

SimonCRE Abbie, LLC  
5111 N. Scottsdale Rd., Suite 200  
Scottsdale, AZ 85250



16 JAN -5 PM 3:26

RECEIVED  
PLANNING DEPARTMENT

January 4, 2016

El Dorado County Planning Commissioners  
2850 Fairlane Court  
Placerville, CA 95667

RE: Georgetown, CA – 12-10-15 Dollar General Project Appeal Hearing Response/Action Letter  
APN's: 0613620110, 0613620210, and 0613620410

Dear El Dorado County Planning Commissioners:

On December 10<sup>th</sup>, 2015 at the hearing for the appeal of the staff-approved Dollar General Store, to be located at **6322 Main St., Georgetown, CA 95634**, the commission members (in the absence of Commissioner Shinault) decided to continue the hearing until the next available commission hearing date to have a vote with the all members of the Commission present and to allow us, as the developer, to address several of the concerns that were brought up at the hearing. In this letter, I will summarize and address those comments.

After much discussion of the look and placement of the building, there were 3 main items that sparked Commissioner comments.

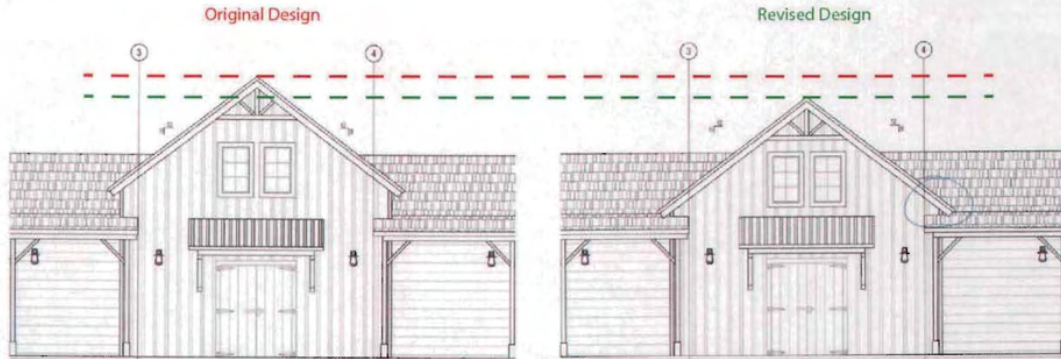
- 1) The height of the architectural tower elements
- 2) The preference for a continuous covered walkway along the Main St. frontage of the building, and
- 3) The placement of the building on the site with regard to Main St. and the location of the trash enclosure.

Additionally, there was a request outside of the scope of this project to assess the need for an additional crosswalk across Orleans St., to the south of the project site which the transportation department agreed to review and report back on at the upcoming hearing.

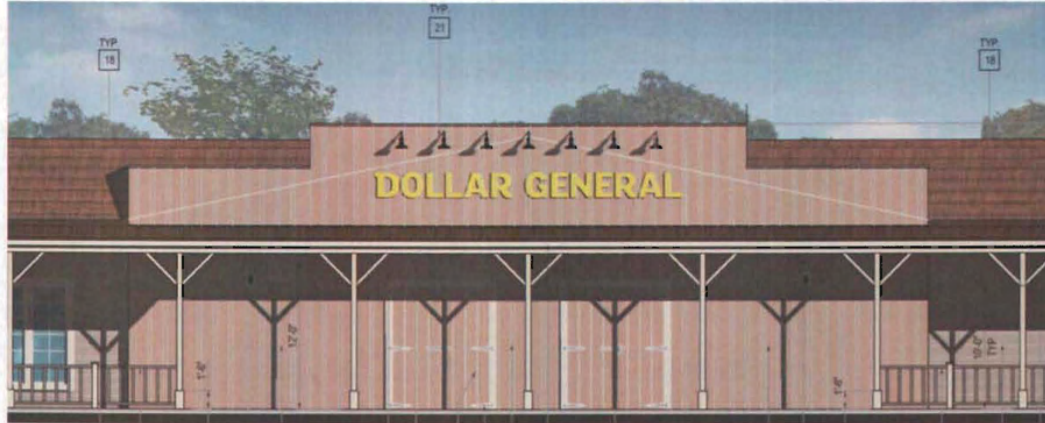
In a continued effort to be good neighbors to the residents of the Georgetown community, SimonCRE (Abbie, LLC) has taken the following actions to address the items discussed at the 12-10-15 Planning Commission Appeal Hearing:

- 1) Height of the Architectural Tower Element – We have lowered the gabled roof elements by 30". As described in an attached letter by the architectural design firm, MPA Architects, lowering the gabled roof elements 30" is the maximum it can be reduced without negatively affecting: the shed roof underneath (as illustrated below), the aesthetics and the Dollar General signage. We have attached a new color rendering of the elevations that include this

feature change for your consideration.



- 2) Preference for a Covered Walkway – We have added this feature as shown in the color elevation rendering mentioned previously, though we (and our architects) strongly believe that it detracts from overall aesthetic appeal of the building (also noted in the letter from MPA Architects).



- 3) Placement of the Building with regards to Main St. and the Trash Enclosure Location – We have not changed the location of the building for the numerous reasons outlined in the letters from our civil (TTG, Corp.) and septic (Salem Engineering) engineers. As described, there are numerous grade change issues with moving the building closer to Main St. in addition to septic field issues with setbacks and other challenges that have been vetted through the Planning Dept. review and MND processes.



As one of the concerns discussed was the location of the trash enclosure and its visibility from Main St., we have provided a color elevation of the trash enclosure showing how we intend to screen it using the landscaping elements on the landscape plan. See below for a snippet of the file and please refer to the attached trash enclosure elevation for more detail.



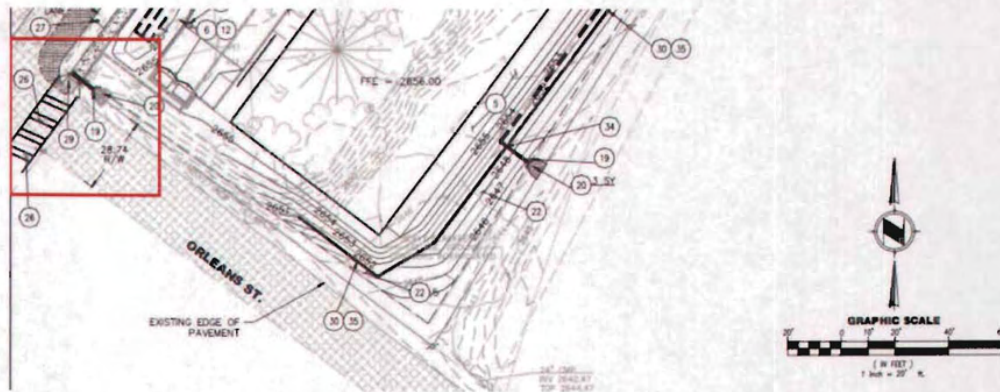
- 4) Adding a Crosswalk across Orleans St. – Though the addition of the crosswalk was not warranted by either the County Transportation Department or the Traffic Engineer’s Traffic Impact Analysis at any time during the past year and a half planning review process, the County Transportation Department has taken the County Commissioners’ concern under reconsideration and is currently looking into a solution to add the crosswalk. **We feel that the cost of this upgrade to the County infrastructure is minimal when weighed against the benefits it will provide to the community as a whole and have decided to add this to our project scope at our sole cost, if the County Transportation Department concludes it is appropriate.** As shown in countless instances, through our consistent community outreach efforts, we believe in responsible development practices to ensure the needs and safety of the residents have always been taken into consideration, and we are happy to provide this benefit to the residents.



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However, as there is a good bit of engineering to be done to the drawings to connect the crosswalk to the proposed sidewalk in the plans (among other considerations), we won't have final revised plans with the crosswalk until we get closer to the upcoming continued hearing date, but I have included an exhibit that shows what is proposed and have included a snippet of that exhibit here below. We will make every effort to provide such revised plans to the County in time to make them available to the public, prior to or at the hearing.



In conclusion, we feel that through our consistent efforts to work with the community, and our continued efforts (as outlined above) to work with the County and the Planning Commission, we have gone above and beyond to address the requests as completely as is possible, while attempting to keep this development as much of a "win-win" for all parties involved. **We respectfully request your support for, and approval of, our project.**

Please feel free to contact us for any further clarification and thank you for your consideration.

Respectfully,

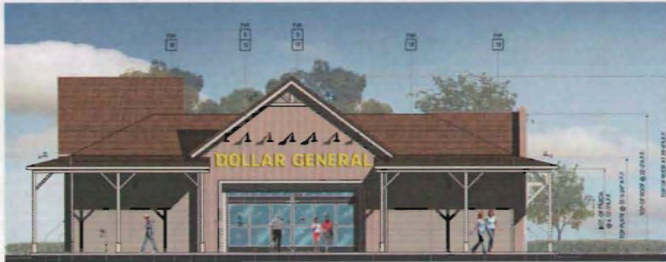
Dan Biswas  
Vice President of Development  
SimonCRE  
480.745.2460  
[dan.biswas@simoncre.com](mailto:dan.biswas@simoncre.com)

cc: Rob Peters and the El Dorado County Planning Department Staff



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RECEIVED  
PLANNING DEPARTMENT



NORTH ELEVATION

A



SOUTH ELEVATION

B



WEST ELEVATION

C

IMPORTANT NOTE:  
ALL EXTERIOR FINISH SCHEDULES TO BE PROVIDED  
AND APPROVED PRIOR TO PERMIT.



EAST ELEVATION

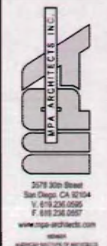
D

EXTERIOR FINISH SCHEDULE

- 1 3/4" WOOD PLANK FLOOR OVER CONCRETE  
COLOR: REPAIR
- 2 INTERIOR BRICK AND MASONRY WORK FINISH BY RENDERING  
COLOR: REPAIR
- 3 HORIZONTAL SLOPE WOOD SHINGLES (2" MINIMUM)  
COLOR: REPAIR
- 4 INTERIOR WALLS: WOOD SHINGLES  
COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE
- 5 ALUMINUM STOREFRONT/SCREEN SYSTEM  
FRAME COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE  
FRAME COLOR: INTERIOR WHITE
- 6 1/2" WOOD SHINGLES  
COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE
- 7 WOOD SHINGLES  
COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE
- 8 1/2" WOOD SHINGLES - 1/2" HIGH LVL  
COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE
- 9 WOOD SHINGLES (2" MINIMUM) (2" CLEAR GABLE)  
FRAME COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE  
BRICK COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE
- 10 1/2" WOOD SHINGLES (2" MINIMUM) (2" CLEAR GABLE)  
FRAME COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE  
BRICK COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE
- 11 1/2" WOOD SHINGLES (2" MINIMUM) (2" CLEAR GABLE)  
FRAME COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE  
BRICK COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE
- 12 1/2" WOOD SHINGLES (2" MINIMUM) (2" CLEAR GABLE)  
FRAME COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE  
BRICK COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE
- 13 1/2" WOOD SHINGLES (2" MINIMUM) (2" CLEAR GABLE)  
FRAME COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE  
BRICK COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE
- 14 1/2" WOOD SHINGLES (2" MINIMUM) (2" CLEAR GABLE)  
FRAME COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE  
BRICK COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE
- 15 1/2" WOOD SHINGLES (2" MINIMUM) (2" CLEAR GABLE)  
FRAME COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE  
BRICK COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE
- 16 1/2" WOOD SHINGLES (2" MINIMUM) (2" CLEAR GABLE)  
FRAME COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE  
BRICK COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE
- 17 1/2" WOOD SHINGLES (2" MINIMUM) (2" CLEAR GABLE)  
FRAME COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE  
BRICK COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE
- 18 1/2" WOOD SHINGLES (2" MINIMUM) (2" CLEAR GABLE)  
FRAME COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE  
BRICK COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE
- 19 1/2" WOOD SHINGLES (2" MINIMUM) (2" CLEAR GABLE)  
FRAME COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE  
BRICK COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE
- 20 1/2" WOOD SHINGLES (2" MINIMUM) (2" CLEAR GABLE)  
FRAME COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE  
BRICK COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE
- 21 1/2" WOOD SHINGLES (2" MINIMUM) (2" CLEAR GABLE)  
FRAME COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE  
BRICK COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE
- 22 1/2" WOOD SHINGLES (2" MINIMUM) (2" CLEAR GABLE)  
FRAME COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE  
BRICK COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE
- 23 1/2" WOOD SHINGLES (2" MINIMUM) (2" CLEAR GABLE)  
FRAME COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE  
BRICK COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE
- 24 1/2" WOOD SHINGLES (2" MINIMUM) (2" CLEAR GABLE)  
FRAME COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE  
BRICK COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE
- 25 1/2" WOOD SHINGLES (2" MINIMUM) (2" CLEAR GABLE)  
FRAME COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE  
BRICK COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE
- 26 1/2" WOOD SHINGLES (2" MINIMUM) (2" CLEAR GABLE)  
FRAME COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE  
BRICK COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE
- 27 1/2" WOOD SHINGLES (2" MINIMUM) (2" CLEAR GABLE)  
FRAME COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE  
BRICK COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE
- 28 1/2" WOOD SHINGLES (2" MINIMUM) (2" CLEAR GABLE)  
FRAME COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE  
BRICK COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE
- 29 1/2" WOOD SHINGLES (2" MINIMUM) (2" CLEAR GABLE)  
FRAME COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE  
BRICK COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE
- 30 1/2" WOOD SHINGLES (2" MINIMUM) (2" CLEAR GABLE)  
FRAME COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE  
BRICK COLOR: DARK CHERRY (BY DESIGN) - INTERIOR WHITE

PAINT COLORS:

- 1 DARK CHERRY - DARK BROWN PLANT
- 2 DARK CHERRY - DARK BROWN PLANT
- 3 DARK CHERRY - DARK BROWN PLANT
- 4 DARK CHERRY - DARK BROWN PLANT
- 5 DARK CHERRY - DARK BROWN PLANT
- 6 DARK CHERRY - DARK BROWN PLANT
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- 20 DARK CHERRY - DARK BROWN PLANT
- 21 DARK CHERRY - DARK BROWN PLANT
- 22 DARK CHERRY - DARK BROWN PLANT
- 23 DARK CHERRY - DARK BROWN PLANT
- 24 DARK CHERRY - DARK BROWN PLANT
- 25 DARK CHERRY - DARK BROWN PLANT
- 26 DARK CHERRY - DARK BROWN PLANT
- 27 DARK CHERRY - DARK BROWN PLANT
- 28 DARK CHERRY - DARK BROWN PLANT
- 29 DARK CHERRY - DARK BROWN PLANT
- 30 DARK CHERRY - DARK BROWN PLANT



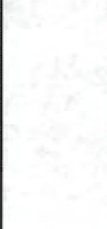
CLIENT:  
Simon CRE Abbin, LLC  
8111 N. SCOTTSDALE AVENUE  
SUITE 200  
SCOTTSDALE, AZ 85260  
Contact: James Robinson  
DIRECTOR OF CONSTRUCTION  
jrobinson@simoncre.com

DATE: 1/16/2018, Office  
1/16/2018, 1:00 PM

PROJECT:  
DOLLAR GENERAL  
SEC MAIN ST. & HARBOSS ST.  
GEORGETOWN, CA 95024

REVISIONS

NO.	REVISION	DATE



SHEET TITLE

DATE	1/16/2018	BY	RS/NTD
DESIGNED		CHECKED	
DRAWN		APPROVED	
SCALE			



Dan Biswas  
SimonCRE  
5111 N Scottsdale Rd. | Suite 200  
Scottsdale, AZ 85250

December 23, 2015

Re: **Dollar General**  
**Main Street at Harkness**  
**Georgetown, CA 95634**

Please accept the following responses to the comments received on the exterior elevations.

**Roof design / form and mass**

**Lowering the gable:**

We have revised the elevations to lower the gable approximately 30". This is the maximum that the gable can be lowered without the fascia conflicting with the shed roof below and adversely affecting the aesthetics. Any additional reduction would also crowd the Dollar General sign

**Extending the shed roof:**

We have revised the elevations to extend the shed across the Northwest elevation. Although I prefer the original design we have incorporated this modification per the request.

**Roof slope:**

The historic guide references "moderate to steep" roof pitches. We could lower the pitch of the gable roofs to 7:12 which would lower the gable approximately 1'-6" however. I do not recommend this revision as the gable would be a different pitch than the main roof and lowering the pitch in conjunction with lowering the gable roof would crowd the Dollar General sign.

**Raising the height of the main building:**

We could raise the height of the main roof about 12" without negatively affecting the design of the shed roof. I do not recommend this revision. Raising the building height would add significant construction costs and negatively affect the proportions, scale and mass of the building.

The historic architect has already reviewed and approved the current design. Any additional revisions effecting the design and proportions may negate his approval and support. Also any revisions will cost time and money in design, engineering, review and construction.

Please contact me if you would like to discuss these revisions further.

Thank you

John Rumsey  
Architect  
MPA Architects, Inc.

CC: Leonardo Dale, MPA Architects, Inc.

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3875 30<sup>th</sup> Street  
San Diego, CA 92104

T: 619.236.0595  
F: 619.236.0557  
www.mpa-architects.com

**HERITAGE**  
ARCHITECTURE & PLANNING



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**MEMORANDUM**

**DATE:** December 29, 2015

**TO:** Mr. Dan Biswas, VP of Development – SimonCRE

**SUBJECT:** El Dorado Design Review  
Dollar General, Georgetown, CA

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Heritage Architecture & Planning has completed a design review for the proposed Dollar General store in Georgetown, California in order to confirm the proposed design's compliance with the Historic Design Guide for El Dorado County.

Heritage previously provided letters of opinion on March 5<sup>th</sup> and July 27<sup>th</sup>, 2015. We have also reviewed the revised exterior elevation drawings (attached for reference) provide via email on December 28<sup>th</sup>, 2015. Changes to the design include lower the three gabled roof elements and providing a continuous porch roof in front of the raised parapet on the northwest façade of the buildings.

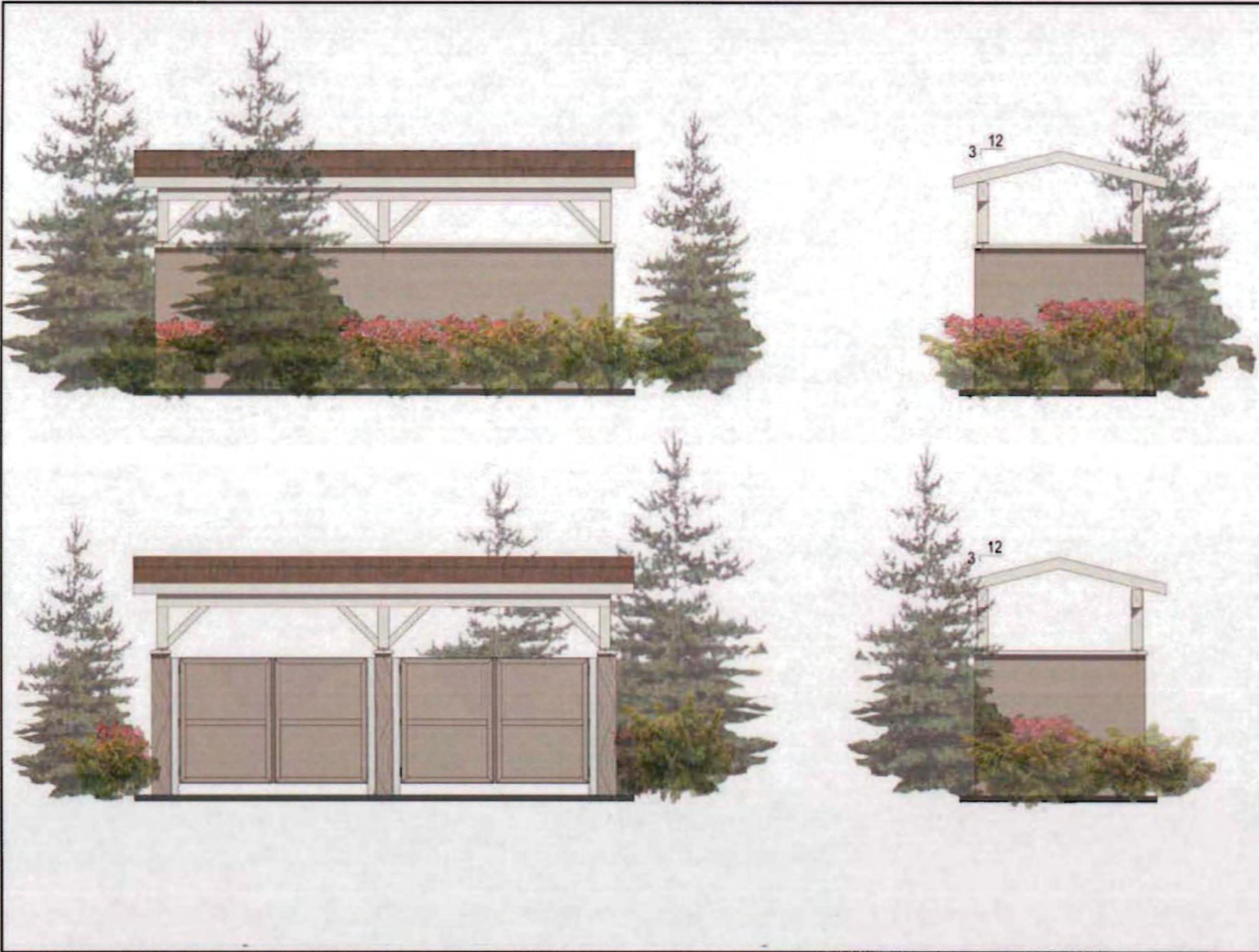
The proposed design changes do not alter our previous conclusion that the plans appear to be in general compliance with the Historic Design Guide for El Dorado County.

S:\HAP Projects\2015\15016 - El Dorado Design Review\data\HAP Memo 12-29-15.doc









  
 2070 8th Street  
 San Diego, CA 92161  
 P 619.228.2825  
 F 619.228.2821  
 www.dollargeneral.com  
 © 2015

CLIENT  
 Simon CRE Assets, LLC  
 3911 N. SCOTTSDALE ROAD  
 SUITE 300  
 SCOTTSDALE, AZ 85269  
 Contact: Janet Allison  
 janet.allison@simoncre.com  
 480.343.7891 ext. 444  
 480.343.7816 fax

PROJECT  
**DOLLAR GENERAL**  
 8 PROPOSED COMMERCIAL DEVELOPMENT FOR  
 SEC MAN ST & HARRNESS ST  
 GEORGETOWN, CA 94624

ARCHITECT  
  
 DATE: 1/15/15

SHEET TITLE  
 SITE DETAILS  
 A1.2



16 JAN -5 PM 3:26

RECEIVED  
PLANNING DEPARTMENT

MEMORANDUM

**DATE:** July 27, 2015

**TO:** Mr. John Rumsey, Architect- MPA Architects, Inc.

**SUBJECT:** El Dorado Design Review  
Dollar General, Georgetown, CA

---

Heritage Architecture & Planning (Heritage) has completed a design review for the proposed Dollar General store in Georgetown, California in order to confirm the proposed design's compliance with the Historic Design Guide for El Dorado County. Heritage provided an initial letter of opinion on March 5, 2015 and we have reviewed and provided comments on several subsequent design packages for the proposed store. The following is a summary of our findings based on the most the recent exterior elevations and sign details provided by MPA Architects, Inc. on July 22<sup>nd</sup> and 23<sup>rd</sup>, 2015 (attached for reference):

**Overall Form, Scale, and Massing:**

The overall form, scale, and massing of the proposed building appears to comply with the Historic Design Guide which indicates that commercial buildings may include one, two, or even three story structures with a variety of forms and details. The proposed Dollar General store consists of a one-story building with two-story cross gables centered on three of the four facades.

**Roof:**

The Historic Design Guide indicates that acceptable roof forms include gabled, hip, and shed roofs with wood shakes, shingles or corrugated iron roofing. Cross gables and false fronts were are also common for Gold Rush-era architecture. The proposed design for the Dollar General store includes a sloped mansard roof surrounding a flat roof with taller cross gables on three façade. While not technically described as an appropriate roof form, the mansard roof concept does provide the illusion of a hipped roof and therefore it appears to be consistent with the intent of the Historic Design Guide. The roofing materials indicated in the Dollar General plans include dimensional composite shingles for the primary roofing and corrugated metal for two small porch overhangs. Dimensional composite shingles may be an acceptable alternative to wood where fire restiveness is a high priority. Care should be exercised to select a color range and material that resembles wood. The proposed corrugated metal roofing with galvanized finish is also acceptable.

**Porches:**

The Historic Design Guide discusses the importance of covered sidewalks and porches. The proposed Dollar General store incorporates wood-framed porches with shed roofs on all sides of the building. The Dollar General plans indicate that the sidewalk will be paved with





concrete. The Historic Design Guide indicates several paving options including wood, brick, stone, and concrete.

**Exterior Wall Materials:**

The Historic Design Guide suggests appropriate exterior wall materials include brick, stone masonry, painted horizontal shiplap siding, painted horizontal clapboard, or unfinished vertical board-and-batten siding. The proposed exterior wall materials at the Dollar General store include horizontal wood shiplap with a paint finish and vertical board-and-batten siding with a clear finish. These materials and finishes are appropriate for the historical period and they comply with the Historic Design Guide.

**Windows:**

The Historic Design Guide requires divided-lite windows. The proposed plans for the Dollar General store include divided light windows which appear to comply with the Historic Design Guide.

**Doors:**

The Historic Design Guide does not provide direction with regard to appropriate door types for new commercial buildings. Since the intent of the Historic Design Guide is to promote new development that is compatible with the original architecture, it can be assumed that any new doors should be similar to doors that would have been used during this period of architecture. The proposed Dollar General store includes three door types:

- One aluminum storefront system with a dark bronze colored frame and tinted glass on the northeast facade.
- Four pairs of wood faux barn doors with black powder-coated metal barn-style hardware.
- Paneled metal slab doors (one single door and one double door) on the northwest and southeast facades.

The aluminum storefront system is not compatible in design, detailing, or materials with doors that would have been used during the historic period of El Dorado County. Historically, the main entry door to a commercial establishment in Georgetown would have likely featured a wood swinging door with adjacent wood-framed windows facing the main street. Such a configuration may not be feasible at the Dollar General store since the main entrance must be located close to the accessible parking which is provided in the adjacent surface parking lot on the north end of the site. Additionally, an automated entry system may be necessary for functional reasons. If an automated entry system is required, it should be located (as it has been in the proposed plans) on a secondary elevation so it is less visible from the public right-of-way. The proposed plan also indicated that the aluminum entry system will be set back from the building façade approximately 4-feet and the aluminum will have a dark finish. Given these factors, we feel that the proposed entry system is acceptable since it does not substantially detract from the character of the historic setting.

The wood faux barn doors appear to be compatible with doors that would have been used during this period of architecture. Appropriate barn door hardware could include a sliding door track and hanger or heavy-gauge strap hinges.



The painted paneled metal doors match the basic appearance of paneled wood doors that were common during the historical period. Although period doors would not have been metal, we feel that the profile and period-appropriate paint color together with the inherent durability of metal instead of wood meet the basic intent of the Historic Design Guide.

**Exterior Signage:**

MPA Architects, Inc. has provided documentation indicating that the proposed building and free-standing signage have been reviewed and approved by the County. The County has indicated that they approve faux wood signage for the building sign and a free-standing wooden monument sign. As noted on the details provided by MPA Architects, Inc. all signage will be externally illuminated.

**Exterior Lighting:**

The exterior elevations indicate six wall mounted lantern-style light fixtures flanking the main entrance and false entries. The Historic Design Guide does not offer any specific requirements on exterior lighting, but since the fixtures are attached to the building façade it is important to select fixtures that are compatible with historical period. Early fixtures would likely have included oil-burning lanterns. Therefore, a lantern-style fixture would be appropriate for the historical period.

**Exterior Colors:**

The Historic Design Guide indicates that exterior horizontal siding was frequently painted white, gray, red oxide, or subtle yellow while vertical board-and-batten siding would have been left unpainted. There are no specific recommendations in the Historic Design Guide regarding trim or accent colors. However, a period-appropriate color scheme can be selected using popular color schemes from other Gold Rush era buildings. Architecture from this era frequently featured white or cream-colored trim and window sashes were generally painted a darker color to provide the illusion of a single large pane of glass.

The plans note the following exterior color palette:

- Horizontal Siding: Dunn Edwards DE 6221 – Flintstone.
- All Exterior Trim and Paneled Doors: Dunn Edwards DEW351 – Antique White.
- Window Sashes: Dunn Edwards DE 6021 – Outer Boundary (Note: as noted above the window frames and trim will be Antique White).
- Vertical Siding and Faux Barn Doors: Clear sealer (flat), natural finish.
- Corrugated Metal Roofing: Natural galvanized metal (no paint).

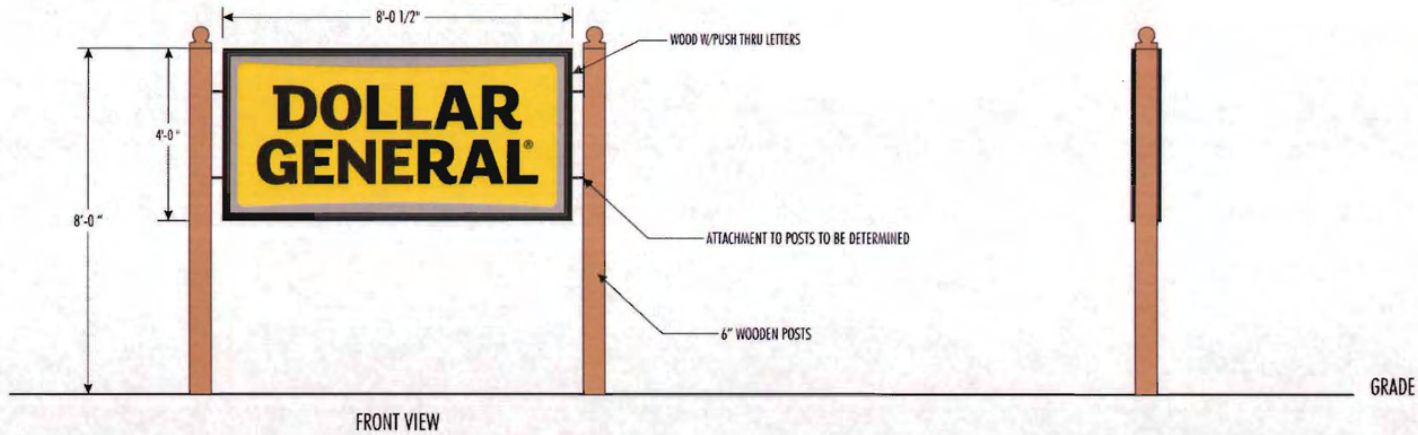
The selected color palette is appropriate for the historical period.

**Conclusion:**

The proposed design provided by MPA Architects, Inc. (attached for reference) appears to be in general compliance with the Historic Design Guide for El Dorado County.



EXTERNALLY ILLUMINATED WITH LIGHT SHINING ON BOTH SIDES OF WOODEN SIGN



AS INSTALLED

**SignResource**  
IDENTITY GROUP  
6135 District Blvd • Menlo Park, CA 94027  
800-423-4283 • Fax 323-540-7143  
Website: www.signresource.com

**REVISION HISTORY:**

REV	DATE	REVISIONS BY	APPROVED BY
B	03/16/15	AH	BS
CHANGED TO BETWEEN POSTS			
C	04/13/15	AH	BS
CHANGED TO PVC AND UPDATED POST SIZE			
D	05/27/15	AH	BS
CHANGED TO WOOD SIGN			

**PARTS LIST:**

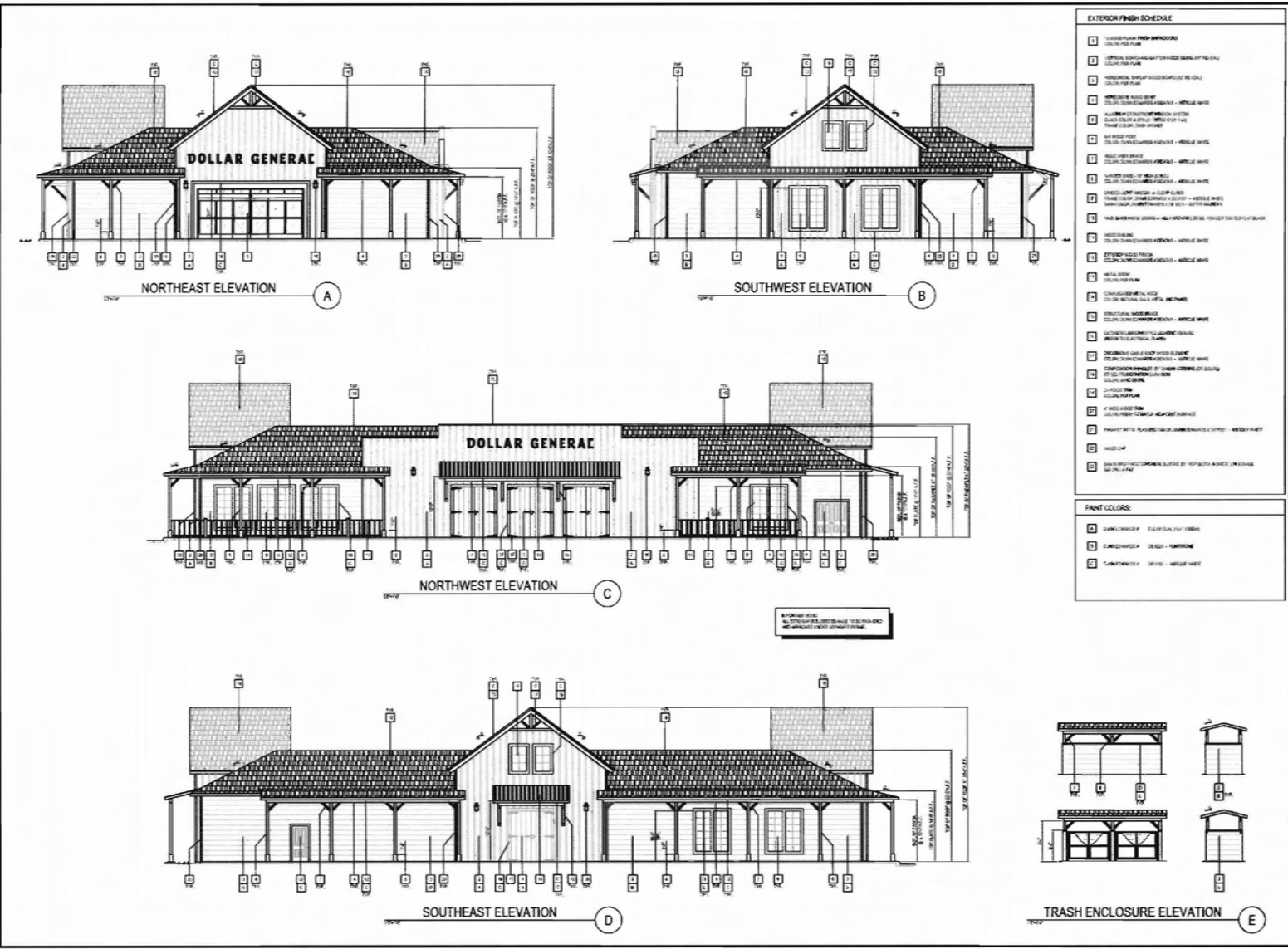
ITEM	DESCRIPTION
1	SIGNAL CO-2417 OR EQUIVALENT
2	SIGNAL BLACK OR EQUIVALENT
3	WATER PROOF COOL GRAY S
4	WOOD SIGN 60x110
5	WOOD SIGN 60x110
6	MATERIAL LIST
7	
8	
9	
10	

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 609 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER DIMENSIONS AND FINISHING OF THE SIGN.

- GENERAL NOTES**
1. TOLERANCE (UNLESS NOTED)  
• DIMENSIONS +/- 1/8" • FINISH SIZE = 1/16" +/- 1/8"  
• CORNER +/- 1/8" • HOLE OVERLAP +/- 1/8" +/- 1/16"  
• ALL COPY LEVEL UNLESS NOTED OTHERWISE
  2. VIEWING DISTANCE 25' TO 50' UNLESS NOTED OTHERWISE
  3. FINISH COLOR AND/OR FINISHES USE OF SIGNALAT TOOL SYSTEM
  4. NO INCREASE OF MATERIAL SUBSTITUTION PERMITTED FOR
  5. ALL ELECTRICAL SIGNS TO COMPLY WITH ALL AEC

**DOLLAR GENERAL AS INSTALLED VIEW**

DESIGNED BY	CHECKED BY	DATE	DESIGN LEAD
BRIAN S.			
CLIENT: DOLLAR GENERAL			
LOCATION: GEORGETOWN, CA			
DATE: 03/16/15			
SCALE: 1:29.5			
REVISIONS BY: D	SHEET # 1 OF 1		



**EXTERIOR FINISH SCHEDULE**

1. UNFINISHED PAINT/SHADOWS  
COLOR PER PLAN
2. EXTERIOR WALLS/SHADOWS/ROOF BRACKETS/ROOF GULLY  
COLOR PER PLAN
3. EXTERIOR WALLS/SHADOWS/ROOF BRACKETS/ROOF GULLY  
COLOR PER PLAN
4. METAL ROOF  
COLOR: CHARCOAL/BLACK/WHITE - ARTS/WHITE
5. METAL ROOF BRACKETS  
COLOR: CHARCOAL/BLACK/WHITE - ARTS/WHITE
6. METAL ROOF GULLY  
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7. METAL ROOF BRACKETS  
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8. METAL ROOF GULLY  
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9. METAL ROOF BRACKETS  
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100. METAL ROOF GULLY  
COLOR: CHARCOAL/BLACK/WHITE - ARTS/WHITE

**PAINT COLORS:**

1. CHARCOAL/BLACK/WHITE - ARTS/WHITE
2. CHARCOAL/BLACK/WHITE - ARTS/WHITE
3. CHARCOAL/BLACK/WHITE - ARTS/WHITE

**EXTERIOR ELEVATIONS**

**REVISIONS**

NO.	DESCRIPTION	DATE

**SHEET TITLE**

**A3.0**

**DOLLAR GENERAL**

**SEC MAN ST. & HARRISS ST. GORGETOWN, CA 95034**

**ARCHITECT: J. J. ARCHITECTS, INC.**

**2021 20th Street San Diego, CA 92104 P: 619.226.2000 F: 619.226.0887 www.jjaarchitects.com**

**CLIENT:** Simon CRE 5111 N. SCOTTSDALE ROAD SUITE 200 SCOTTSDALE, AZ 85250 Contact: Joshua Babin jabin@simoncre.com 480.354.4500 ext 100

**PROJECT:** A PROPOSED COMMERCIAL DEVELOPMENT FOR





STRUCTURAL, MEP, CIVIL ENGINEERING & CONSTRUCTION SERVICES

Arizona California Colorado Florida Texas Lebanon Saudi Arabia U.A.E.

May 6, 2015

Joshua Simon  
SimonCRE Abbie LLC  
5111 N. Scottsdale Road, Suite 200  
Scottsdale, AZ 85250

Subject: Feasibility of New Site Plan Options  
Dollar General – Georgetown  
Georgetown, CA

RECEIVED  
PLANNING DEPARTMENT  
16 JAN -5 PM 3:27

Dear Mr. Simon:

We recently reviewed the feasibility of two revised site plan concepts for the proposed Dollar General Store at Main and Harkness in Georgetown, CA. Based upon our review of both new options, there are issues that make each of these options impractical, if not impossible.

With regard to the first new option, dated 4-22-15, that proposes the store location near the northwest corner of the site, the main issue is grading. We set a finished floor just above the elevation of Harkness and ran the allowable maximum grades south to the drive entrance. At that location, the proposed grade ends up approximately 6 feet above the existing road. Alternately, a slope of approximately 20% would be necessary in the driveway. That slope exceeds the Dollar General maximum driveway slope by more than double. In our opinion that creates a condition that makes this option not feasible.

Regarding the second new option, dated 4-23-15, that proposes the store location near the southwest corner of the site, the main issue is again the grading. With this option, the conflict is directly between the finished floor and the existing grade on Orleans. The loading dock for the site is tied to the finished floor and sits only 6 inches below. There is a small ramp that connects the paving in the loading area to the loading and storage door on the building. Due to the elevation along Main in this area, the finished floor would sit a great deal higher than the driveway entrance out to Orleans. We worked up some conceptual grades and came up with a grade differential of approximately 7 to 8 feet between where the loading area would need to sit and where the driveway connection would have to be. There is no functional way to overcome that grade difference, therefore, our opinion is that this layout is not feasible.



We are happy to provide additional information related to these options should you have additional questions.

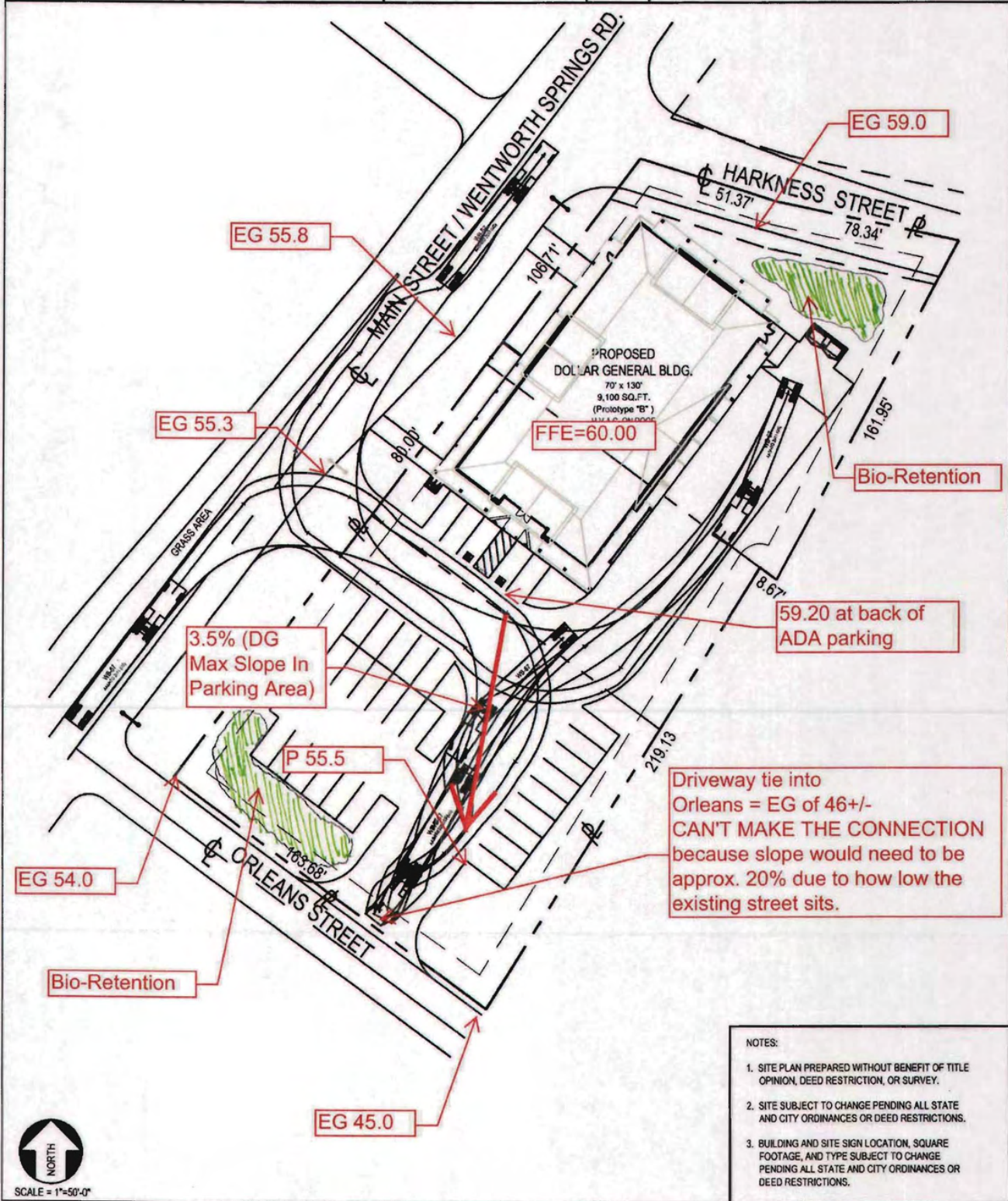
Sincerely,

A handwritten signature in black ink, appearing to be "AM", written over a horizontal line.

Andrew Mizerek, PE  
Project Manager



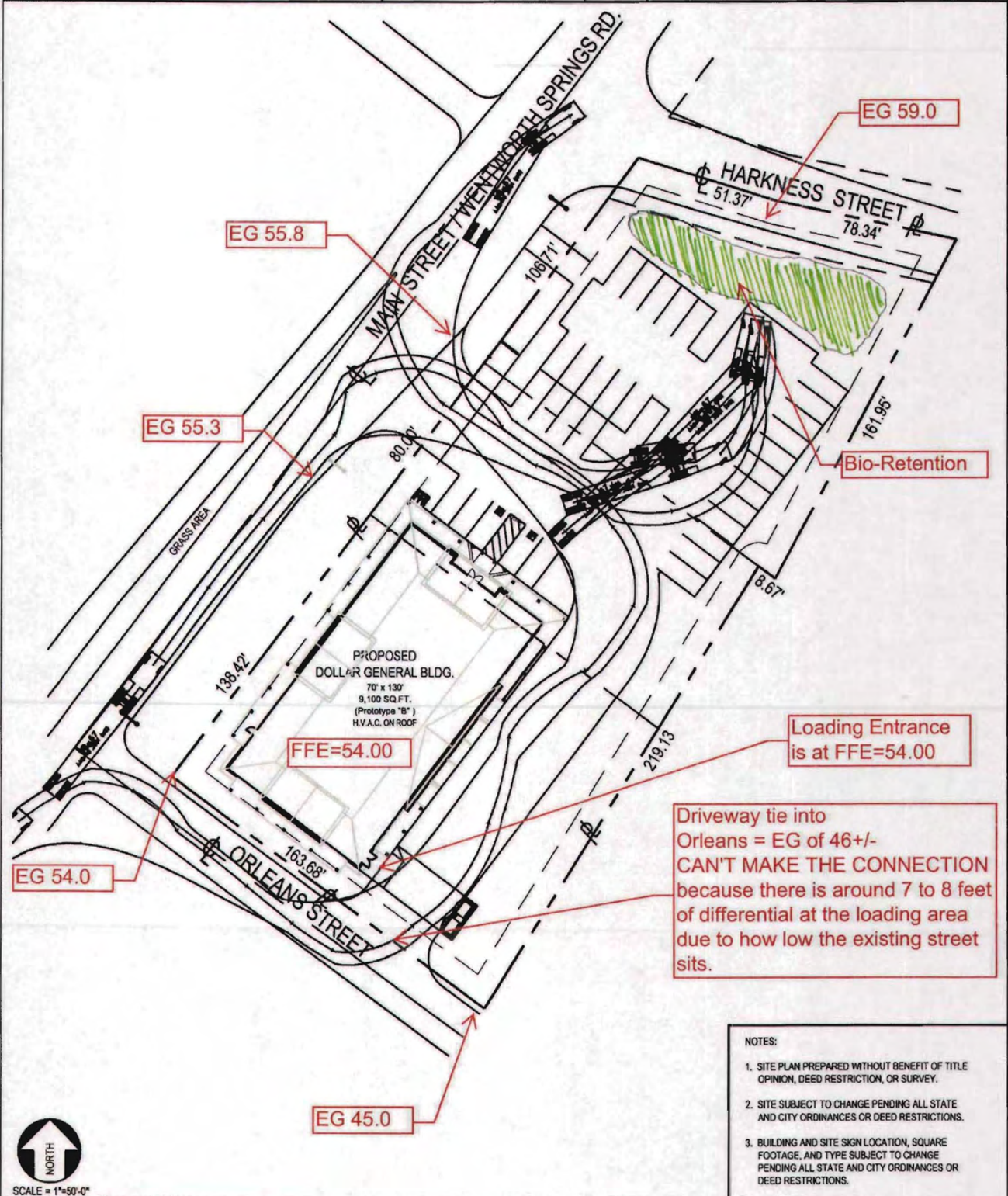
<b>PRELIMINARY SITE PLAN</b>		CITY, STATE - STREET: GEORGETOWN, CA. - MAIN ST. @ HARKNESS ST.	
PROTOTYPE: B	DEVELOPER	DESIGNER	DATE:
BLDG/SALES SF: 9,026 / 7,195	COMPANY: SIMON CRE	COMPANY: MPA ARCHITECTS, INC.	04-22-15
ACREAGE: 1.20 GROSS	NAME: JOSHUA SIMON	NAME: LEONARDO DALE	
PARKING SPACES REQ'D: 31	PHONE #: 480-745-1956	PHONE #: 619-236-0595	



- NOTES:
1. SITE PLAN PREPARED WITHOUT BENEFIT OF TITLE OPINION, DEED RESTRICTION, OR SURVEY.
  2. SITE SUBJECT TO CHANGE PENDING ALL STATE AND CITY ORDINANCES OR DEED RESTRICTIONS.
  3. BUILDING AND SITE SIGN LOCATION, SQUARE FOOTAGE, AND TYPE SUBJECT TO CHANGE PENDING ALL STATE AND CITY ORDINANCES OR DEED RESTRICTIONS.



<b>PRELIMINARY SITE PLAN</b>		CITY, STATE - STREET: GEORGETOWN, CA. - MAIN ST. @ HARKNESS ST.	
PROTOTYPE: <b>B</b>	DEVELOPER	DESIGNER	DATE:
BLDG/SALES SF: 9,026 / 7,195	COMPANY: SIMON CRE	COMPANY: MPA ARCHITECTS, INC.	04-23-15
ACREAGE: 1.20 GROSS	NAME: JOSHUA SIMON	NAME: LEONARDO DALE	
PARKING SPACES REQ'D: 31	PHONE #: 480-745-1956	PHONE #: 619-236-0595	



Driveway tie into Orleans = EG of 46+/- CAN'T MAKE THE CONNECTION because there is around 7 to 8 feet of differential at the loading area due to how low the existing street sits.

- NOTES:
1. SITE PLAN PREPARED WITHOUT BENEFIT OF TITLE OPINION, DEED RESTRICTION, OR SURVEY.
  2. SITE SUBJECT TO CHANGE PENDING ALL STATE AND CITY ORDINANCES OR DEED RESTRICTIONS.
  3. BUILDING AND SITE SIGN LOCATION, SQUARE FOOTAGE, AND TYPE SUBJECT TO CHANGE PENDING ALL STATE AND CITY ORDINANCES OR DEED RESTRICTIONS.

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# Memo

**To:** Joshua Simon, President, SimonCRE  
**From:** Bruce Myers  
**cc:** Dan Biswas  
**Date:** May 5, 2015  
**Re:** Dollar General, Georgetown - New Site Layout Incompatibility With Septic Design

---

Joshua,

I understand El Dorado County has requested that you change the Georgetown Dollar General site layout from the original that I used to design the septic system for the project. I have reviewed the two alternate site plan options that you forwarded. These alternate plans also show the locations of proposed bio-retention basins.

Considering the following:

- The required 50-foot stream setback and the 10-foot property line setback requirements previously imposed for this project, and;
- The remaining landscape area potentially available for subsurface drip that must be used for bio-retention basins

it does not appear feasible, under the two new site plan scenarios, to construct subsurface drip fields of sufficient area to meet the septic system demand.

Feel free to contact me with any questions.

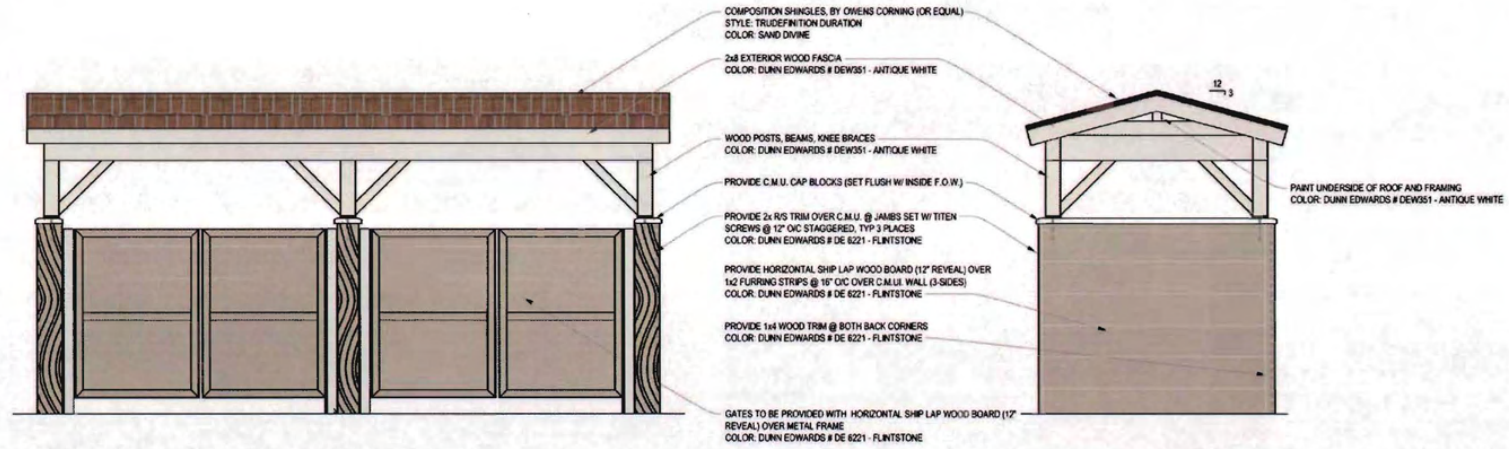
Bruce Myers, Senior Engineer  
SALEM Engineering Group

(559) 271-9700  
Bruce@salem.net

16 JAN - 5 PM 3: 26  
RECEIVED  
PLANNING DEPARTMENT



16 JAN -5 PM 3:25  
 RECEIVED  
 PLANNING DEPARTMENT



1 FRONT ELEVATION

2 RIGHT SIDE ELEVATION

**WPA ARCHITECTS, INC.**  
 2678 30th Street  
 San Diego, CA 92104  
 V. 619.238.0555  
 F. 619.238.0557  
 www.wpa-architects.com

CLIENT  
 Simon CRE Abbie, LLC  
 8111A SCOTTSDALE ROAD  
 SUITE 200  
 SCOTTSDALE, AZ 85250  
 Contact: Janet Allison  
 janet.allison@simoncre.com  
 480.742.7862 office  
 480.584.4102 fax

PROJECT  
**DOLLAR GENERAL**  
 A PROPOSED COMMERCIAL DEVELOPMENT FOR  
 SEC MAIN ST. & HARNESST ST.  
 GEORGETOWN, CA 95634

REVISIONS

NO.	DESCRIPTION	DATE



SHEET TITLE  
**SITE DETAILS**

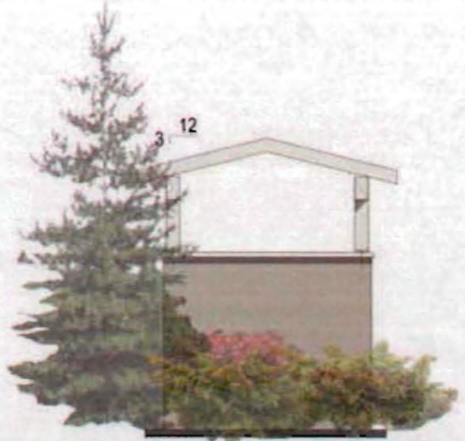
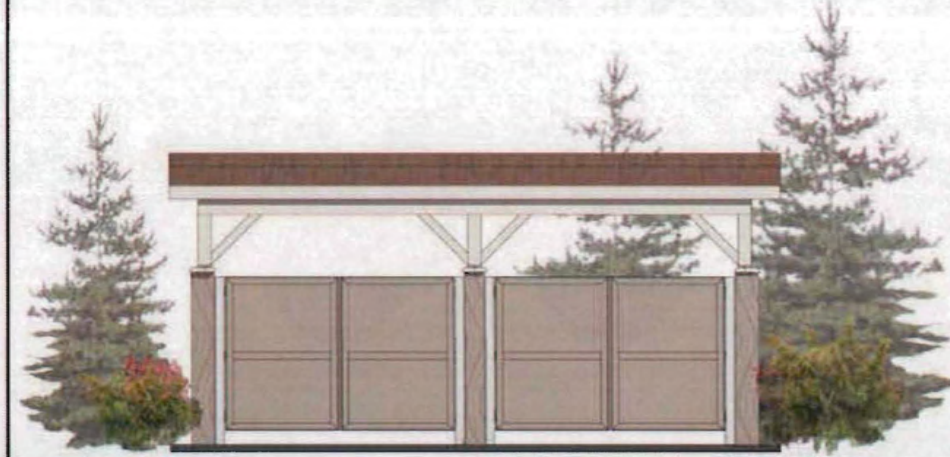
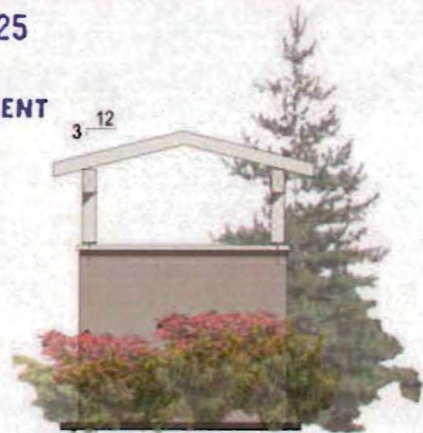
DATE: 08-17-16  
 DRAWN BY: [Name]  
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 SCALE: 1/8" = 1'-0"

A1.2



16 JAN -5 PM 3:25

RECEIVED  
PLANNING DEPARTMENT



**CGI**  
 1070 Villa Drive  
 San Diego, CA 92161  
 T: 619.238.0800  
 F: 619.238.0807  
 www.cgi.com  
 CGICAD  
 1070 Villa Drive  
 San Diego, CA 92161  
 T: 619.238.0800  
 F: 619.238.0807  
 www.cgi.com

CLIENT  
 Simon CPRE Advisors, LLC  
 801 W. BOUTWELL ROAD  
 SUITE 300  
 SCOTTSDALE, AZ 85260  
 Contact: Janet Williams  
 jwilliams@simoncpa.com  
 480.748.7407 ext. 400  
 480.748.7407 fax

PROJECT  
**DOLLAR GENERAL**  
 PROPOSED COMMERCIAL DEVELOPMENT  
 5100 MAIN ST & HARDNESS ST  
 GEORGETOWN, CA 95024

REVISIONS

NO.	DESCRIPTION	DATE

DATE PLOTTED: 1/16/15  
 SITE DETAILS  
 A12



