



PLANNING AND BUILDING DEPARTMENT

PLANNING DIVISION

2850 Fairlane Court, Placerville, CA 95667
924 B Emerald Bay Road, South Lake Tahoe, CA 96150
Phone: (530) 621-5355 Email: planning@edcgov.us
<https://www.eldoradocounty.ca.gov/Land-Use/Planning-Services>

RECEIVED

FEB - 5 2025

EL DORADO COUNTY
BUILDING DEPARTMENT

APPLICATION TYPE: Design Review

FILE# DR25-0002

ASSESSOR'S PARCEL NO.(s) 083-383-010, 082-383-011

RECEIVED

PROJECT NAME/REQUEST: (Describe proposed use) Cambridge Plaza,
Facade upgrade and addition of three ornamental towers to existing buildings

FEB 11 2025

APPLICANT/AGENT Agent, Sutton & Associates, Inc., Steve Sutton

EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT

Mailing Address 6130 Freeport Blvd. #100-C

Sacramento

CA 95822

P.O. Box or Street

City

State & Zip

Phone (916) 476-3911

Email: suttonarch@yahoo.com

PROPERTY OWNER Singh Satnam

Mailing Address Cambridge Liquor Store 3960 Cambridge Road

Cameron Park

CA

P.O. Box or Street

City

State & Zip

Phone (530) 391-1352

Email sukhbhangu43@gmail.com

LIST ADDITIONAL PROPERTY OWNERS ON SEPARATE SHEET IF APPLICABLE

ENGINEER/ARCHITECT Sutton & Associates, Inc., Patrice A. Stafford PE

Mailing Address 6130 Freeport Blvd. #100-C

Sacramento

CA

95822

P.O. Box or Street

City

State & Zip

Phone (916) 476-3911

Email pasdesign1@gmail.com, suttonarch@yahoo.com

LOCATION: The property is located on the North side of HWY 50

N/E/W/S

Street or Road

0 feet/miles North

of the intersection with Cambridge Road & Mary Chase Dr.

N/E/W/S

Major Street or Road

in the Cameron Park

area. Property Size:

acreage/square footage

X

Signature of property owner or authorized agent

FOR OFFICE USE ONLY

Date 1-23-2025

Fee 27410.28

Receipt # K58524

Rec'd by JS/Spencer

Census

Zoning CL

GPD C

Supervisor District 2

Sec 4

Twn 9

Rng 9

ACTION BY

PLANNING COMMISSION

ZONING ADMINISTRATOR

PLANNING DIRECTOR

ACTION BY BOARD OF SUPERVISORS

Hearing Date

Approved Denied

Findings and/or conditions attached

Hearing Date

Approved Denied

Findings and/or conditions attached

APPEAL

Approved Denied

X

Executive Secretary

DR25-0002

Revised 07/2024

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**COUNTY OF EL DORADO
CAMPAIGN CONTRIBUTION DISCLOSURE FORM**

RECEIVED
FEB - 5 2025
EL DORADO COUNTY
BUILDING DEPARTMENT

Application or Solicitation Number: _____

Application or Solicitation Title: _____

Was a campaign contribution, regardless of the dollar amount, made to any member of the El Dorado County Board of Supervisors or to any County Agency Officer on or after January 1, 2023, by the applicant, or, if applicable, any of the applicant's proposed subcontractors or the applicant's agent or lobbyist?

Yes _____ No X

If no, please sign and date below.

If yes, please provide the following information:

Applicant's Name: _____

Contributor or Contributor Firm's Name: _____

Contributor or Contributor Firm's Address: _____

Is the Contributor:

- | | | |
|--|-----------|----------|
| <input type="radio"/> The Applicant | Yes _____ | No _____ |
| <input type="radio"/> Subcontractor | Yes _____ | No _____ |
| <input type="radio"/> The Applicant's agent/ or lobbyist | Yes _____ | No _____ |

Note: Under California law as implemented by the Fair Political Practices Commission, campaign contributions made by the Applicant and the Applicant's agent/lobbyist who is representing the Applicant in this application or solicitation must be aggregated together to determine the total campaign contribution made by the Applicant.

Identify the Board of Supervisors Member(s) and County Agency Officer(s) to whom you, your subcontractors, and/or agent/lobbyist made campaign contributions on or after January 1, 2023, the name of the contributor, the dates of contribution(s) and dollar amount of the contribution. Each date must include the exact month, day, and year of the contribution.

Name of Board of Supervisors Member or County Agency Officer: _____

Name of Contributor: _____

Date(s) of Contribution(s): _____

Amount(s): _____

(Please add an additional sheet(s) to identify additional Board Members or County Agency Officer to whom you, your subconsultants, and/or agent/lobbyist made campaign contributions)

By signing below, I certify that the statements made herein are true and correct. I also agree to disclose to the County any future contributions made to Board Members or County Agency Officers by the applicant, or, if applicable, any of the applicant's proposed subcontractors or the applicant's agent or lobbyist after the date of signing this disclosure form, and within 12 months following the approval, renewal, or extension of the requested license, permit, or entitlement to use.

2/3/2025
Date

Print Firm Name if applicable


Signature of Applicant

Singh Satnam
Print Name of Applicant

DR25-0002

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EL DORADO COUNTY BUILDING SAFETY DIVISION

PERMIT APPLICATION SUPPLEMENT (PART 4)

DISCLOSURES & FORMS FOR OWNER-BUILDERS APPLYING FOR CONSTRUCTION PERMITS

ASSESSOR'S PARCEL NUMBER 082-383-011 APPLICATION # _____

IMPORTANT NOTICE TO PROPERTY OWNER

Dear Property Owner:

An application for a building permit has been submitted in your name, listing yourself as the builder of the property improvements specified at:

3960 Cambridge Road	Cameron Park	CA.	95682
Street	City	State	Zip

We are providing you with an Owner-Builder Acknowledgement and Information Verification Form to make you aware of your responsibilities and the possible risks you may incur by having this permit issued in your name as the Owner-Builder. **We will not issue a building permit until you have read, indicated your understanding of each provision, signed and returned this form to our office.** An agent of the owner cannot execute this notice unless you, the property owner, obtain prior approval from El Dorado County Building Safety Division.

1. OWNER'S ACKNOWLEDGEMENT AND VERIFICATION

**Owner-Builder Acknowledgement
And Verification Information**
State of California Health and Safety Code
Section 19825 -19829

DIRECTIONS: Read and initial each statement below to signify you understand or verify this information.

_____ I understand a frequent practice of unlicensed persons is to have the property owner obtain an "Owner-Builder" building permit that erroneously implies that the property owner is providing his or her own labor and material personally. I, as an Owner-Builder, may be held liable and subject to serious financial risk for any injuries sustained by an unlicensed person and his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an Owner-Builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

_____ I understand building permits are not required to be signed by property owners unless they are *responsible* for the construction and are not hiring a licensed Contractor to assume this responsibility.

_____ I understand as an "Owner-Builder", I am the responsible party of record on the permit. I understand that I may protect myself from potential financial risk by hiring a licensed Contractor and having the permit filed in his or her name instead of my own.

_____ I understand Contractors are required by law to be licensed and bonded in California and to list their license numbers on permits and contracts.

_____ I understand if I employ or otherwise engage any persons, other than California licensed Contractors, and the total value of my construction is at least five hundred dollars (\$500), including labor and materials, I may be considered an "employer" under state and federal law.

_____ I understand if I am considered an "employer" under state and federal law, I must register with the state and federal government, withhold payroll taxes, provide workers' compensation disability insurance, and contribute to unemployment compensation for each "employee." I also understand my failure to abide by these laws may subject me to serious financial risk.

_____ I understand under California Contractors' State License Law, an Owner-Builder who builds single-family residential structures, cannot legally build them with the intent to offer them for sale, unless *all* work is performed by licensed subcontractors and the number of structures does not exceed four within any calendar year, or all of the work is performed under the contract with a licensed general building Contractor.

DR25-0002

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PERMIT APPLICATION
DISCLOSURES & FORMS FOR OWNER-BUILDERS APPLYING FOR CONSTRUCTION PERMITS
(PART 4) (PAGE 2 OF 2)

I understand as an Owner-Builder, if I sell the property for which this permit is issued, I may be held liable for any financial or personal injuries sustained by any subsequent owner(s) that result from any latent construction defects in the workmanship or materials.

I understand I may obtain more information regarding my obligations as an "employer" from the Internal Revenue Service, the United States Small Business Administration, the California Department of Benefit Payments, and the California Division of Industrial Accidents. I also understand that I may contact the California Contractors' State License Board (CSLB) at 1-800-321-CSLB (2752) or www.cslb.ca.gov for more information about licensed contractors.

I am aware of and consent to an Owner-Builder building permit applied for in my name, and understand that I am the party legally and financially responsible for proposed construction activity at the site location above.

I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern Owner-Builders as well as employers.

I agree to notify the issuer of this form immediately of any additions, deletions, or changes to any of the information I have provided on this form.

Licensed contractors are regulated by laws designed to protect the public. If you contract with someone who does not have a license, the Contractors' State License Board may be unable to assist you with any financial loss you may sustain as a result of a complaint. Your only remedy against unlicensed Contractors may be in civil court. It is also important for you to understand that if an unlicensed Contractor or employee of that individual or firm is injured while working on your property, you may be held liable for damages. If you obtain a permit as Owner-Builder and wish to hire Contractors, you will be responsible for verifying whether or not those Contractors are properly licensed and the status of their workers' compensation insurance coverage.

Before a building permit can be issued, this form must be completed and signed by the property owner and returned to El Dorado County Building Safety Division. Note: In order to verify the property owner's signature, you will be required to present a driver's license or other government-issued identification at permit issuance.

Property Owner's Signature: _____

Date: 7/29/2024

2. AUTHORIZATION OF AGENT TO ACT ON PROPERTY OWNER'S BEHALF

Note: The property owner must complete the following Authorization Form when designating an agent of the property owner to apply for a construction permit for the Owner-Builder.

Excluding the Notice to Property Owner, the execution of which I understand is my personal responsibility, I hereby authorize the following person(s) to act as my agent, to apply for, sign, and file the documents necessary to obtain an Owner-Builder Permit for my project. Scope of Construction Project (or Description of Work):

Face lift which includes a wainscot, color coating, mansard roofing throughout and 3 new accent towers.

Property Location or Address:	3960 Cambridge Road	Cameron Park	CA.	95682
	Street	City	State	Zip
Name of Authorized Agent:	Steve Sutton	Phone:	916-476-3911	
Address of Authorized Agent:	6130 Freeport Blvd. Suite 100-C	Sacramento	CA.	95822
	Street	City	State	Zip

I declare, under penalty of perjury, that I am the owner of the property listed above at "Project Location or Address" and I personally completed the above information and certify its accuracy. Please Note: In order to verify your signature, you will be required to present a valid driver's license or other government-issued identification at permit issuance.

Property Owner's Signature: _____

Date: 7/29/2024



PLANNING AND BUILDING DEPARTMENT

PLANNING DIVISION

2850 Fairlane Court, Placerville, CA 95667

924 B Emerald Bay Road, South Lake Tahoe, CA 96150

Phone: (530) 621-5355 Email: planning@edcgov.us

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RECEIVED

FEB - 4 2024

EL DORADO COUNTY
BUILDING DEPARTMENT

DESIGN REVIEW

The following items 1 through 9 must be provided with all applications. The remaining items shall be required where applicable. If all the required and applicable information is not provided, the application will be deemed incomplete and will not be accepted. For your convenience, please use the applicant column on the right to be sure you have all the required and applicable information. All plans and maps must be folded to 8½" x 11".

	REQUIRED SUBMITTAL INFORMATION	Applicant	County
1)	Completed and signed application form and Agreement for Payment of Processing Fees form.	✓	✓
2)	Letter of authorization from all property owners authorizing agent to act as applicant, when applicable.	✓	0 ✓
3)	Proof of ownership (Grant Deed) if the property has changed title since the last tax roll.	N/A	✓
4)	A copy of the official Assessor's map, showing the property outlined in red.	✓	✓
5)	An 8 ½" x 11" vicinity map showing the location of the project in relation to major roads, intersections, and town sites.	✓	✓
6)	Completed and signed Environmental Questionnaire form.	✓	0 ✓
7)	Provide the name, mailing address, phone number, and email address of all property owners and their agents.	✓	✓
8)	A record search for archaeological resources shall be conducted through the North Central Information Center located at CSU-Sacramento, 7667 Folsom Blvd., Folsom Hall, Suite 2042, Sacramento, CA 95826, phone number (916) 278-6217, email ncic@csus.edu . Email is preferred. If the record search identifies a need for a field survey, a survey shall be required. A list of Archaeological Consultants and survey requirements is available from the Planning Division. Archaeological surveys shall meet the "Guidelines for Cultural Resource Studies" approved by the Board of Supervisors and available from the Planning Division.	N/A	✓
9)	A traffic impact determination shall be provided utilizing El Dorado County's "Transportation Impact Study (TIS) – Initial Determination Form, located on the Planning Division website under "Applications".		0 ✓
10)	If public sewer or water service is proposed, obtain, and provide a Facilities Improvement Letter if the project is located within the EID service area, or a similar letter if located in another sewer/water district.		✓
11)	If off-site sewer or water facilities are proposed to serve the project, provide four (4) copies of a map showing the location and size of proposed facilities. If ground water is to be used for domestic water, submit a report noting well production data for adjacent parcels, or submit a hydrological report prepared by a geologist noting the potential for water based on the nature of project site geology.		✓
12)	In an accompanying report, provide the following data for area on each proposed parcel which is to be used for sewage disposal:	✓	✓

	a) The percolation rate and location of test on 4.5 acres or smaller.	NA	✓
	b) The depth of soil and location of test.		
	c) The depth of groundwater and location of test.		
	d) The direction and percent of slope of the ground.		
	e) The location, if present, of rivers, streams, springs, areas subject to inundation, rock outcroppings, lava caps, cuts, fills, and easements.		
	f) Identify the area to be used for sewage disposal.		
	g) Such additional data and information as may be required by the Director of Environmental Management to assess the source of potable water, the disposal of sewage and other liquid wastes, the disposal of solid wastes, drainage, and erosion control.		
13)	Preceding parcel map, final map, or record of survey if any exists.		
14)	Preliminary grading, drainage plan, and report. The plan should be of sufficient detail to identify the scope of grading, including quantities, depths of cuts and fills (for roads and driveways where cuts/fills exceed 6 feet and mass pad graded lots), location of existing drainage, proposed modifications, and impacts to downstream facilities. See Section 110.14.200 of the County Grading Ordinance for submittal detail.		
15)	If located within on of the five Ecological Preserve – EP overlay zones (Mitigation Area 0) or in gabbro soils areas (Mitigation Area 1), rare plants may exist on-site. The State Department of Fish and Wildlife will require an on-site biological plant survey to determine the extent and location of rare plants on the project site. Such a survey can only occur from March 15 through August 15 when plants are readily visible. Therefore, if the State Department of Fish and Wildlife requires the plant survey, a substantial delay in the processing of your application could result. To avoid potential delays, you may choose to provide this survey with application submittal. A list of possible Botanical Consultants is available from the Planning Division.		
16)	Name and address of Homeowners' Association, CSA 9 Zone of Benefit, or other road maintenance entity if it exists in the project area.		
17)	A site-specific wetland investigation shall be required on projects with identified wetlands as delineated on the applicable U.S.G.S. Quadrangle and/or by site visit, when proposed improvements will directly impact the wetland (reduce the size of the wetland area) or lie near the wetlands. Available from the Planning Division are the U.S. Army Corps of Engineers requirements for a wetlands delineation study. A list of qualified consultants is also available.		
18)	An acoustical analysis shall be provided whenever a noise-sensitive land use (residences, hospitals, churches, libraries, etc.) are proposed adjacent to a major transportation source, or adjacent or near existing stationary noise sources. Such study shall define the existing and projected noise levels and define how the project will comply with the standards set forth in the General Plan.		
19)	Where potential for special status plant and/or animal habitats are identified on the parcel(s), an on-site biological study shall be required to determine if the site contains special status plant or animal species or natural communities and habitats.	✓	✓

20)	An air quality impact analysis shall be provided utilizing the El Dorado County Air Quality Management District's "Guide to Air Quality Assessment".	N/A	✓
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OAK TREE/OAK WOODLAND REMOVAL

The following supplemental information shall be required if any Oak Woodlands, Individual Native Oak Trees, or Heritage Trees, as defined in Section 130.39.030 (Definitions) will be impacted by the project (i.e., cut down) consistent with Section 130.39.070 (Oak Tree and Oak Woodland Removal Permits – Discretionary Development Projects).

	FORMS AND MAPS REQUIRED	Applicant	County
1)	Completed and signed Oak Resources Code Compliance Certificate.	N/A	✓
2)	Oak Resources Technical Report prepared by a qualified professional consistent with Section 2.5 (Oak Resources Technical Reports) of the Oak Resources Management Plan.	↓	✓
3)	Completed Oak Resources Technical Report Checklist, including supplemental data for impacted Individual Native Oak Trees within Oak Woodlands, as applicable.		
4)	Security deposit for on-site oak tree/oak woodland retention and/or replacement planting (if proposed as part of project mitigation) consistent with Section 130.39.070.F (Security Deposit for On-Site Oak Tree/Oak Woodland Retention) and Section 130.39.070.G (Security Deposit for On-Site Oak Tree/Oak Woodland Replacement Planting).		
5)	Reason and objective for impact to oak trees and/or oak woodlands.		

SITE PLAN REQUIREMENTS

Five copies plus an electronic copy (CD-ROM or other medium) of the site plan detailing what exists on the site at time of application shall be submitted on 24" x 36" sheets or smaller, drawn to scale, and of sufficient size to clearly show all details and required data. All plans must be folded to 8 ½" x 11", plus one 8½" x 11" reduction. No rolled drawings will be accepted. For your convenience, please check the Applicant column on the right to be sure you have all the required submittal information.

	FORMS AND MAPS REQUIRED	Applicant	County
1)	Project name, if applicable.	✓	✓
2)	Name and address of applicant and designed, if applicable.	✓	✓
3)	Date, north arrow, and scale.	✓	
4)	Entire parcel of land showing perimeter with dimensions.	✓	
5)	All roads, alleys, streets, and their names.	✓	
6)	Location of easements, their purpose and width.	✓	✓
7)	All existing and proposed uses (i.e., buildings, driveways, dwellings, utility transmission lines, etc.).	✓	
8)	Parking and loading stalls with dimensions, refer to Zoning Ordinance Chapter 130.35 – Parking and Loading, and the Community Design Standards – Parking and Loading Standards.	✓	

9)	Trash and litter storage or collection areas, and propane tank location(s).	(E)	✓
10)	Total gross square footage of proposed buildings.	(E)	✓
11)	Existing and proposed fences or walls.	✓	✓
12)	Sign locations and sizes, if proposed. Refer to Zoning Ordinance Chapter 130.16 – Signs (Ordinance No. 5025).	✓	✓
13)	Pedestrian walkways, courtyards, etc., if proposed.	(E)	✓
14)	Exterior lighting, if proposed. Refer to Zoning Ordinance Chapter 130.34 and the Community Design Standards – Outdoor Lighting Standards.	N/A	✓
15)	Existing and proposed water, sewer, septic systems, and wells, if applicable.	✓ N/A	✓
16)	Existing and proposed fire hydrants.	✓	✓
17)	Tentative subdivision or parcel map, if applicable.	N/A	✓
18)	Adjacent parcel owner(s) Assessor's Parcel Number, unless this is included on the tentative map.	✓	✓
19)	Public uses (schools, parks, etc.).	N/A	✓
20)	The location, if present, of rock outcroppings, lava caps, drainage courses, lakes, canals, reservoirs, rivers, streams, spring areas subject to inundation and wetlands. Show respective 100-foot and 50-foot septic system setbacks when a septic system is proposed.	↓	✓
21)	Identify areas subject to a 100-year flood on perennial streams or creeks and show high water level (100-year) on map. Where this data is not readily available, January 1997 flood level can be shown if known. Refer to the Federal Emergency Management Agency (FEMA) website.	↓	✓
22)	Note any proposed trails within the project, and where applicable, connection to existing or proposed trail systems.	↓	✓

PRELIMINARY LANDSCAPE PLAN REQUIREMENTS

Required when parking facilities are proposed or otherwise at planner's discretion. Refer to Zoning Ordinance Chapter 130.35. Five copies plus an electronic copy (CD-ROM or other medium), folded to 8½" x 11", plus one 11" x 17" reduction.

	FORMS AND MAPS REQUIRED	Applicant	County
1)	Location, quantity, and a gallon size of proposed plant material. See Zoning Ordinance Chapter 130.33 – Landscaping Standards, and the Community Design Standards – Landscaping and Irrigation Standards.	N/A	✓
2)	Note quantity and type of trees to be removed.	↓	✓
3)	Location, general type (pine, oak, etc.) and size of all existing trees, in those areas that are subject to grading or otherwise may be removed or affected by proposed improvements.	↓	✓
4)	List of both common and botanical names of plant material, use of drought tolerant species is highly recommended. A recommended list of drought tolerant species is available from the Planning Division.	↓	✓

5)	Location of irrigation proposed. NOTE: The final Landscape Plan will ultimately be required to meet the County's Water Conserving Landscape Standards. Copies are available from the Planning Division.	(E)	✓
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PRELIMINARY GRADING AND DRAINAGE PLAN

Required whenever any grading is proposed. Five copies plus an electronic copy (CD-ROM or other medium), folded to 8½" x 11", plus one 11" x 17" reduction.

	FORMS AND MAPS REQUIRED	Applicant	County
1)	Contours or slope data, pursuant to Chapter 110.14 of the County Grading, Erosion, and Sediment Control Ordinance.	N/A	✓
2)	Drainage improvements, culverts, drains, etc.	↓	✓
3)	Limits of cut and fill.	↓	✓

PLAN OF BUILDING ELEVATIONS

Required whenever a new structure or addition is proposed. Five copies plus an electronic copy (CD-ROM or other medium), folded to 8½" x 11", plus one 11" x 17" reduction.

	FORMS AND MAPS REQUIRED	Applicant	County
1)	Building design, elevations of all sides.	✓	✓
2)	Exterior materials, finishes, and colors.	✓	✓
3)	Existing and proposed signs showing location, height, and dimensions. Include sign plan for project with multiple businesses.	✓	✓

The Planning Division reserves the right to required additional project information as provided by Section 15060 of the California Environmental Quality Act, or as required by the General Plan development policies, when such is necessary to complete the environmental assessment.

377118 3960

377120 3950

Cambridge

Steve Sullon

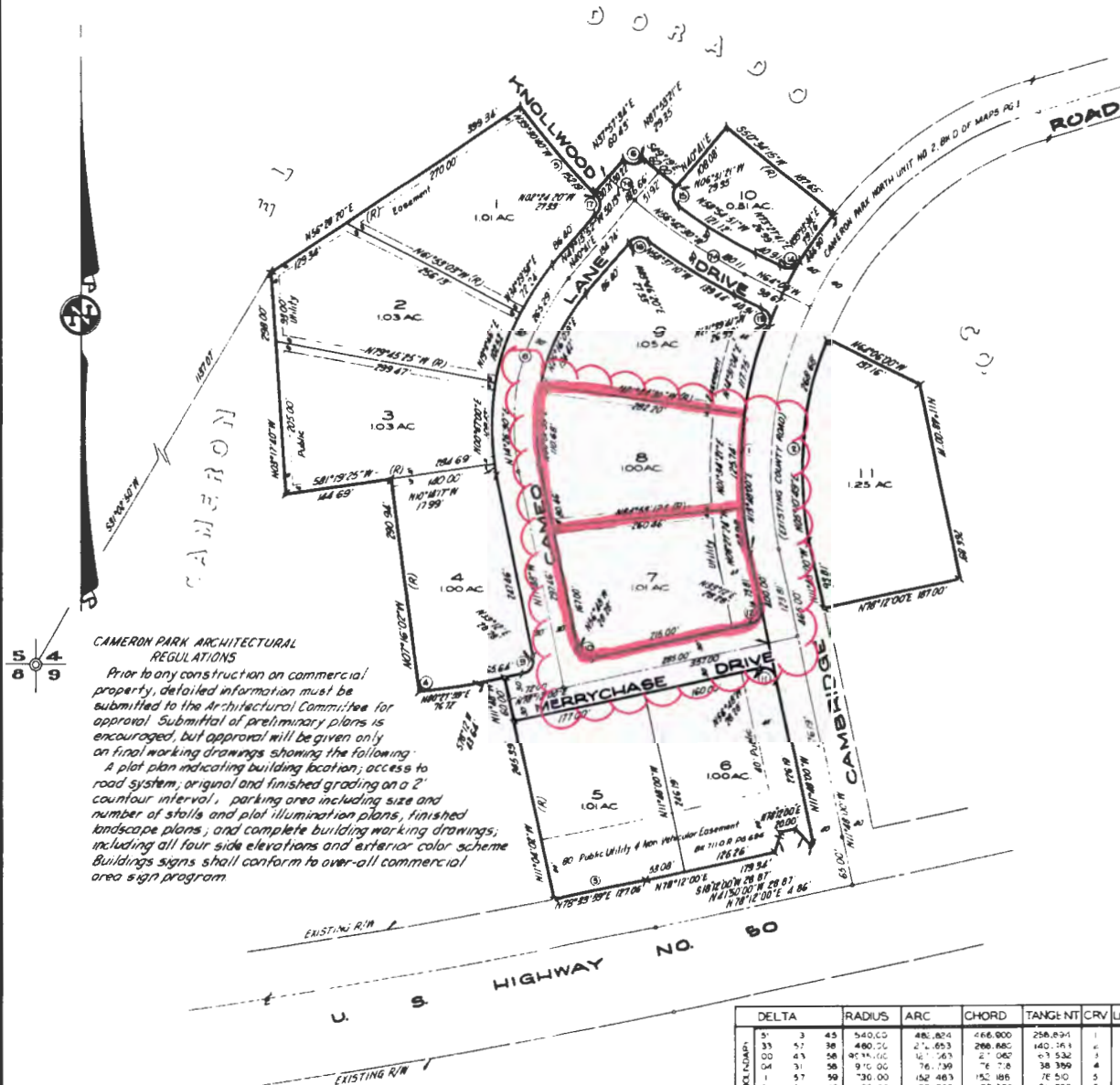
PLAT OF CAMERON PARK NORTH UNIT NO. 4

A PORTION OF SECTION 4, T.9N., R.9E., M.D.M.
EL DORADO COUNTY, CALIFORNIA
APRIL, 1965

SCALE 1"=100'

MORGAN ENGINEERING COMPANY
CIVIL ENGINEERS LAND SURVEYORS
FOLSOM, CALIFORNIA

SHEET 2 OF 2 SHEETS



CAMERON PARK ARCHITECTURAL REGULATIONS

Prior to any construction on commercial property, detailed information must be submitted to the Architectural Committee for approval. Submittal of preliminary plans is encouraged, but approval will be given only on final working drawings showing the following:

A plot plan indicating building location; access to road system; original and finished grading on a 2' contour interval; parking area including size and number of stalls and plot illumination plans; finished landscape plans; and complete building working drawings; including all four side elevations and exterior color scheme. Buildings signs shall conform to over-all commercial area sign program.

NOTES:

THE MERIDIAN OF THIS SURVEY IS IDENTICAL TO THAT OF CAMERON PARK NORTH UNIT NO. 1

ALL DISTANCES ON CURVED LINES ARE CHORD MEASUREMENTS

RADI' SHOWN ARE E RADI' UNLESS NOTED OTHERWISE

ALL STREET CORNERS HAVE A 20' RADIUS UNLESS NOTED OTHERWISE

LEGEND

PUBLIC UTILITY EASEMENT

RADIAL LINE

CURVE NO.

FOUND 3/4" CIP STAMPED "LS2720"

SET 3/4" CIP STAMPED "RCE 13409"

SET 2" CIP STAMPED "RCE 13409"

SET 3/4" CIP STAMPED "RCE 13409" AT ALL LOT CORNERS

DELTA	RADIUS	ARC	CHORD	TANGENT	CRV	LOT
51 3 43	540.00	486.824	466.900	258.834	1	
31 57 38	480.00	426.753	266.685	140.161	2	
00 43 58	914.00	914.000	0	0	3	
31 58 58	914.00	914.000	0	0	4	
1 57 59	730.00	152.463	152.463	76.510	5	
04 24 42	20.00	33.956	29.352	7.662	6	
47 00 00	700.00	180.912	180.912	90.811	7A	
04 06 16	700.00	52.145	50.134	25.081	7B	
52 20 00	300.00	274.802	265.294	147.889	8	
00 00 00	70.00	31.416	29.284	14.708	9	
00 00 00	20.00	31.416	29.284	14.708	10	
00 00 00	20.00	31.416	29.284	14.708	11	
00 00 00	20.00	31.416	29.284	14.708	12	
04 57 38	20.00	29.628	26.992	13.287	13	
47 00 00	700.00	20.628	26.992	13.287	14	
51 24 42	20.00	32.946	29.352	7.662	15	
08 10 39	70.00	10.082	27.326	16.708	16	
08 10 39	70.00	10.082	27.326	16.708	17	
26 4 2	540.00	83.520	62.984	31.548	18	
3 22 8	540.00	26.121	125.740	63.320	19	
12 31 08	540.00	117.986	77.154	59.230	20	
08 24 23	540.00	79.226	79.546	39.685	21	
0 57 38	730.00	136.451	136.451	70.014	22	
0 22 8	670.00	121.263	21.8	60.808	23	
7 11 03	331.70	331.700	12.238	36.338	24	
17 52 22	330.00	102.940	102.940	51.891	25	
16 55 10	330.00	106.868	106.868	54.885	26	
33 1 25	331.70	1.991	1.991	6.938	27	
23 39 18	270.00	11.472	0.682	46.541	28	
26 49 42	270.00	135.800	14.422	69.395	29	

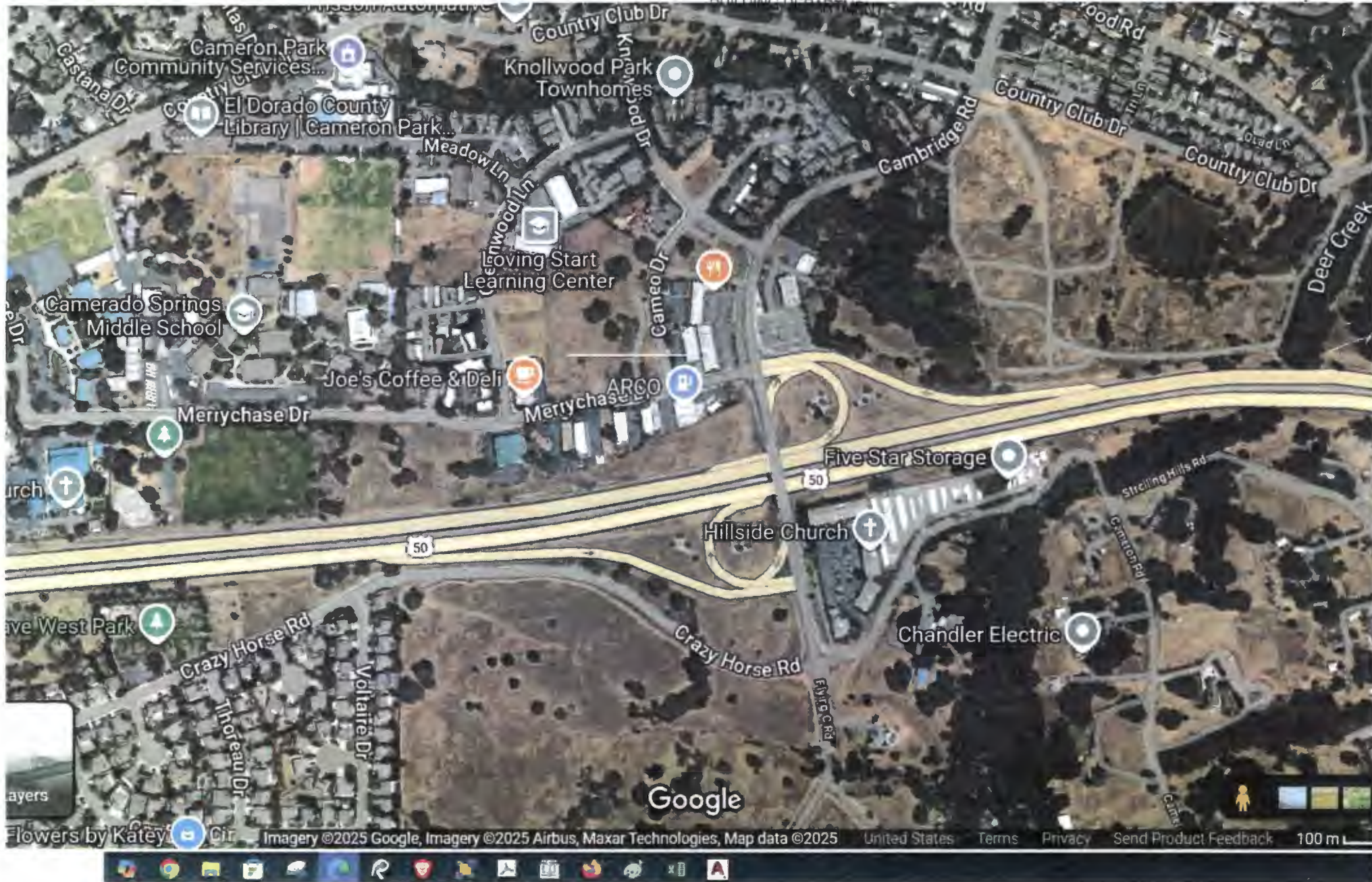
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FEB - 5 2025

EL DORADO COUNTY
BUILDING DEPARTMENT



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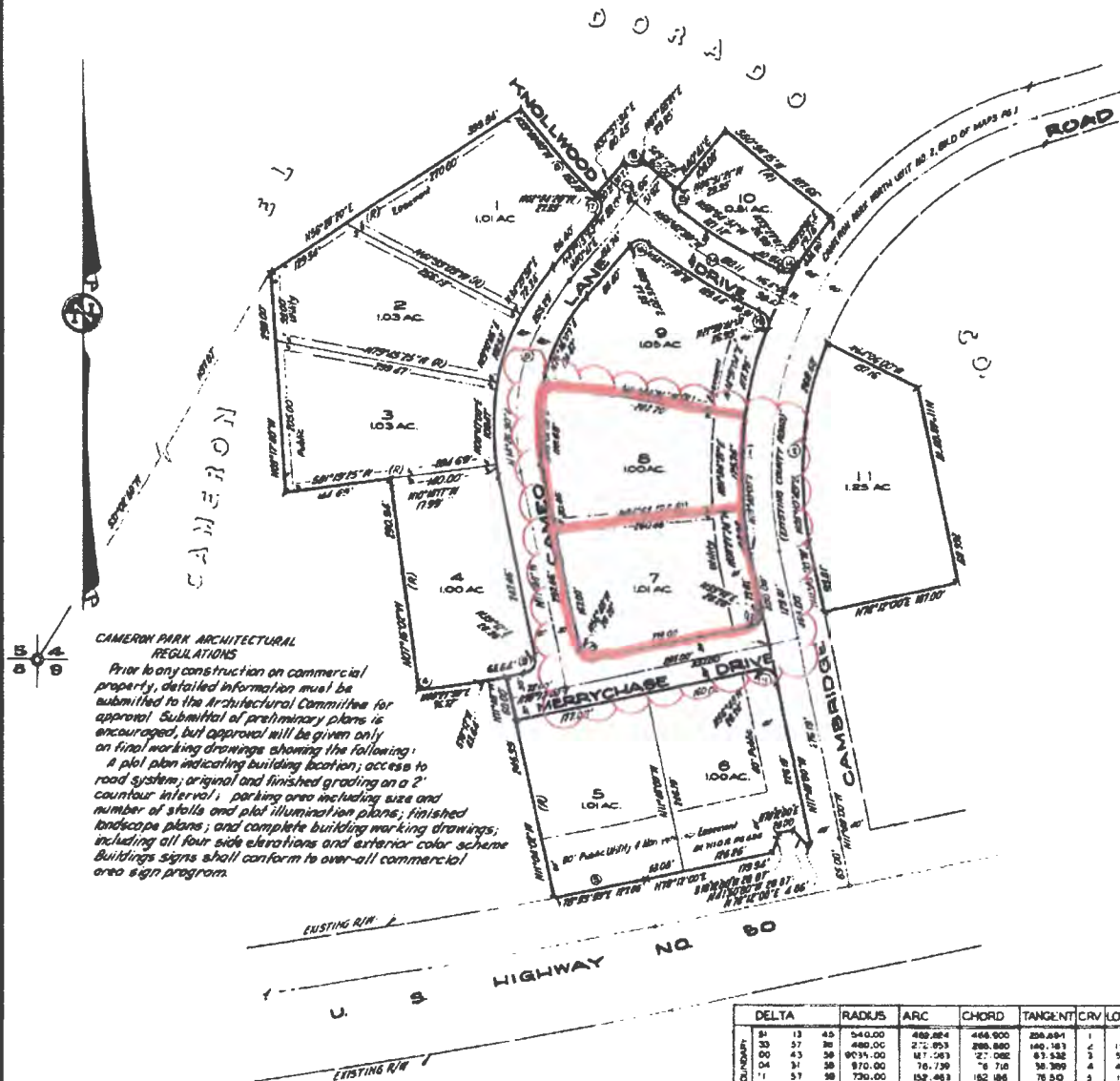
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PLAT OF CAMERON PARK NORTH UNIT NO. 4

A PORTION OF SECTION 4, T.9N., R.9E., M.D.M.
EL DORADO COUNTY, CALIFORNIA
APRIL, 1965

SCALE 1"=100'

MORGAN ENGINEERING COMPANY
CIVIL ENGINEERS LAND SURVEYORS
FOLSOM, CALIFORNIA
SHEET 1 OF 2 SHEETS



CAMERON PARK ARCHITECTURAL REGULATIONS

Prior to any construction on commercial property, detailed information must be submitted to the Architectural Committee for approval. Submission of preliminary plans is encouraged, but approval will be given only on final working drawings showing the following:
a plot plan indicating building location; access to road system; original and finished grading on a 2' contour interval; parking area including size and number of stalls and plot illumination plans; finished landscape plans; and complete building working drawings, including all four side elevations and exterior color scheme. Buildings signs shall conform to over-all commercial area sign program.

NOTES:

THE MERIDIAN OF THIS SURVEY IS IDENTICAL TO THAT OF CAMERON PARK NORTH UNIT NO. 1

ALL DISTANCES ON CURVED LINES ARE CHORD MEASUREMENTS

RADI: SHOWN ARE 4E RADI: UNLESS NOTED OTHERWISE

ALL STREET CORNERS HAVE A 20' RADIUS UNLESS NOTED OTHERWISE

LEGEND

PUBLIC UTILITY EASEMENT.....
RADIAL LINE (R)
CURVE NO. (C)
FOUND 3/4" C.I.P. STAMPED "LS 2720"
SET 3/4" C.I.P. STAMPED "RCE 13409"
SET 2" C.I.P. STAMPED "RCE 13409"
SET 3/4" C.I.P. STAMPED "RCE 13409"
AT ALL LOT CORNERS

DELTA	RADIUS	ARC	CHORD	TANGENT	CRV	LOT
81 13 45	540.00	488.884	444.900	224.894	1	11
33 57 30	480.00	271.953	286.880	140.183	2	11
00 43 58	9035.00	171.063	27.082	63.532	3	5
04 31 58	870.00	76.719	78.710	38.309	4	4
11 57 58	730.00	152.463	152.466	76.50	5	1
04 24 42	20.00	38.996	28.332	21.602	6	
4 47 00	700.00	160.402	160.412	80.411	7	
04 08 16	700.00	92.165	90.174	25.083	8	
32 20 00	300.00	274.802	265.284	147.849	9	
00 00 00	30.00	31.416	28.284	20.000	10	4
00 00 00	20.00	31.416	28.284	20.000	11	7
00 00 00	20.00	31.416	28.284	20.000	12	6
00 00 00	20.00	31.416	28.284	20.000	13	7
04 57 30	20.00	29.628	28.997	18.287	14	9
04 52 30	20.00	28.689	26.987	16.787	15	10
01 24 42	30.00	12.916	28.387	2.802	16	10
08 10 30	20.00	10.082	27.376	18.708	17	9
08 10 30	20.00	10.082	27.376	18.708	18	9
08 12 12	540.00	63.020	62.984	31.548	19	10
13 22 08	540.00	26.021	125.740	63.300	20	10
12 31 08	540.00	17.986	117.754	59.230	21	9
08 24 23	540.00	70.226	70.58	35.550	22	10
0 57 30	730.00	139.651	139.438	70.079	23	9
10 22 18	870.00	121.203	121.10	60.608	24	10
12 31 03	330.00	72.346	72.338	36.338	25	1
17 52 32	330.00	123.940	123.922	61.961	26	2
16 55 10	330.00	106.474	106.474	54.965	27	1
03 07 25	330.00	17.901	17.988	9.998	28	4
23 29 10	270.00	11.472	110.469	56.941	29	8
28 49 42	270.00	125.950	124.422	66.95	30	9

PVDF Cool Coatings

Product Specifications



a NUCOR company

Solar Reflectance, Thermal Emittance and Solar Reflectance Index (SRI)

Solar Reflectance

To be considered "cool," products must have a Solar Reflectance of at least .25. Solar Reflectance is the fraction of the total solar energy that is reflected away from a surface.

Thermal Emittance

Thermal Emittance is the measure of a panel's ability to release heat that it has absorbed.

Solar Reflectance Index (SRI)

Put Solar Reflectance and Thermal Emittance together and you get the Solar Reflectance Index (SRI). SRI is calculated by using the values of solar reflectance, thermal emittance and a medium wind coefficient. The higher the SRI value, the lower its surface temperature and consequently, the heat gain into the building. Metal roofs coated with pigmented PVDF resin achieve an SRI of 26-88, depending on the color.

Conventional roof surfaces have low reflectance (0.05 to 0.25) and high thermal emittance (typically over .85). Roof panels with both high reflectance and high emittance can reduce the surface temperature by as much as 30-50% based on color and geographic location, which will result in a reduced heat gain to the building, therefore reducing the energy demand.

GALVALUME® is a registered trademark of BIEC International Inc., and some of its licensed producers.

PVDF COOL PANEL COLORS

PVDF Cool Color	Initial Solar Reflectance (IR)	Initial Thermal Emittance	Solar Reflectance Index (SRI)
Regal White	.72	0.85	88
Reflective White	.63	0.86	76
Warm White	.63	0.86	76
Pearl Gray	.47	0.86	54
Desert Sand	.57	0.86	67
Surrey Beige	.50	0.85	56
Slate Gray	.37	0.85	40
Royal Blue	.30	0.85	30
Terra Cotta	.36	0.85	38
Cypress Green	.31	0.85	31
Dark Bronze	.32	0.86	33
Brite Red	.38	0.84	40
Charcoal	.32	0.86	34
Midnight Black	.27	0.85	26
Galvalume®	.77	0.08	72

PVDF COOL TECHNICAL INFORMATION

Test	Test Methods	Performance
Dry Film Thickness	ASTM D1400	0.15 - 0.30 mil primer 0.70 - 0.90 mil topcoat
Gloss	ASTM D523 @ 60°	25 - 35
Solar Reflectance	ASTM E903 Steep Slope: Low Slope:	>25% Initial >15% after 3 years >65% Initial >50% after 3 years
Emissivity	ASTM C1371, ASTM E408	0.80 (80%) min.
Pencil Hardness	ASTM D3363	F-2H
Flexibility	T-Bend, ASTM D4145	0 - 2 T-Bend; No pick off
Adhesion	ASTM D3359	No adhesion loss
Reverse Impact	ASTM D2794	No cracking or adhesion loss
Abrasion, Falling Sand	ASTM D968	65 - 85 l/mil
Mortar Resistance	ASTM C267	No effect
Detergent Resistance	ASTM D2248 3% detergent @ 100°F (72 hrs.)	No Effect
Acid Resistance	ASTM D1308 10% muriatic acid - 24 hrs. 20% sulfuric acid - 18 hrs.	No effect No effect
Acid Rain Test	Kesternich SO ₂ , DIN 50018	15 cycles min. No objectionable color change
Alkali Resistance	ASTM D1308 10% , 25% NaOH, 1 hr.	No effect
Salt Spray Resistance	ASTM B117 5% salt fog @ 95°F	None or few #8 blisters; Max. average 1/8" Scribe creep Passes 1000 hrs.
Humidity Resistance	ASTM D714, ASTM D2247 100% relative humidity @ 95°F	Passes 1500 hrs. No #8 blisters
Exterior Exposure	ASTM D2244, ASTM D 4214 10 yrs. @ 45°F, South Florida	Max. 5 fade Max. 8 chalk

PVDF Cool Coatings

PVDF utilizes a two-coat system featuring fade resistant color, incredible durability, and environmentally-friendly "cool" technology.



NUCOR company

Regal White *

IR .72 SRI 88

Reflective White **

IR .63 SRI 76

Warm White *

IR .63 SRI 76



Pearl Gray **

IR .47 SRI 54



Desert Sand **

IR .57 SRI 67



Surrey Beige *

IR .50 SRI 56



Slate Gray *

IR .37 SRI 40



Royal Blue *

IR .30 SRI 30



Terra Cotta *

IR .36 SRI 38



Cypress Green *

IR .31 SRI 34



Dark Bronze *

IR .32 SRI 33



Brite Red **

IR .38 SRI 40



Charcoal **

IR .32 SRI 34



Midnight Black **

IR .27 SRI 26



Galvalume **

IR .77 SRI 72

* Non-Stock Color: Extended lead times may apply. * The Galvalume coating process is likely to result in variances in spangle (size, number, and reflection) from coil to coil which may result in noticeable shade variations. Galvalume is also subject to variable weathering and may appear to have different shades due to weathering characteristics. These shade variations are not cause for rejection. * ENERGY STAR® Qualified Color. All standard PVDF colors have a 35-year finish warranty. Colors shown closely approximate actual coating colors. These colors utilize Cool Coating Technology. The term "TBK" on the Order Document refers to "To Be Selected" from standard PVDF colors as shown on this chart. Please note that PVDF is a slight upcharge over SP.



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Colonial Collection - Information Sheet



Pictured: Tumbled Castle Gate | Grey mortar

Red clay variations as a base with pops of burnt mocha, white wash, and earthy contrasts.

Available Sizes	2 1/4" Modular
Available Textures	Tumbled
ASTM Specifications	C1088 *special shapes, corners, trim pieces & loose brick slabs.
ASTM Type	TBS - grade SW
ASTM Dimensions	2 1/4" x 7 5/8" x 1 1/2"
Comprehensive Strength	3,000 lbs psi
System Designs	Residential: TMS 402 ACI 530 ACSE 5 Commercial: TMS 402
Cleaning Recommendations	See BIA Technical Note 20 "Cleaning Brick"

Available Formats



Colors illustrated above are fairly represented, but may be depicted differently through photography limitations.

Nucor Buildings Group Loc Seam Standing Seam Roof Panel

The Loc Seam Standing Seam Roof System is a vertical rib, flat profile, raised seam metal roof designed to float to accommodate thermal expansion and contraction. Available in both 90 degree and 360 degree mechanically rolled seams, it has been extensively tested to ensure the highest level of performance for weathertightness and structural integrity.



Panel Credentials

- ASTM E108 Test Methods for Fire Tests of Roof Coverings – Class A
- ASTM E1592 Test Method for Wind Uplift Performance of Sheet Metal Roofing Systems
- ASTM E1646 Test Method for Water Penetration of Exterior Roof Systems
- ASTM E1680 Test Method for Rate of Air Leakage Through Exterior Roof Systems
- ASTM E2140 Test Method for Water Penetration of Metal Roof Panel Systems by Static Water Head
- US Army Corps of Engineers – Approved per CEGS 07416 Test Specification
- FM 4471 Class 1 Approval
- UL 580 Class 90 Approval (Const. No's 331, 332 and 336)
- State of Florida Product Approval
- Miami-Dade County Approved
- SREF (SSTD-97) Impact Testing

Panel Specifications

Gage	Thickness (in.)	Yield (ksi)	Tensile (ksi)	Panel Wt. (psf)	b (Gross) (in ²)	TOP IN COMPRESSION		BOTTOM IN COMPRESSION	
						S _x (eff.) (in ³)	M _x (kip-in)	S _x (eff.) (in ³)	M _x (kip-in)
90 seam	0.0225	50	65	1.26	0.1673	0.0986	2.9535	0.0806	1.5285
360 seam	0.0225	50	65	1.26	0.1470	0.0783	2.3453	0.0555	1.3868

Panel Capacity (psf)

SPAN (ft.)	90 SEAM - 24 GAGE		360 SEAM - 24 GAGE	
	Gravity	Uplift	Gravity	Uplift
2.0	290	75	275	115
2.5	192	68	179	97
3.0	135	63	126	87
3.5	101	59	93	77
4.0	78	54	71	68
4.5	62	50	56	58
5.0	50	45	46	48
5.27	45	43	41	42

NOTES

1. Section properties were calculated in accordance with AISI S100/CSA S136, 2016 Edition.
2. Panels were checked for bending, shear, combined bending and shear, and deflection.
3. Deflection is limited to Span/60.
4. Uplift loads shown are achieved using the standard panel clip and either the Loc Seam 90 or Loc Seam 360 degree seaming profile noted.
5. Uplift loads shown do not include increases in wind Zones 2 and 3 as allowed by AISI S100.
6. Thermal load has not been considered.
7. Capacities are based on a 3-span condition with equal length spans.
8. "Gravity" load is applied inward on the outer surface towards supports.
9. "Uplift" load is applied outward on the inner surface away from panel supports.

RECEIVED

FEB - 5 2025

EL DORADO COUNTY
BUILDING DEPARTMENT

FACADE UPDATE & ADDITION A.P.N.: 1-395-018-0820- 1-555-000-1090

CAMBRIDGE LIQUOR STORE

**3960 CAMBRIDGE RD.
CAMERON PARK, CA.**

SINGH SATNAM

6130 FREEPORT BLVD., SUITE 100-C

SACRAMENTO, CA 95822

PHONE: (916) 476-3911 FAX: (916) 476-3825

CONTACT: STEVE SUTTON

THE CONTRACTOR SHALL PROVIDE
ADEQUATE INFORMATION REGARDING THE
CONSTRUCTION ZONE AND THE OCCUPIED AREAS
AND SHALL VERIFY THE NECESSARY CITY
INSPECTION FOR FIRE, STRUCTURAL AND LIFE
SAFETY ARE APPROVED PRIOR TO DAILY
OCCUPANCY.

APN: 1-395-018-0820- 1-555-000-1090
USE PERMIT:.....EXISTING
ORIGINAL SITE AREA:.....98 AC
NET SITE AREA:.....98 AC
CURRENT ZONING:.....

BASED ON 2021 CALIFORNIA BUILDING CODE, 2021 FIRE
CODE, 2021 CFC, 2021 CFC, 2021 CFC, 2021 CFC, 2021 CFC
CODE, 2021 CA GREEN STANDARD CODE.

BUILDING:.....B-204 S.F.
OCCUPANCY TYPE:.....H OCCUPANCY

BASIC ALLOWABLE AREA CALCULATION

BASIC ALLOWABLE AREA:.....5000 S.F.
ADD FOR SPRAWLERS:.....5000 S.F.
TOTAL ALLOWABLE AREA:.....10000 S.F.

THE DESIGN AREA OF THE BUILDING IS LESS THAN
THE ALLOWABLE AREA FOR THESE
OCCUPANCIES. THEREFORE THE BUILDING AS
DESIGNED IS OK.

PARKING PROVIDED:

ON-SITE:.....00

DEFERRED PERMITS:

N/A

OPERATIONS DURING CONSTRUCTION
THE CONTRACTOR SHALL PROVIDE ADEQUATE
SEPARATION BETWEEN THE CONSTRUCTION ZONE
AND OCCUPIED AREAS AND SHALL CLARIFY
THAT THE NECESSARY CITY INSPECTION FOR FIRE,
STRUCTURAL AND LIFE SAFETY ARE APPROVED
BEFORE ANY USE OF THE AFFECTED AREA.

PROJECT STATISTICS
SUBMITTED: 10/10/2023 10:00 AM
10 SCALE

PROJECT SUMMARY

THE PROJECT IS LOCATED IN EL DORADO COUNTY
AND INCORPORATES THE ADDITION OF 3 TONNERS TO
THE EXISTING COMMERCIAL BUILDING.

ARCHITECTURAL

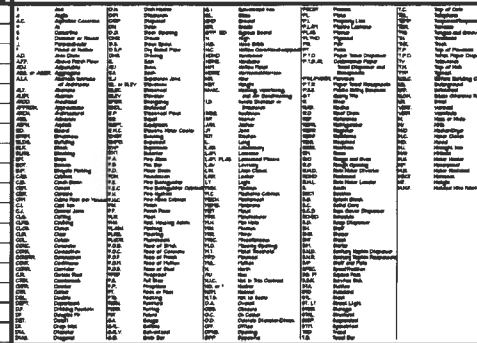
SUTTON & ASSOCIATES, INC.
600 FREEPORT BLVD
SACRAMENTO, CA 95822
PHONE: (916) 476-3911
FAX: (916) 476-3825

PROJECT DESCRIPTION

TEAM LIST



VICINITY MAP



ABBREVIATIONS

WINDOW TYPE	INTERIOR ELEVATION	REFERENCE SECTION
DOOR TYPE	REVISION CLOUD	DETAIL REFERENCE
ROOM NUMBER	STOREFRONT TYPE	STRUCTURAL GRID OR BAY
COLOR		

SYMBOL LEGEND



1/2"=1'-0" 1/4"=1'-0" 1/8"=1'-0"

DATE: 10/10/2023

DRAWN BY: ARL

JOB NO: 2344

SHEET

A0

1 OF 6 SHEETS

COVER SHEET



6130 FREEPORT BLVD SUITE 100 C
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PHONE: (916) 476-3911
suttonarch@yahoo.com

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SINGH SATNAM
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PHONE: (916) 476-3911
CONTACT: STEVE SUTTON

REVISION	BY

DATE: 10/10/2023
DRAWN BY: ARL
JOB NO: 2344

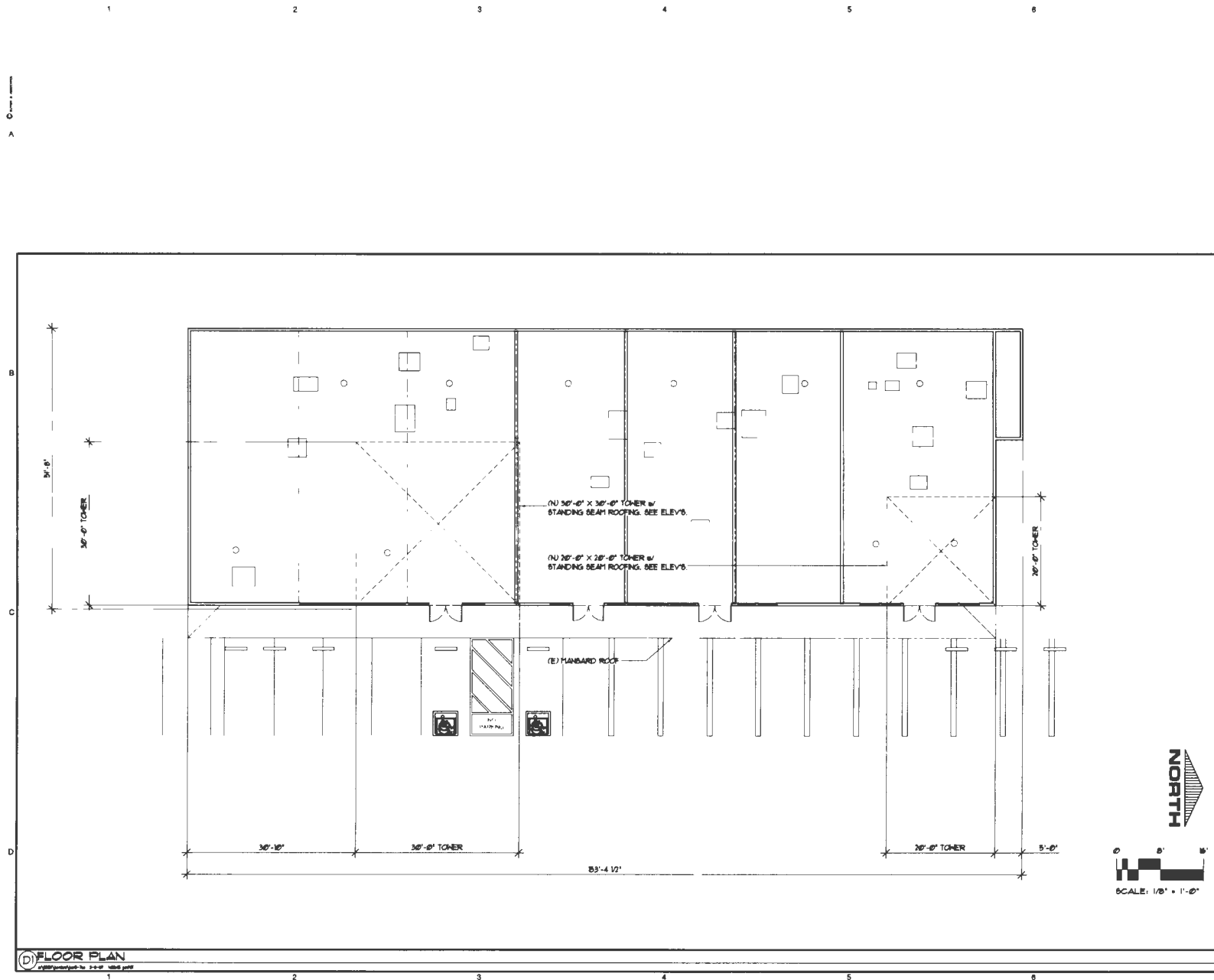
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A0
1 OF 6 SHEETS

COVER SHEET

DR25-0002

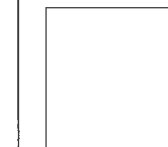
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25-0571 B 18 of 23



SUTTON & ASSOCIATES, INC.
ARCHITECTS

8130 FREEPORT BLVD. SUITE 100 C
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suttonarch@yahoo.com



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FACE FRAME & ADDITION APR. 1978-90-908-150-000-000
CAMBRIDGE LIQUOR STORE
3960 CAMBRIDGE RD.
CAMERON PARK, CA.
SINGH BATNAM
6400 FREEPORT BLVD. SUITE 100-C
SACRAMENTO, CA. 95822
PHONE: (916) 476-3011
CONTACT: STEVE SUTTON

REVISION	BY

DATE: MARCH 4, 2004
DRAWN BY: AJLA
JOB NO: 2344

SHEET
A2
3 OF 6 SHEETS

**BUILDING A
FLOOR PLAN**

SHEET_A2.dwg 4880 3756

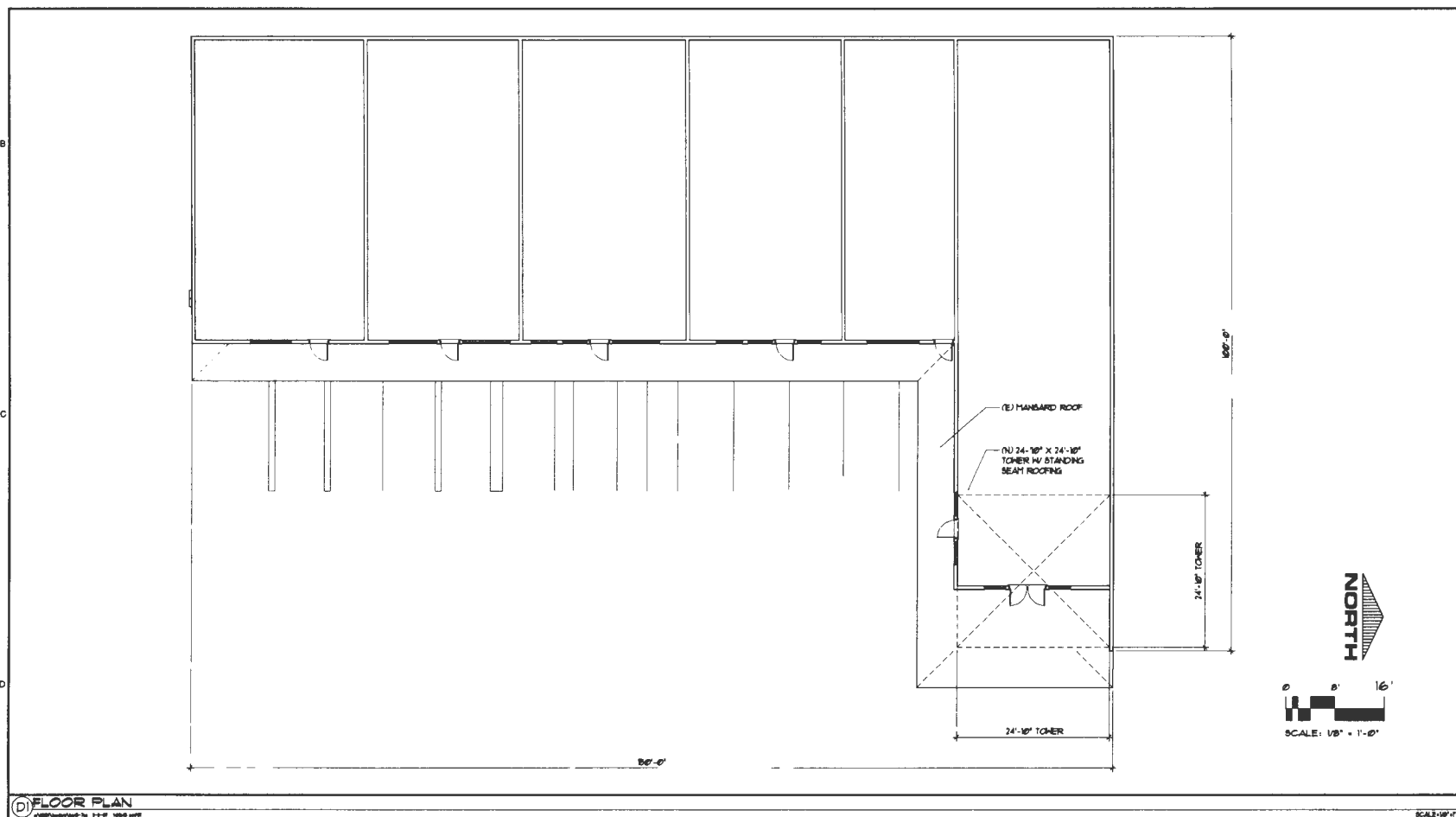
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25-0571 B 20 of 23

DATE: 11/11/11

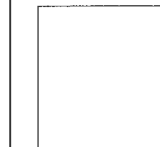
B

C

D



SUTTON & ASSOCIATES, INC.
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 6130 FREEPORT BLVD. SUITE 100 C
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 suttonarch@earthlink.net



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PLEASE UPDATE / ADDITION APPL. 1-25-06-000-100-000-000
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REVISION	BY

DATE: MARCH 4, 2014
 DRAWN BY: ASJA
 JOB NO: 2344

SHEET
A3
 4 of 6 SHEETS

FLOOR PLAN
BUILDING B

DATE: 11/11/11

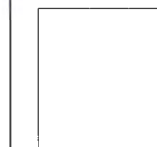
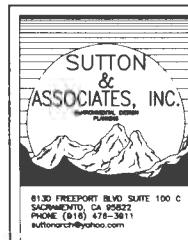
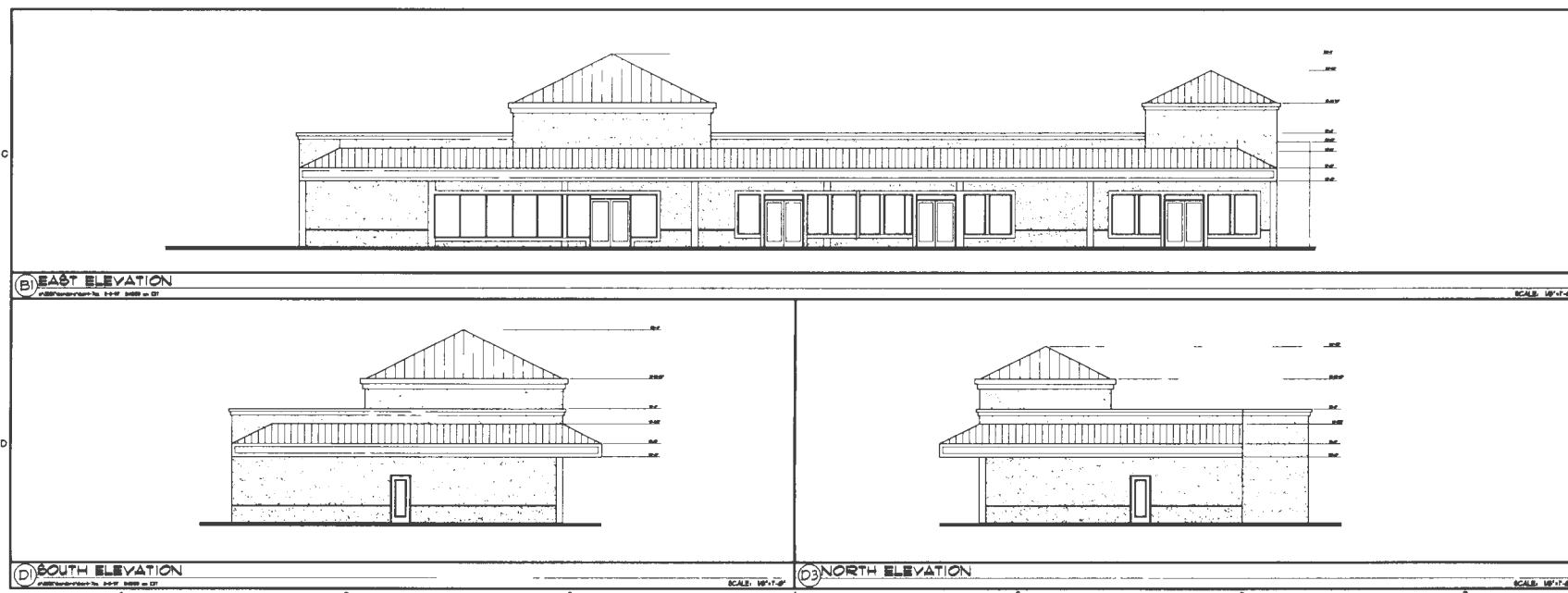
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C

D



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REVISION	BY

DATE: MARCH 4, 2004
DRAWN BY: AJL
JOB NO: 2344

SHEET
A5
5 OF 6 SHEETS

**BUILDING A
ELEVATIONS**

DR25-0002



SUTTON & ASSOCIATES, INC.
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SHING SATYAN
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CONTACT: STEVE SUTTON

REVISION	BY

DATE: JANUARY 10, 2004
DRAWN BY: JDS
JOB NO: 2344

SHEET
A4
OF 15 SHEETS

PROPOSED ELEVATIONS

DR25-0002