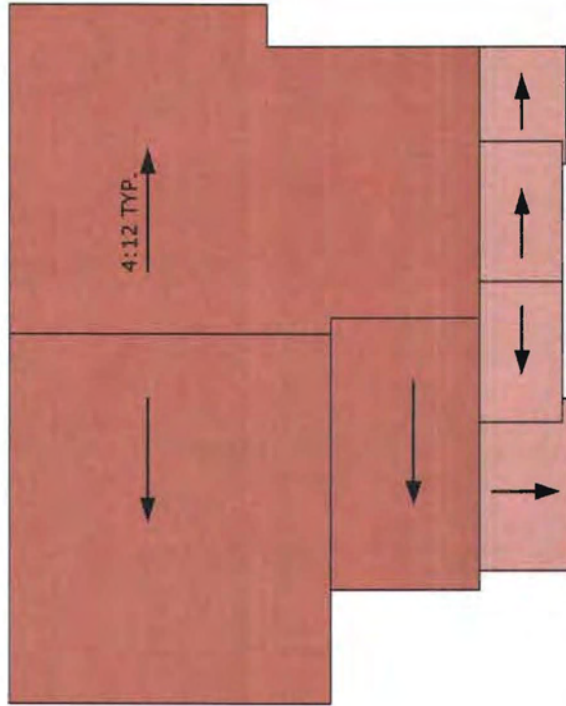
- | | |
|-----------------|-------------------|
| 1 STUCCO | 5 WINDOW SURROUND |
| 2 S - TILE ROOF | 6 WOOD CORBEL |
| 3 WOOD BEAM | 7 STONE VENEER |
| 4 SHUTTER | |

PLAN 1 - RURAL ITALIAN ELEVATIONS

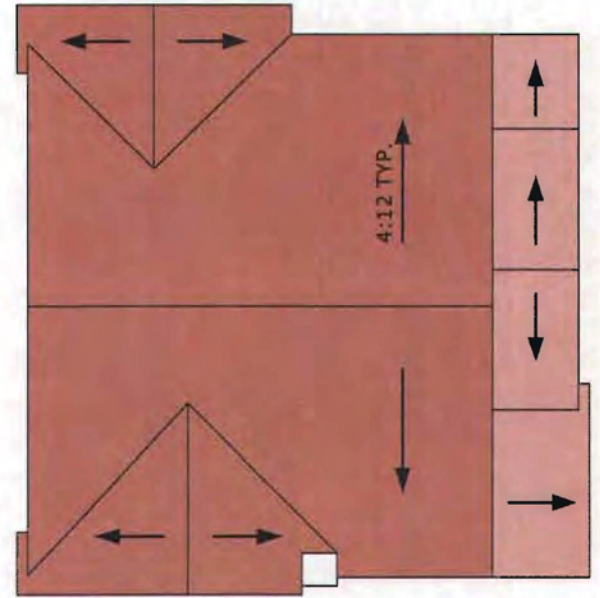
BLACKSTONE
EL DORADO HILLS, CA



ROOF PLAN - SPANISH



ROOF PLAN - MONTEREY



ROOF PLAN - RURAL ITALIAN

PLAN 1 - ROOF PLANS



FIRST FLOOR



SECOND FLOOR

PLAN 2-FLOOR PLANS
 3BR + LOFT/OPT. BR 4, 3.5 BA APPROX. 2,238 SF
BLACKSTONE
 EL DORADO HILLS, CA

NOTE: FLOOR PLAN SHOWN REFLECTS THE MONTEREY STYLE



PLAN 2 - SPANISH COLONIAL PERSPECTIVE



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

FINISH LEGEND

- | | |
|------------------------|------------------------|
| 1 STUCCO | 5 SHUTTER |
| 2 S-TILE ROOF | 6 W.I. POT SHELF |
| 3 WINDOW SURROUND | 7 DECORATIVE W.I. BARS |
| 4 DECORATIVE CLAY PIPE | 8 STUCCO COLUMNS |
| | 9 BRICK ACCENT |

PLAN 2 - SPANISH COLONIAL ELEVATIONS



PLAN 2 - MONTEREY PERSPECTIVE

THE NEW
HOME
COMPANY

BLACKSTONE
EL DORADO HILLS, CA

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JOB # 13005 11-15-2013 P-13



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

FINISH LEGEND

- | | |
|-----------------|-------------------|
| 1 STUCCO | 5 WOOD POST |
| 2 S - TILE ROOF | 6 SHUTTER |
| 3 WOOD BEAM | 7 BRICK |
| 4 WOOD RAILING | 8 WINDOW SURROUND |



PLAN 2 - RURAL ITALIAN PERSPECTIVE

THE NEW
HOME
COMPANY

BLACKSTONE
EL DORADO HILLS, CA

JZMK

ARCHITECTS

JOB # 13005 11-15-2013 P-15



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



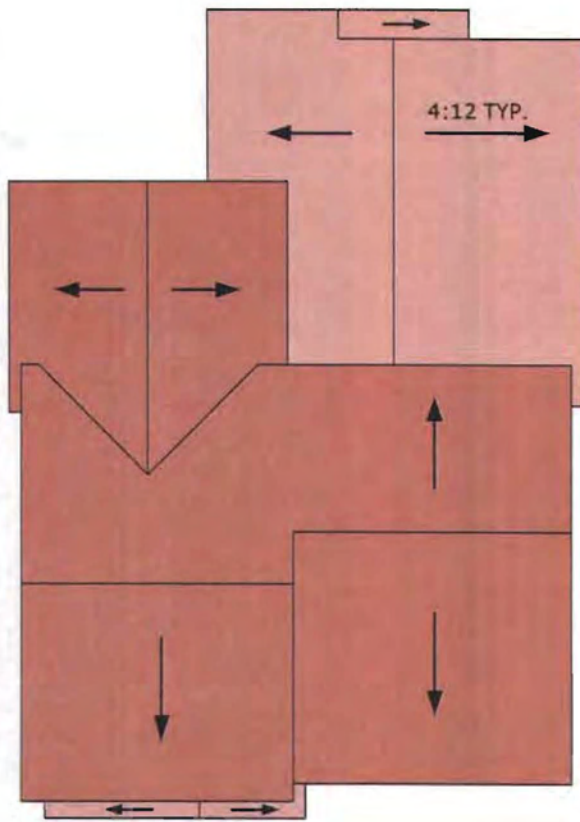
LEFT ELEVATION

FINISH LEGEND

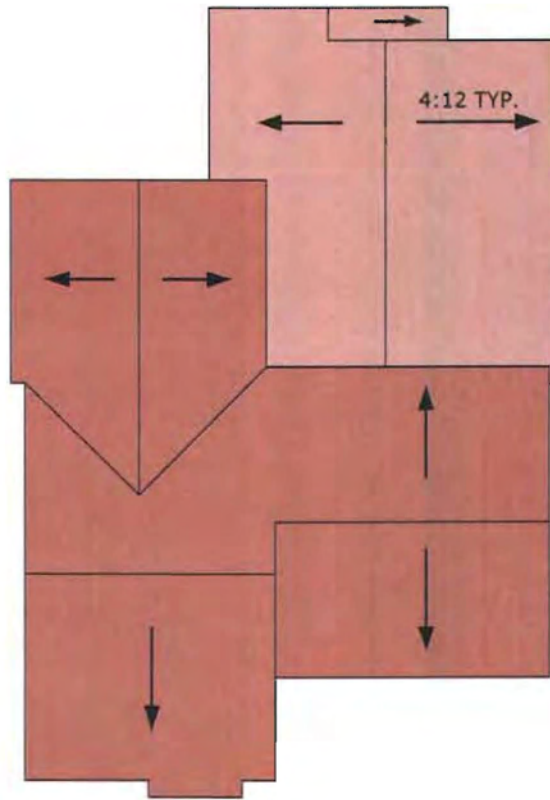
- | | |
|-----------------|-------------------|
| 1 STUCCO | 5 WINDOW SURROUND |
| 2 S - TILE ROOF | 6 WOOD CORBEL |
| 3 WOOD BEAM | 7 STONE VENEER |
| 4 SHUTTER | |

PLAN 2 - RURAL ITALIAN ELEVATIONS

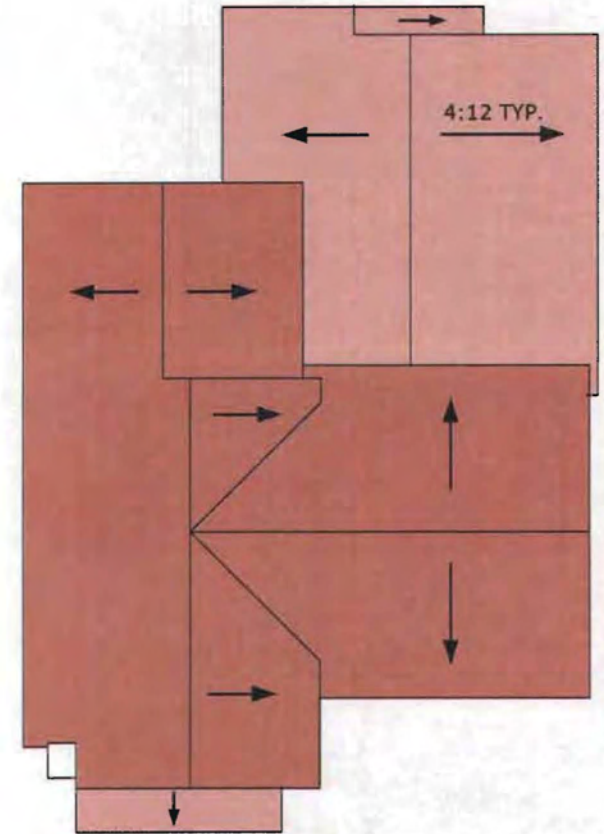
BLACKSTONE
EL DORADO HILLS, CA



ROOF PLAN - MONTEREY



ROOF PLAN - SPANISH



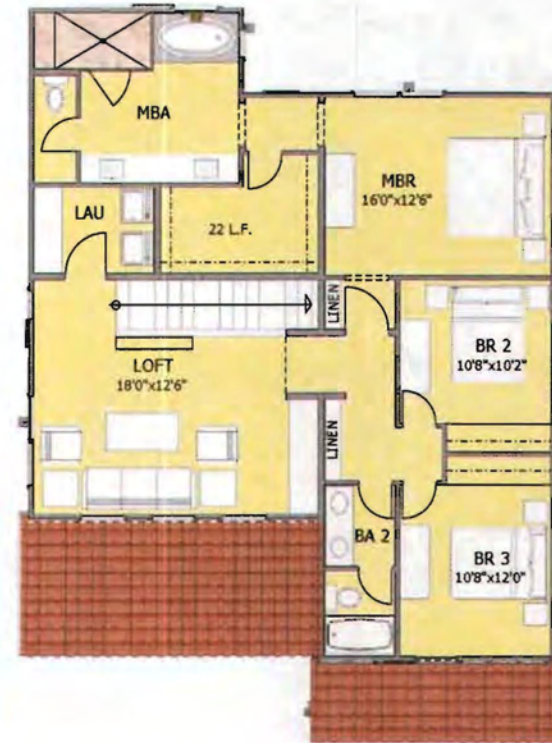
ROOF PLAN - RURAL ITALIAN

PLAN 2 - ROOF PLANS

BLACKSTONE
EL DORADO HILLS, CA



FIRST FLOOR



SECOND FLOOR

PLAN 3-FLOOR PLANS
 3BR + OFFICE/OPT. BR 4, 3BA APPROX. 2,333 SF
BLACKSTONE
 EL DORADO HILLS, CA

NOTE: FLOOR PLAN SHOWN REFLECTS THE RURAL ITALIAN STYLE



PLAN 3 - SPANISH COLONIAL PERSPECTIVE



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

FINISH LEGEND

- | | |
|------------------------|------------------------|
| 1 STUCCO | 5 SHUTTER |
| 2 S-TILE ROOF | 6 W.I. POT SHELF |
| 3 WINDOW SURROUND | 7 DECORATIVE W.I. BARS |
| 4 DECORATIVE CLAY PIPE | 8 STUCCO COLUMNS |
| | 9 BRICK ACCENT |

PLAN 3 - SPANISH COLONIAL ELEVATIONS

BLACKSTONE
EL DORADO HILLS, CA



PLAN 3 - MONTEREY PERSPECTIVE

THE NEW
HOME
COMPANY

BLACKSTONE
EL DORADO HILLS, CA

JZMK
ARCHITECTS

JCB # 13005 11-15-2013 P-21



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



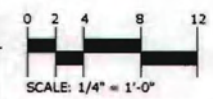
LEFT ELEVATION

FINISH LEGEND

1 STUCCO	5 WOOD POST
2 S - TILE ROOF	6 SHUTTER
3 WOOD BEAM	7 BRICK
4 WOOD RAILING	8 WINDOW SURROUND

THE NEW HOME COMPANY

PLAN 3 - MONTEREY ELEVATIONS
BLACKSTONE
 EL DORADO HILLS, CA



JZMK
 ARCHITECTS
 JOB # 13005 11-15-2013 P-22



PLAN 3 - RURAL ITALIAN PERSPECTIVE

BLACKSTONE
EL DORADO HILLS, CA

THE NEW
HOME
COMPANY

JZMK

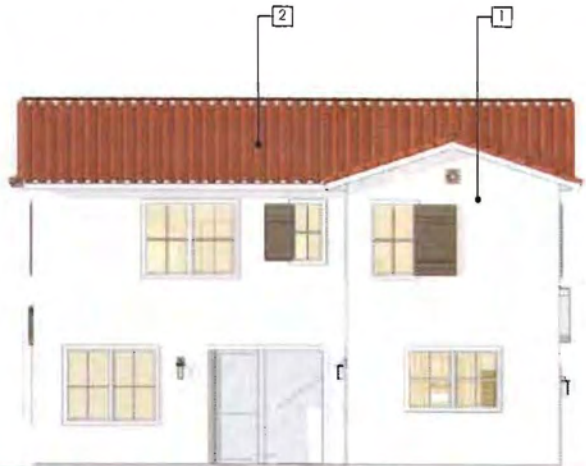
ARCHITECTS
JOB # 13005 11-15-2013 P-23



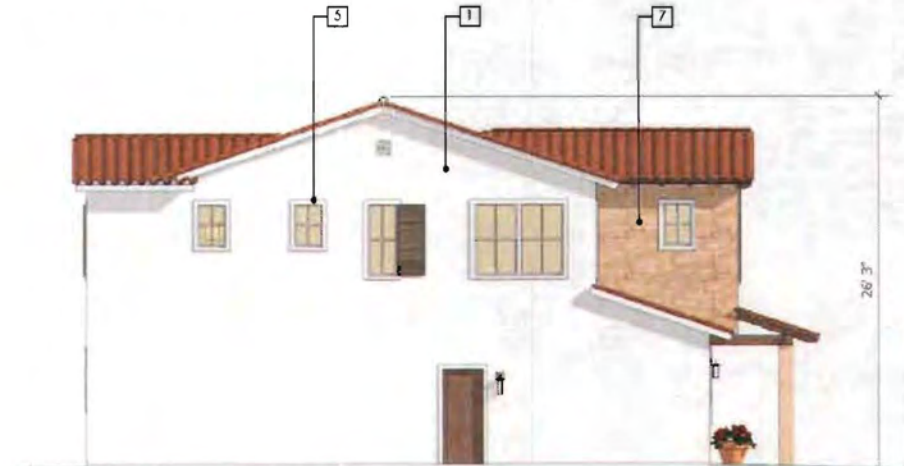
FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



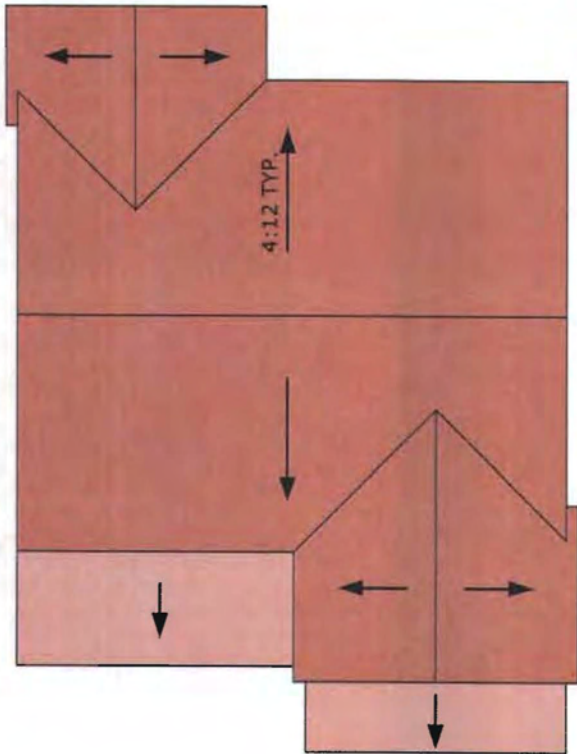
LEFT ELEVATION

FINISH LEGEND

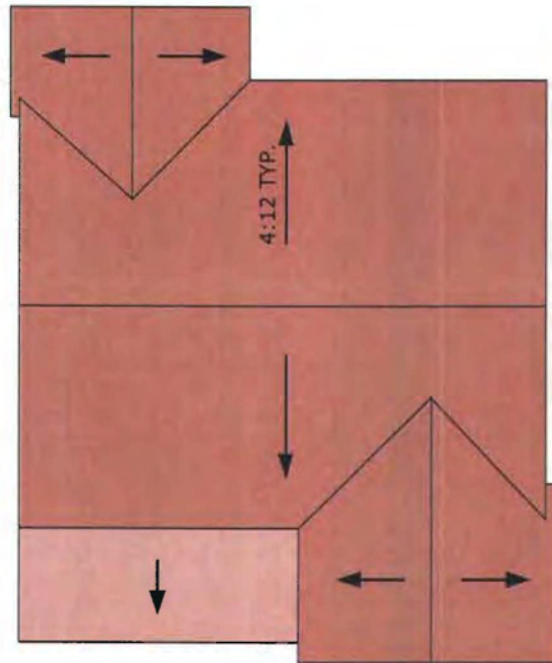
- | | |
|-----------------|-------------------|
| 1 STUCCO | 5 WINDOW SURROUND |
| 2 S - TILE ROOF | 6 WOOD CORBEL |
| 3 WOOD BEAM | 7 STONE VENEER |
| 4 SHUTTER | |

PLAN 3 - RURAL ITALIAN ELEVATIONS

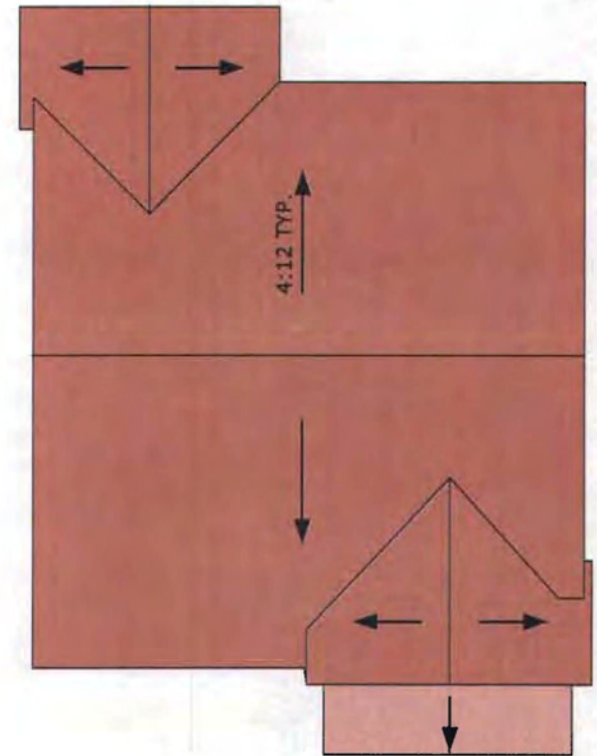
BLACKSTONE
EL DORADO HILLS, CA



ROOF PLAN - RURAL ITALIAN



ROOF PLAN - SPANISH



ROOF PLAN - MONTEREY

PLAN 3 - ROOF PLANS

BLACKSTONE
EL DORADO HILLS, CA



THE NEW
HOME
COMPANY

PERSPECTIVE VIEW

BLACKSTONE
EL DORADO HILLS, CA

JZMK

ARCHITECTS

JOB # 13005 11-15-2013 P-26



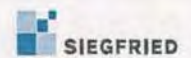
CONCEPTUAL TREE LEGEND

	SMALL STREET TREES Aucuba / Red Maple Ulmus parviflorus / Elm Tree Quercus laevis / Valley Oak	SIZE 13 Galon 13 Galon 13 Galon
	MEDIUM SHADE TREES (ONE PER LOT) Kodolupia alba / Golden Sycamore Laurus nobilis / Sweet Bay Magnolia grandiflora / Southern Magnolia Olea europaea / Olive Tree / Sweet Olive Palmetto chinensis / Chinese Palmetto Thuja americana / American Linden	SIZE 15 Galon 13 Galon 13 Galon 13 Galon 13 Galon 13 Galon
	COLOR ACCENT TREES Cercis canadensis / Eastern Redbud Lagerströmia / Lagerströmia Lagerströmia / Lagerströmia Magnolia / Magnolia	SIZE 13 Galon 13 Galon 13 Galon 13 Galon
	NATIVE / ADAPTED TREES Aster / Aster Aster / Aster Aster / Aster Aster / Aster	SIZE 13 Galon 13 Galon 13 Galon 13 Galon
	COMPACT EVERGREEN TREES Magnolia grandiflora / Southern Magnolia Olea europaea / Olive Tree / Sweet Olive Punica granatum / Pomegranate Carolina Laurel Cherry	SIZE 13 Galon 13 Galon 13 Galon 13 Galon

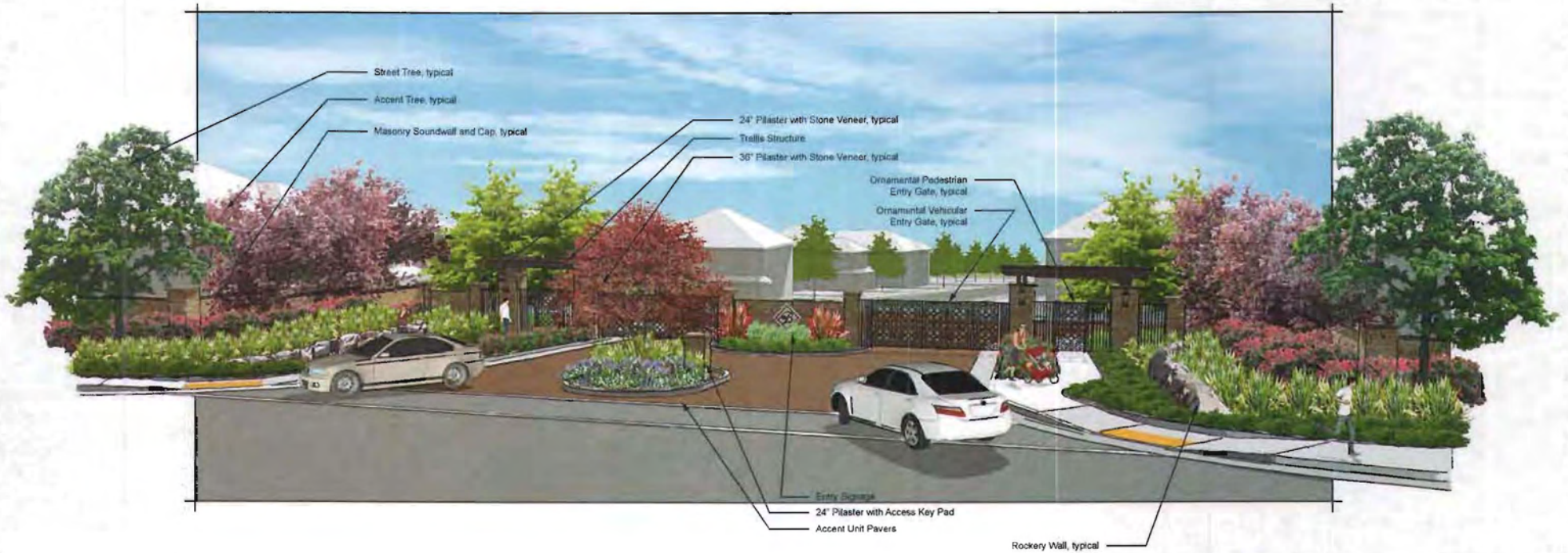
14 MAR 25 AM 11:32
RECEIVED
PLANNING DEPARTMENT

THE NEW
HOME
COMPANY

Blackstone
EL DORADO
Overall Site



REVISED EXHIBIT L



THE NEW
HOME
COMPANY

Blackstone
EL DORADO

Entry Gateway

 SIEGFRIED

REVISED EXHIBIT M

Table 4: Tentative Map Lot Details

Lot No.	Lot Size	Front Setback	Garage Setback	Side Setback	Rear Setback
1	4,779	10	18	4	5
2	4,183	10	18	4	5
3	3,353	10	18	4	5
4	3,394	10	18	4	5
5	4,190	10	18	4	5
6	6,195	10	18	4	5
7	6,135	10	18	4	5
8	5,004	10	18	4	5
9	4,646	10	18	4	5
10	3,450	10	18	4	5
11	3,443	10	18	4	5
12	3,548	10	18	4	5
13	3,443	10	18	4	5
14	4,108	10	18	4	5
15	3,996	10	18	4	5
16	3,443	10	18	4	5
17	3,548	10	18	4	5
18	3,443	10	18	4	5
19	3,450	10	18	4	5
20	4,118	10	18	4	5
21	3,732	10	18	4	5
22	3,626	10	18	4	5
23	3,519	10	18	4	5
24	3,904	10	18	4	5
25	3,660	10	18	4	5
26	3,437	10	18	4	5
27	3,545	10	18	4	5
28	3,653	10	18	4	5
29	4,333	10	18	4	5
30	4,679	10	18	4	5
31	3,150	10	18	4	5
32	3,150	10	18	4	5
33	3,150	10	18	4	5
34	3,676	10	18	4	5
35	3,567	10	18	4	5
36	3,150	10	18	4	5
37	3,150	10	18	4	5
38	3,150	10	18	4	5
39	3,150	10	18	4	5
40	3,471	10	18	4	5
41	3,648	10	18	4	5
42	3,429	10	18	4	5
43	3,429	10	18	4	5
44	3,429	10	18	4	5
45	3,429	10	18	4	5
46	4,134	10	18	4	5

Lot No.	Lot Size	Front Setback	Garage Setback	Side Setback	Rear Setback
47	4,130	10	18	4	5
48	3,286	10	18	4	5
49	3,277	10	18	4	5
50	3,277	10	18	4	5
51	3,277	10	18	4	5
52	3,506	10	18	4	5
53	5,021	10	18	4	5
54	6,000	10	18	4	5
55	5,893	10	18	4	5
56	4,910	10	18	4	5
57	3,927	10	18	4	5
58	3,240	10	18	4	5
59	3,150	10	18	4	5
60	3,150	10	18	4	5
61	3,377	10	18	4	5
62	3,910	10	18	4	5
63	3,267	10	18	4	5
64	3,267	10	18	4	5
65	3,267	10	18	4	5
66	3,267	10	18	4	5
67	3,267	10	18	4	5
68	3,267	10	18	4	5
69	3,267	10	18	4	5
70	3,267	10	18	4	5
71	3,267	10	18	4	5
72	3,267	10	18	4	5
A	15,654	P.S.E and Roadway Landscape Easement			
B	7,148	Monument and Landscape Easement			
C	3,764	Drainage, Open Space and Landscape Easement			
D	9,309	Drainage, Open Space and Landscape Easement			
E	1,352	Landscape Easement			
F	1,319	Landscape Easement			
R	113,256	Internal Roadway			