



COMMUNITY DEVELOPMENT AGENCY

DEVELOPMENT SERVICES DIVISION

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TO: Planning Commission

FROM: Lillian MacLeod, Principal Planner

DATE: March 23, 2016

RE: **S15-0004/Verizon Wireless Communication Facility Arrowbee Monopine;
New Submittals and Staff's Request for Continuance**

Based on public comments at the Planning Commission hearing on February 25, 2016 and subsequent direction of the Commission on that date, the applicant has submitted revised plans and photosimulations (Exhibits A-C) for the above project that demonstrate the following:

1. Relocation of the cell tower approximately 190 feet northwest of its previous location.
2. Reduction in height of the cell tower from 90 feet to 65 feet with antenna height reduced from 81 feet to 60 feet. Future potential co-location proposed at the 40 foot level.
3. Reduction in the equipment lease area from 1,023 square feet to 255.6 square feet.
4. Removal of the 15kVa generator from the equipment lease area to be replaced with the use of battery power for backup.
5. Replacement of the chain link fence and Toyon shrubbery surrounding the equipment pad with split-face CMU blocks on three sides and chain link gates on the northern elevation.

As staff has not had adequate time to review the documents and provide proper analysis to support recommendation, a continuance of this matter is being requested to May 12, 2016.

Attachments:

Exhibit AMark Lobaugh e-mail; March 21, 2016

Exhibit BRevised Site Plans - Sheets A-1 through A-6, GN-1, and C1 through C-2.0; March 15, 2016

Exhibit CRevised Photosimulations and Viewpoint Map; March 2016

16 MAR 21 PM 3:47

EXHIBIT A

RECEIVED
PLANNING DEPARTMENT

Mark Lobaugh

From: Mark Lobaugh
Sent: Monday, March 21, 2016 10:18 AM
To: 'jeff.hansen@edcgov.us'; 'rich.stewart@edcgov.us'; 'gary.miller@edcgov.us'; 'james.williams@edcgov.us'; 'brian.shinault@edcgov.us'; 'Aaron Mount'; 'lillian.macleod@edcgov.us'; 'colcapt@hotmail.com'
Subject: Verizon "Arrowbee Lake" telecom project / S15-0004 / Revised tower location
Attachments: Arrowbee Photo Location Map Graphic.pdf; Arrowbee sim 1 copy.pdf; Arrowbee sim 2 copy.pdf; Arrowbee sim 3 copy.pdf; Arrowbee sim 4 copy.pdf; Arrowbee sim 5 copy.pdf; Arrowbee sim 6 copy.pdf

Hello Planning Commissions and Planning staff members: In preparation for the next Planning Commission hearing on this project, I wanted to send you the following revised photosimulations and site plan for your review. You will recall that at the last hearing, a request was made by the Planning Commission Chairman, to explore the possibility of moving the proposed monopine to a location further up the hill on the same parcel, in order to take advantage of the higher elevations and dense tree cover.

The attached photosimulations depict the tower relocated to this new location which results in better screening of the tower due to the less prominent location. By relocating the tower to the higher location on the hill, we have been able to shorten the tower by 25', while significantly reducing the size of the compound, since the tower has been removed from the compound and relocated. We have also revised the site plan to reflect the following additional revisions in order to reduce the visibility of the site:

1. The generator has been removed from the site and as such, backup power will be accomplished solely by battery power. The removal of the generator also enabled us to shrink the size of the compound and further limit visibility of it from the lake and surrounding residences.
2. Split faced decorative block will be used to surround the equipment compound and will replace the chain link and Toyon bush planting that was previously planned, to completely screen any view of the proposed equipment cabinets. This split faced block surround, will blend in with the earth tones of the surrounding rock and soils of the area and will eliminate the "industrial look" of the chain link that was mentioned at the hearing.
3. The EDC Fire Dept has visited the site with me and has approved the redesign. They were pleased with the fact that we left the compound in the original location due to fire equipment access issues and had no problem with the relocation of the tower up the hill.
4. I plan on having a much more detailed coverage and capacity discussion prepared for the next hearing and will have Verizon staff on hand to address questions. I hope to be able to email the revised coverage maps and associated info prior to the hearing for your review.

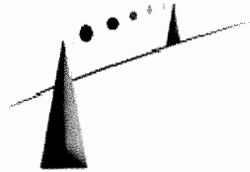
I would encourage any of you that wish to visit the site in person to contact me for a tour. I have met with Commissioner Williams and I believe he considered the site visit extremely helpful and informative.

I am emailing this information in a couple of emails due to file size and will drop off hard copies later today.

Please feel free to contact me with any comments or questions you may have.

Mark Lobaugh
Leasing/Zoning Manager
(916)203-4067 Cellular

(916)781-5927 Fax
California BRE Brokers Lic # 01121177



EPIC
WIRELESS GROUP INC.

8700 Auburn Folsom Road, suite 400
Granite Bay, CA. 95746

16 MAR 21 PM 3:47
RECEIVED
PLANNING DEPARTMENT

EXHIBIT B

PROJECT : Arrowbee Lake - New Build

4131 BIRDSEYE VIEW LANE
PLACERVILLE, CA 95667



LOCATION NO: 269257

PREPARED FOR



295 Parkshore Drive
Folsom, California 94630

Vendor:



8700 Auburn Folsom Road, Suite 400
Granite Bay, California 95746

Project Address:

4131 Birdseye View Lane
Placerville, CA 95667

Architect:



PROJECT NO: 20130913306

LOCATION NO: 269257

DRAWN BY: J.V.M.

CHECKED BY: B.K.W.

Licensor:

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Issued For:

03/15/16
90% ZD Sub

SHEET TITLE:

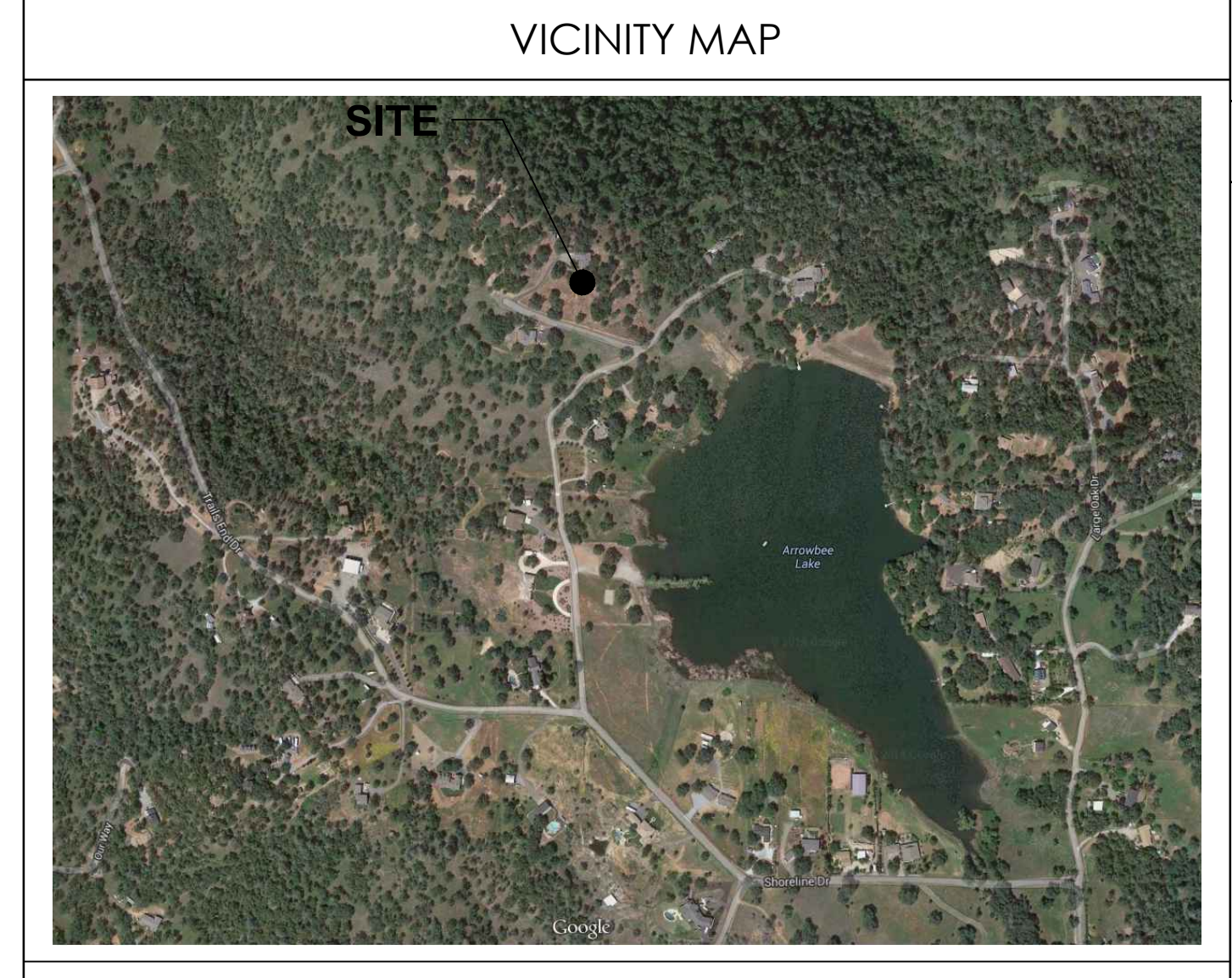
TITLE SHEET

SHEET NUMBER:

A-0

Plot Date: 03/15/16 15:54:46 by: Eric Wilson (916) 440-6232, Epic Wireless (916) 440-6232, Arrowbee Lake, 269257/269257, Arrowbee Lake, 269257/269257, Arrowbee Lake, 269257/269257, Arrowbee Lake, 269257/269257, Arrowbee Lake, 269257/269257

Main drawing table with columns: PROJECT DESCRIPTION, PROJECT INFORMATION, PROJECT TEAM, SHEET INDEX, and REV. Includes project details, team contacts, and sheet index table.



GENERAL CONSTRUCTION NOTES:

1. PLANS ARE INTENDED TO BE DIAGRAMATIC OUTLINE ONLY. UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
2. THE CONTRACTOR SHALL OBTAIN, IN WRITING, AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED OR IDENTIFIED BY THE CONTRACT DOCUMENTS.
3. CONTRACTOR SHALL CONTACT USA (UNDERGROUND SERVICE ALERT) AT (800) 227-2600, FOR UTILITY LOCATIONS, 48 HOURS BEFORE PROCEEDING WITH ANY EXCAVATION, SITE WORK OR CONSTRUCTION.
4. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY INDICATED OTHERWISE, OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CBC / UBC'S REQUIREMENTS REGARDING EARTHQUAKE RESISTANCE, FOR, BUT NOT LIMITED TO, PIPING, LIGHT FIXTURES, CEILING GRID, INTERIOR PARTITIONS, AND MECHANICAL EQUIPMENT. ALL WORK MUST COMPLY WITH LOCAL EARTHQUAKE CODES AND REGULATIONS.
6. REPRESENTATIONS OF TRUE NORTH, OTHER THAN THOSE FOUND ON THE PLOT OF SURVEY DRAWINGS, SHALL NOT BE USED TO IDENTIFY OR ESTABLISH BEARING OF TRUE NORTH AT THE SITE. THE CONTRACTOR SHALL RELY SOLELY ON THE PLOT OF SURVEY DRAWING AND ANY SURVEYOR'S MARKINGS AT THE SITE FOR THE ESTABLISHMENT OF TRUE NORTH, AND SHALL NOTIFY THE ARCHITECT / ENGINEER PRIOR TO PROCEEDING WITH THE WORK IF ANY DISCREPANCY IS FOUND BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND THE TRUE NORTH ORIENTATION AS DEPICTED ON THE CIVIL SURVEY. THE CONTRACTOR SHALL ASSUME SOLE LIABILITY FOR ANY FAILURE TO NOTIFY THE ARCHITECT / ENGINEER.
7. THE BUILDING DEPARTMENT ISSUING THE PERMITS SHALL BE NOTIFIED AT LEAST TWO WORKING DAYS PRIOR TO THE COMMENCEMENT OF WORK, OR AS OTHERWISE STIPULATED BY THE CODE ENFORCEMENT OFFICIAL HAVING JURISDICTION.
8. DO NOT EXCAVATE OR DISTURB BEYOND THE PROPERTY LINES OR LEASE LINES, UNLESS OTHERWISE NOTED.
9. ALL EXISTING UTILITIES, FACILITIES, CONDITIONS, AND THEIR DIMENSIONS SHOWN ON THE PLAN HAVE BEEN PLOTTED FROM AVAILABLE RECORDS, THE ARCHITECT / ENGINEER AND THE OWNER ASSUME NO RESPONSIBILITY WHATSOEVER AS TO THE SUFFICIENCY OR THE ACCURACY OF THE INFORMATION SHOWN ON THE PLANS, OR THE MANNER OF THEIR REMOVAL OR ADJUSTMENT. CONTRACTORS SHALL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION OF ALL EXISTING UTILITIES AND FACILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTORS SHALL ALSO OBTAIN FROM EACH UTILITY COMPANY DETAILED INFORMATION RELATIVE TO WORKING SCHEDULES AND METHODS OF REMOVING OR ADJUSTING EXISTING UTILITIES.
10. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, BOTH HORIZONTAL AND VERTICALLY, PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES OR DOUBTS AS TO THE INTERPRETATION OF PLANS SHOULD BE IMMEDIATELY REPORTED TO THE ARCHITECT / ENGINEER FOR RESOLUTION AND INSTRUCTION, AND NO FURTHER WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS CHECKED AND CORRECTED BY THE ARCHITECT / ENGINEER. FAILURE TO SECURE SUCH INSTRUCTION MEANS CONTRACTOR WILL HAVE WORKED AT HIS/HER OWN RISK AND EXPENSE.
11. ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS TO BE DISTURBED BY CONSTRUCTION SHALL BE ADJUSTED TO FINISH ELEVATIONS PRIOR TO FINAL INSPECTION OF WORK.
12. ANY DRAIN AND/OR FIELD TILE ENCOUNTERED / DISTURBED DURING CONSTRUCTION SHALL BE RETURNED TO ITS ORIGINAL CONDITION PRIOR TO COMPLETION OF WORK. SIZE, LOCATION AND TYPE OF ANY UNDERGROUND UTILITIES OR IMPROVEMENTS SHALL BE ACCURATELY NOTED AND PLACED ON "AS-BUILT" DRAWINGS BY GENERAL CONTRACTOR, AND ISSUED TO THE ARCHITECT / ENGINEER AT COMPLETION OF PROJECT.
13. ALL TEMPORARY EXCAVATIONS FOR THE INSTALLATION OF FOUNDATIONS, UTILITIES, ETC., SHALL BE PROPERLY LAID BACK OR BRACED IN ACCORDANCE WITH CORRECT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.
14. INCLUDE MISC. ITEMS PER VERIZON SPECIFICATIONS

APPLICABLE CODES, REGULATIONS AND STANDARDS:

SUBCONTRACTOR'S WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION (AHLJ) FOR THE LOCATION.

THE EDITION OF THE AHLJ ADOPTED CODES AND STANDARDS IN EFFECT ON THE DATE OF CONTRACT AWARD SHALL GOVERN THE DESIGN.

SUBCONTRACTOR'S WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS:

- AMERICAN CONCRETE INSTITUTE (ACI) 318, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
- AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC), MANUAL OF STEEL CONSTRUCTION, ASD, NINTH EDITION
- TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) 222-F, STRUCTURAL STANDARD FOR STRUCTURAL ANTENNA TOWER AND ANTENNA SUPPORTING STRUCTURES
- INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEERS (IEEE) 81, GUIDE FOR MEASURING EARTH RESISTIVITY, GROUND IMPEDANCE, AND EARTH SURFACE POTENTIALS OF A GROUND SYSTEM; IEEE 1100 (1999) RECOMMENDED PRACTICE FOR POWERING AND GROUNDING OF ELECTRICAL EQUIPMENT.
- IEEE C62.41, RECOMMENDED PRACTICES ON SURGE VOLTAGES IN LOW VOLTAGE AC POWER CIRCUITS (FOR LOCATION CATEGORY "C3" AND "HIGH SYSTEM EXPOSURE")
- TIA 607 COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR TELECOMMUNICATIONS TELCORDIA GR-63 NETWORK EQUIPMENT-BUILDING SYSTEM (NEBS); PHYSICAL PROTECTION
- TELCORDIA GR-347 CENTRAL OFFICE POWER WIRING
- TELCORDIA GR-1275 GENERAL INSTALLATION REQUIREMENTS
- TELCORDIA GR-1503 COAXIAL CABLE CONNECTIONS

ANY AND ALL OTHER LOCAL & STATE LAWS AND REGULATIONS

FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS REGARDING MATERIAL, METHODS OF CONSTRUCTION, OR OTHER REQUIREMENTS, THE MOST RESTRICTIVE SHALL GOVERN. WHERE THERE IS CONFLICT BETWEEN A GENERAL REQUIREMENT AND A SPECIFIC REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.

ABBREVIATIONS

A.B.	ANCHOR BOLT	IN. (")	INCH(ES)
ABV.	ABOVE	INT.	INTERIOR
ACCA	ANTENNA CABLE COVER ASSEMBLY	LB.(#)	POUND(S)
ADD'L	ADDITIONAL	LB.	LAG BOLTS
A.F.F.	ABOVE FINISHED FLOOR	L.F.	LINEAR FEET (FOOT)
A.F.G.	ABOVE FINISHED GRADE	L.	LONG(ITUDINAL)
ALUM.	ALUMINUM	MAS.	MASONRY
ALT.	ALTERNATE	MAX.	MAXIMUM
ANT.	ANTENNA	M.B.	MACHINE BOLT
APPRX.	APPROXIMATE(LY)	MECH.	MECHANICAL
ARCH.	ARCHITECT(URAL)	MFR.	MANUFACTURER
AWG.	AMERICAN WIRE GAUGE	MIN.	MINIMUM
B.D.G.	BUILDING	MISC.	MISCELLANEOUS
BLK.	BLOCK	MTL.	METAL
BLKG.	BLOCKING	(N)	NEW
BM.	BEAM	NO.(#)	NUMBER
B.N.	BOUNDARY NAILING	N.T.S.	NOT TO SCALE
BTCW.	BARE TINNED COPPER WIRE	O.C.	ON CENTER
B.O.F.	BOTTOM OF FOOTING	OPNG.	OPENING
B/U	BACK-UP CABINET	P/C	PRECAST CONCRETE
CAB.	CABINET	PCS	PERSONAL COMMUNICATION SERVICES
CANT.	CANTILEVER(ED)	PLY.	PLYWOOD
C.I.P.	CAST IN PLACE	PPC	POWER PROTECTION CABINET
CLG.	CEILING	PRC	PRIMARY RADIO CABINET
CLR.	CLEAR	P.S.F.	POUNDS PER SQUARE FOOT
COL.	COLUMN	P.S.I.	POUNDS PER SQUARE INCH
CONC.	CONCRETE	P.T.	PRESSURE TREATED
CONC.	CONNECTION(OR)	PWR.	POWER (CABINET)
CONST.	CONSTRUCTION	QTY.	QUANTITY
CONT.	CONTINUOUS	RAD.(R)	RADIUS
d	PENNY (NAILS)	REF.	REFERENCE
DBL.	DOUBLE	REINF.	REINFORCEMENT(ING)
DEPT.	DEPARTMENT	REQD/	REQUIRED
D.F.	DOUBLE AS FIR	RIG.	RIGID GALVANIZED STEEL
DIAM.	DIAMETER	SCH.	SCHEDULE
DIAG.	DIAGONAL	SHT.	SHEET
DIM.	DIMENSION	SIM.	SIMILAR
DWG.	DRAWING(S)	SPEC.	SPECIFICATIONS
DWL.	DOWEL(S)	SQ.	SQUARE
FA.	EACH	S.S.	STAINLESS STEEL
EL.	ELEVATION	STD.	STANDARD
ELEC.	ELECTRICAL	STL.	STEEL
ELEV.	ELEVATOR	STRUC.	STRUCTURAL
EMT.	ELECTRICAL METALLIC TUBING	TEMP.	TEMPORARY
E.N.	EDGE NAIL	THK.	THICK(NESS)
ENG.	ENGINEER	T.N.	TOP NAIL
EQ.	EQUAL	T.O.A.	TOP OF ANTENNA
EXP.	EXPANSION	T.O.C.	TOP OF CURB
EXST.(E)	EXISTING	T.O.F.	TOP OF FOUNDATION
EXT.	EXTERIOR	T.O.P.	TOP OF PLATE (PARAPET)
FAB.	FABRICATION(OR)	T.O.S.	TOP OF STEEL
F.F.	FINISH FLOOR	T.O.W.	TOP OF WALL
F.G.	FINISH GRADE	TYP.	TYPICAL
FIN.	FINISHED	UG.	UNDER GROUND
FLR.	FLOOR	ULL.	UNDERWRITERS LABORATORY
FDN.	FOUNDATION	U.N.O.	UNLESS NOTED OTHERWISE
F.O.C.	FACE OF CONCRETE	V.I.F.	VERIFY IN FIELD
F.O.M.	FACE OF MASONRY	W	WIDE (WIDTH)
F.O.S.	FACE OF STUD	w/	WITH
F.O.W.	FACE OF WALL	WD.	WOOD
F.S.	FINISH SURFACE	W.P.	WEATHERPROOF
FT.(')	FOOT (FEET)	WT.	WEIGHT
FTG.	FOOTING	☒	CENTERLINE
G.	GROWTH (CABINET)	☒	PLATE, PROPERTY LINE
GA.	GAUGE		
GI.	GALVANIZE(D)		
G.F.I.	GROUND FAULT CIRCUIT INTERRUPTER		
GLB. (GLU-LAM)	GLUE LAMINATED BEAM		
GPS	GLOBAL POSITIONING SYSTEM		
GRND.	GROUND		
HDR.	HEADER		
HGR.	HANGER		
HT.	HEIGHT		
ICGB.	ISOLATED COPPER GROUND BUS		

SYMBOLS LEGEND

	BLDG. SECTION		GROUT OR PLASTER
	WALL SECTION		(E) BRICK
	DETAIL		(E) MASONRY
	INTERIOR ELEVATION		CONCRETE
	DOOR SYMBOL		EARTH
	WINDOW SYMBOL		GRAVEL
	TILT-UP PANEL MARK		PLYWOOD
	PROPERTY LINE		SAND
	CENTERLINE		PLYWOOD
	ELEVATION DATUM		SAND
	GRID/COLUMN LINE		(E) STEEL
	KEYNOTE, DIMENSION ITEM		MATCH LINE
	KEYNOTE, CONSTRUCTION ITEM		GROUND CONDUCTOR
	WALL TYPE MARK		OVERHEAD SERVICE CONDUCTORS
	ROOM NAME ROOM NUMBER		TELEPHONE CONDUIT
			POWER CONDUIT
			COAXIAL CABLE
			CHAIN LINK FENCE
			WOOD FENCE
			(P) ANTENNA
			(P) RRU
			(P) DC SURGE SUPPRESSION
			(F) ANTENNA
			(F) RRU
			(E) EQUIPMENT

PREPARED FOR



295 Parkshore Drive
Folsom, California 94630

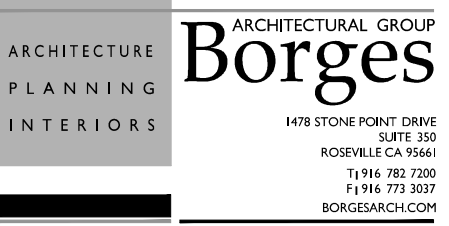
Vendor:



Project Address:

4131 Birdseye View Lane
Placerville, CA 95667

Architect:



PROJECT NO: 20130913306

LOCATION NO: 269257

DRAWN BY: J.V.M.

CHECKED BY: B.K.W.

REV	DATE	DESCRIPTION
A	03/15/16	90% ZD Submittal

Licensor:

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Issued For:

03/15/16

90% ZD Sub

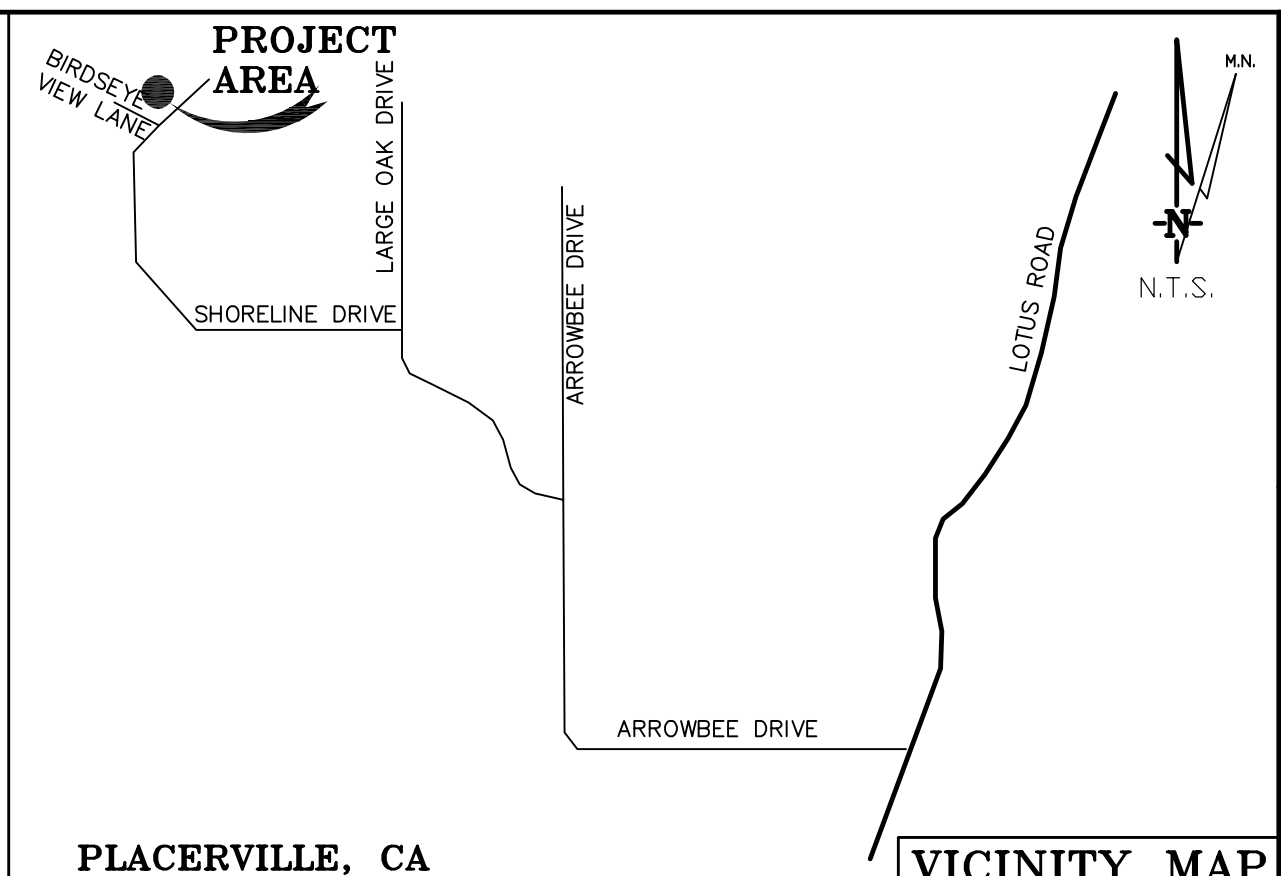
SHEET TITLE:
GENERAL NOTES & ABBREVIATIONS

SHEET NUMBER:

GN-1

BOUNDARY SHOWN IS BASED ON MONUMENTATION FOUND AND RECORD INFORMATION. THIS IS NOT A BOUNDARY SURVEY. THIS IS A SPECIALIZED TOPOGRAPHIC MAP WITH PROPERTY LINES AND EASEMENTS BEING A GRAPHIC DEPICTION BASED ON INFORMATION GATHERED FROM VARIOUS SOURCES OF RECORD AND AVAILABLE MONUMENTATION FOUND DURING THE FIELD SURVEY. NO EASEMENTS WERE RESEARCHED OR PLOTTED. PROPERTY LINES AND LINES OF TITLE WERE NOT INVESTIGATED NOR SURVEYED. NO PROPERTY MONUMENTS WERE SET.

THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATION AS INSTRUMENTS OF SERVICE, ARE THE EXCLUSIVE PROPERTY OF GEIL ENGINEERING AND THEIR USE AND PUBLICATION SHALL BE RESTRICTED TO THE ORIGINAL SITE AND CARRIER FOR WHICH THEY ARE PREPARED. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED EXCEPT BY WRITTEN PERMISSION FROM GEIL ENGINEERING TITLE TO THESE PLANS AND/OR SPECIFICATIONS SHALL REMAIN WITH GEIL ENGINEERING WITHOUT PREJUDICE AND VISUAL CONTACT WITH THEM SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

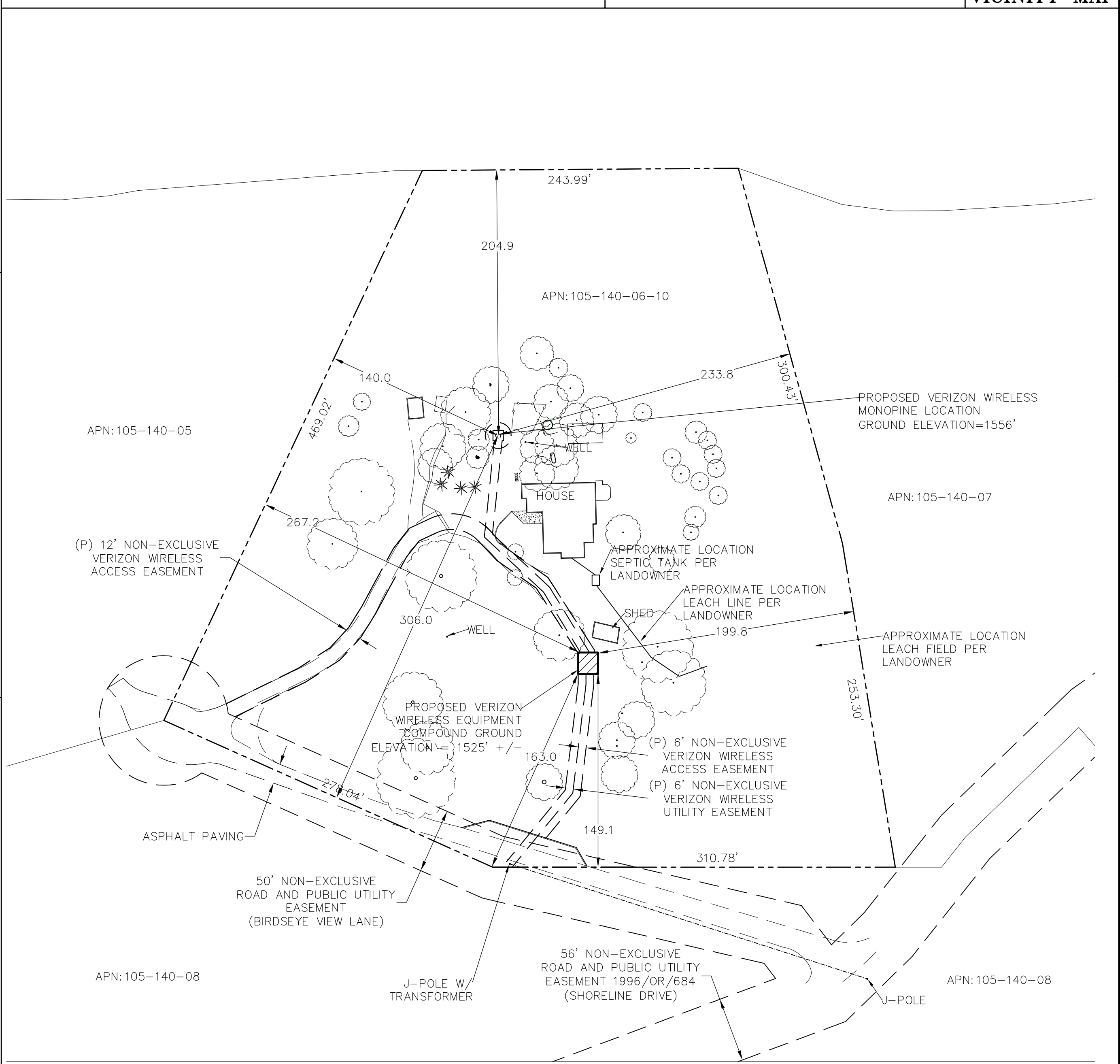


Verizon Wireless
 Project Name: Arrowbee Lake
 Project Site Location: 4131 Birdseye View Lane
 Placerville, CA 95667
 El Dorado County
 Date of Observation: 08-22-14
 Equipment/Procedure Used to Obtain Coordinates: Trimble Pathfinder Pro XL post processed with Pathfinder Office software.
 Type of Antenna Mount: Proposed Monopine
 Coordinates
 Latitude: N 38° 47' 50.55" (NAD83) N 38° 47' 50.90" (NAD27)
 Longitude: W 120° 56' 39.26" (NAD83) W 120° 56' 35.47" (NAD27)
 ELEVATION of Ground at Structure (NAVD88) 1556' AMSL

CERTIFICATION: I, the undersigned, do hereby certify elevation listed above is based on a field survey done under my supervision and that the accuracy of those elevations meet or exceed 1-A Standards as defined in the FAA ASAC Information Sheet 91:003, and that they are true and accurate to the best of my knowledge and belief.

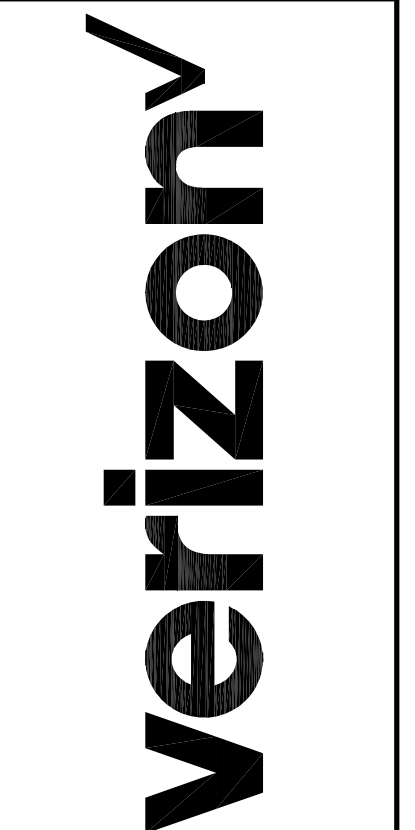
DATE OF SURVEY: 08-22-14
 SURVEYED BY OR UNDER DIRECTION OF: KENNETH D. GEIL, R.C.E. 14803
 LOCATED IN THE COUNTY OF EL DORADO, STATE OF CALIFORNIA
 BEARINGS SHOWN ARE BASED UPON MONUMENTS FOUND AND RECORD INFORMATION. THIS IS NOT A BOUNDARY SURVEY.
 ELEVATIONS SHOWN ON THIS PLAN ARE BASED UPON U.S.G.S. N.A.V.D. 88 DATUM, ABOVE MEAN SEA LEVEL.
 N.G.V.D. 1929 CORRECTION: SUBTRACT XXX' FROM ELEVATIONS SHOWN.
 CONTOUR INTERVAL: 1'
 CONTRACTOR IS RESPONSIBLE TO VERIFY LEASE AREA PRIOR TO CONSTRUCTION.
 ASSESSOR'S PARCEL NUMBER: 105-140-06-10
 OWNER(S): ERIC & ELIZABETH JOHANSON
 4131 BIRDSEYE VIEW LANE
 PLACERVILLE, CA 95667

Lease Area Description
 All that certain lease area being a portion of that certain Parcel 2 as is shown on that certain Parcel Map Recorded at Book 26 of Parcel Maps at Page 135, Official Records of El Dorado County, California, and being a portion of Section 23, Township 11 North, Range 9 East M.D.B. & M. being more particularly described as follows:
 Commencing at a 3/4" Capped Iron Pipe stamped LS4434 set for the Southeast corner of the above referenced parcel 2 from which a similar monument bears West 200.03 feet; thence from said point of commencement North 56°59'38" West 273.64 feet to the True Point of Beginning; thence from said True Point of Beginning West 15.33 feet; thence North 16.67 feet; thence East 15.33 feet; thence South 16.67 feet to the True Point of Beginning.
 Together with a non-exclusive easement for utility purposes six feet in width the centerline of which is described as follows: Beginning at a point on the South boundary of the above described lease area which bears East 3.00 feet from the Southwest corner thereof and running thence South 7.82 feet; thence South 06°55'58" West 83.46 feet; thence South 39°18'56" West 73 feet more or less to the existing utility pole.
 Also together with a non-exclusive easement for access purposes six feet in width the centerline of which is described as follows: Beginning at a point on the South boundary of the above described lease area which bears East 6.00 feet from the Southwest corner thereof and running thence South 8.18 feet; thence South 06°55'58" West 85.56 feet; thence South 39°18'56" West 42 feet more or less to the existing access improvements.
 Also together with a non-exclusive easement for access and purposes six feet in width the centerline of which is described as follows: Beginning at a point on the North boundary of the above described lease area which bears West 10.11 feet from the Northeast corner thereof and running thence North 31°27'36" West 56.90 feet; thence North 47°01'56" West 61.27 feet; thence North 05°54'40" East 73.58 feet to a point hereafter defined as Point "A".
 Also together with a non-exclusive easement for access purposes eight feet in width the centerline of which is described as follows: Beginning at Point "A" as previously defined and running thence North 4.00 feet to a point hereafter defined as Point "B" and the centerline of the proposed Monopine tower; thence continuing North 4.00 feet.
 Also together with an aerial easement for tree branches being twenty feet in diameter being centered on the above described Point "B".
 Also together with a non-exclusive easement for access purposes being twelve feet in width from the above described lease area Northwesterly to the existing access roadway; thence over and across the underlying parcel and existing traveled way as shown on the "Overall Site Plan" to the existing non-exclusive road easement; thence over and across said road easement to the public right of way. Said access to include turn-around and widening areas as shown hereon.



DEPT	APPROVED	DATE
A&C		
RE		
RF		
INT		
EE\IN		
OPS		
EE\OUT		

GEIL ENGINEERING
 ENGINEERING • SURVEYING • PLANNING
 1228 HIGH STREET
 AUDUBEN, CALIFORNIA 96008
 Phone: (530) 828-1238
 Fax: (530) 828-1208



ARROWBEE LAKE
 4131 BIRDSEYE VIEW LANE
 PLACERVILLE, CA 95667
 PLOT PLAN AND
 SITE TOPOGRAPHY

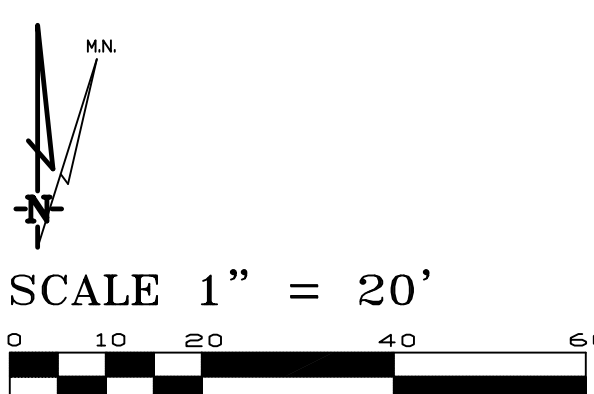
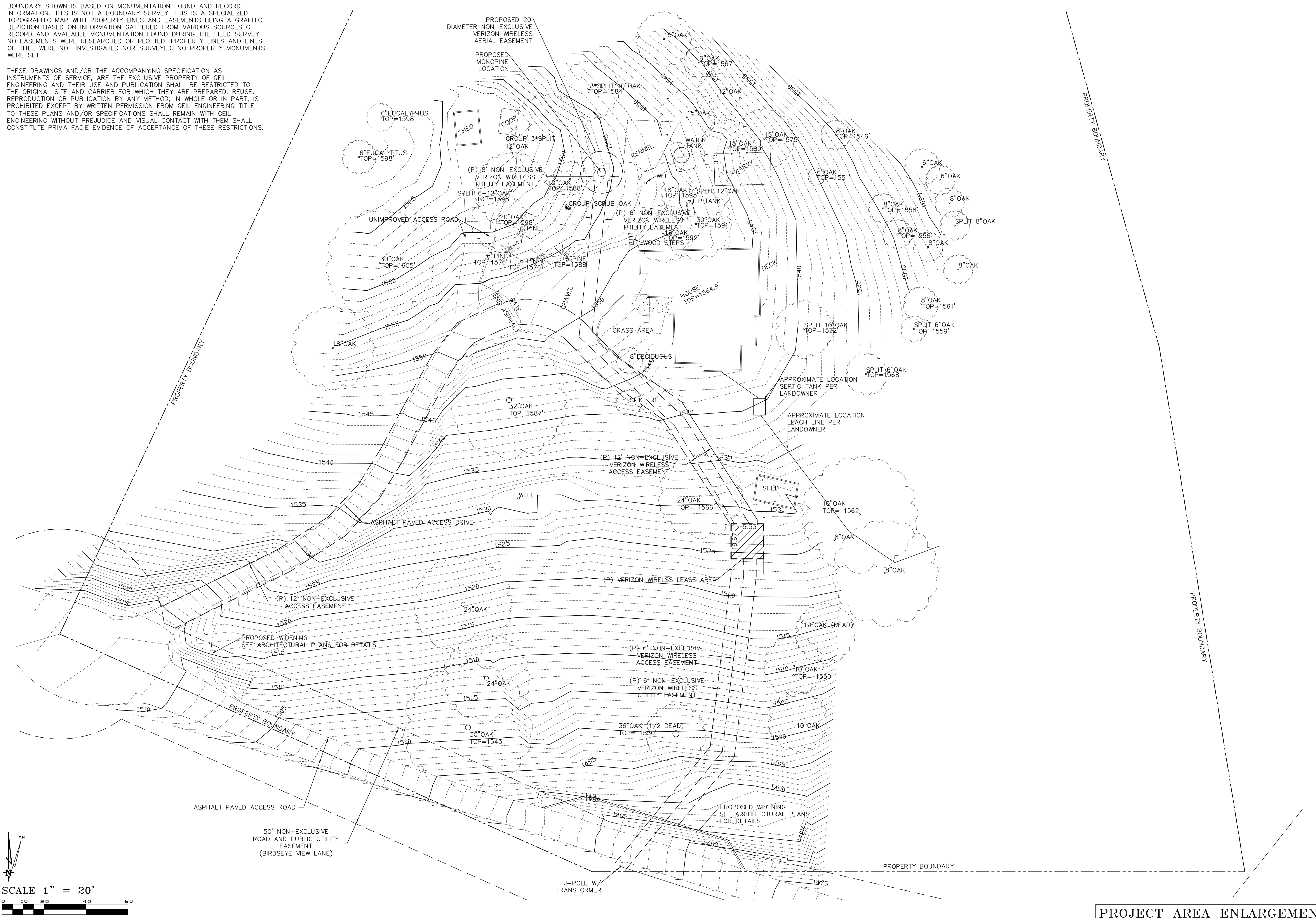
REVISIONS	DRAWING SUBMITTAL	TITLE WORK	LEACH AREA ADDED	LEASE AREA MOD	EASEMENT MOD.
REV	08-27-14	08-27-14	08-27-14	08-27-14	08-27-14
REV	10-15-14	10-15-14	10-15-14	10-15-14	10-15-14
REV	12-31-14	12-31-14	12-31-14	12-31-14	12-31-14
REV	01-09-15	01-09-15	01-09-15	01-09-15	01-09-15
REV	07-08-15	07-08-15	07-08-15	07-08-15	07-08-15

SCALE 1" = 60'
 OVERALL SITE PLAN

C-1

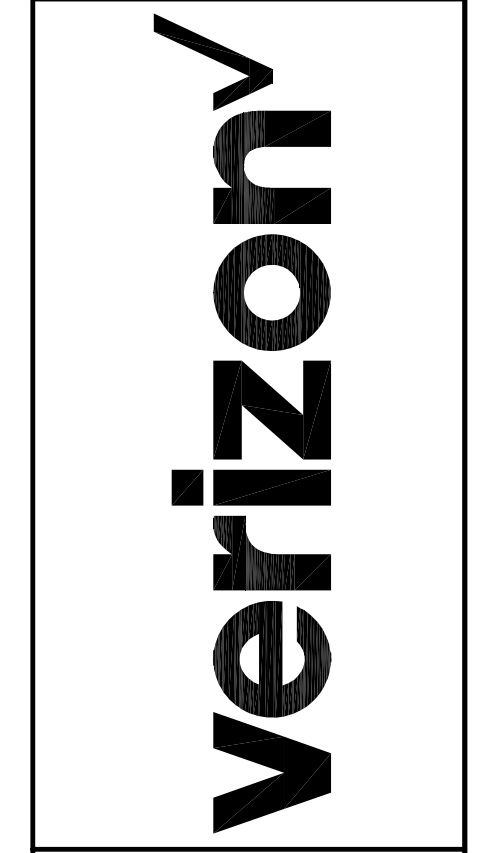
BOUNDARY SHOWN IS BASED ON MONUMENTATION FOUND AND RECORD INFORMATION. THIS IS NOT A BOUNDARY SURVEY. THIS IS A SPECIALIZED TOPOGRAPHIC MAP WITH PROPERTY LINES AND EASEMENTS BEING A GRAPHIC DEPICTION BASED ON INFORMATION GATHERED FROM VARIOUS SOURCES OF RECORD AND AVAILABLE MONUMENTATION FOUND DURING THE FIELD SURVEY. NO EASEMENTS WERE RESEARCHED OR PLOTTED. PROPERTY LINES AND LINES OF TITLE WERE NOT INVESTIGATED NOR SURVEYED. NO PROPERTY MONUMENTS WERE SET.

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 PLOT PLAN AND
 SITE TOPOGRAPHY

Sheet
C-2

PROJECT AREA ENLARGEMENT

GENERAL NOTES:

EXCAVATION - CUT SLOPE STANDARDS: CUT SLOPES SHALL BE CONSTRUCTED IN A MANNER THAT DOES NOT CREATE UNSTABLE CONDITIONS OR INDUCE SEVERE EROSION. UNLESS RECOMMENDED OTHERWISE IN A GEOLOGIC REPORT OR GEOTECHNICAL REPORT ACCEPTED BY THE DIRECTOR, THE FOLLOWING MINIMUM DESIGN STANDARDS ARE REQUIRED BY THE COUNTY TO ASSURE THE STABILITY OF PERMITTED CUTS:

A. SLOPE STEEPNESS: NO EXCAVATION SHALL BE MADE WITH A CUT FACE STEEPER IN SLOPE THAN TWO HORIZONTAL TO ONE VERTICAL (2:1), EXCLUSIVE OF REQUIRED TERRACES AND ROUNDINGS DESCRIBED HEREIN. (THE FACE OF CUT SLOPES BETWEEN TERRACES SHALL BE NO STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL.) THE DIRECTOR MAY PERMIT A CUT WITH A STEEPER SLOPE IF THE APPLICANT DEMONSTRATES THROUGH ENGINEERING, GEOTECHNICAL ENGINEERING AND ENGINEERING GEOLOGY REPORTS THAT THE UNDERLYING EARTH MATERIAL IS CAPABLE OF STANDING ON A STEEPER SLOPE. ALTERNATELY, THE DIRECTOR MAY LIMIT A CUT SLOPE TO A STEEPNESS LESS THAN A 2:1 GRADIENT DUE TO THE PRESENCE OF EARTH MATERIALS THAT WOULD POTENTIALLY BE UNSTABLE AT SUCH A SLOPE ANGLE.

B. UNSUPPORTED FOLIATION OR BEDDING PLANES: NO SLOPE SHALL BE CUT AT AN ANGLE STEEPER THAN THE BEDDING/FOLIATION PLANES OR ORIENTATION OF THE PRINCIPAL JOINT SETS IN ANY FORMATION WHERE SUCH PLANES OR JOINTS DIP TOWARD THE PROPOSED CUT FACE. A CUT SLOPE WITH THIS UNDERLYING CONDITION (I.E. DOWNSLOPE-DIPPING BEDDING PLANES OR JOINT SETS) MAY BE PERMITTED BY THE DIRECTOR IF THE APPLICANT DEMONSTRATES THROUGH ENGINEERING, GEOTECHNICAL ENGINEERING AND ENGINEERING GEOLOGY REPORTS THAT THE SLOPE WOULD BE STABLE AT A STEEPER ANGLE.

C. TERRACE ROUNDING: CUT SLOPES SHALL BE ROUNDED INTO THE EXISTING TERRAIN TO PRODUCE A CONTOURED TRANSITION FROM CUT FACE TO NATURAL GROUND.

D. ADJACENT STRUCTURE PROTECTION: FOOTINGS WHICH MAY BE AFFECTED BY AN EXCAVATION SHALL BE UNDERPINNED OR OTHERWISE PROTECTED AGAINST LATERAL MOVEMENT. FILLS OR OTHER SURCHARGE LOADS SHALL NOT BE PLACED ADJACENT TO ANY BUILDING OR STRUCTURE UNLESS SUCH BUILDING OR STRUCTURE IS CAPABLE OF WITHSTANDING THE ADDITIONAL LOADS CAUSED BY SUCH FILL OR SURCHARGE.

FILL CONSTRUCTION STANDARDS:
COMPLETED FILLS SHALL BE STABLE MASSES OF WELL-INTEGRATED MATERIAL BONDED TO ADJACENT MATERIALS AND TO THE MATERIALS ON WHICH THEY REST. FILLS SHALL BE COMPETENT TO SUPPORT ANTICIPATED LOADS AND BE STABLE AT THE DESIGN SLOPES SHOWN ON THE PLANS. UNLESS RECOMMENDED OTHERWISE IN A GEOTECHNICAL REPORT ACCEPTED BY THE DIRECTOR, THE FOLLOWING MINIMUM DESIGN STANDARDS ARE REQUIRED BY THE COUNTY TO ASSURE THE STABILITY OF PERMITTED FILLS. (NOTE: STANDARDS B THROUGH E BELOW DO NOT APPLY TO NON-STRUCTURAL FILLS INTENDED FOR AGRICULTURAL CULTIVATION.)

A. GROUND PREPARATION FOR FILL PLACEMENT: THE NATURAL GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY THE REMOVAL OF ALL UNSUITABLE MATERIAL SUCH AS VEGETATION, TOP SOIL, LANDSLIDE DEPOSITS OR OTHER UNSTABLE EARTH MATERIAL AND EXISTING FILL NOT INSTALLED IN CONFORMANCE WITH THIS ORDINANCE. FOR NON-STRUCTURAL FILLS INTENDED FOR AGRICULTURAL CULTIVATION, MATERIAL SUCH AS TOPSOIL SUITABLE AS A GROWTH MEDIUM NEED NOT BE REMOVED PRIOR TO FILL PLACEMENT. WHERE NATURAL OR PRE-EXISTING UNDERLYING SLOPES ARE FIVE HORIZONTAL TO ONE VERTICAL (5:1) OR STEEPER IN GRADIENT, KEYS AND BENCHES AT LEAST TEN (10) FEET WIDE SHALL BE PLACED INTO COMPETENT EARTH MATERIAL IN A MANNER DETERMINED TO BE ADEQUATE BY THE DIRECTOR.

B. PLACEMENT OF FILL: FILLS SHALL BE CONSTRUCTED IN LAYERS. THE LOOSE THICKNESS OF EACH LAYER OF FILL MATERIAL BEFORE COMPACTION SHALL NOT EXCEED EIGHT INCHES.

C. FILL COMPACTION: ALL FILLS SHALL BE COMPACTED THROUGHOUT THEIR FULL EXTENT TO A MINIMUM DRY DENSITY AS DETERMINED BY ASTM TEST METHOD D-1557 (OR A SUCCESSOR STANDARD ADOPTED BY THE COUNTY), AS FOLLOWS:

- 1) LANDSCAPE FILLS: 85 PERCENT
- 2) FILLS INTENDED TO SUPPORT STRUCTURES: 90 PERCENT
- 3) FILLS INTENDED TO SUPPORT VEHICULAR WAYS: 90 PERCENT WITH 95 PERCENT IN THE TOP ONE FOOT.
- 4) TEMPORARY FILL STOCKPILES: COMPACTION IS NOT REQUIRED UNLESS IT IS DETERMINED BY THE DIRECTOR THAT:
 - a. COMPACTION IS NECESSARY TO PREVENT INSTABILITY OR EROSION OF THE FILL AS DETERMINED BY THE DIRECTOR.
 - b. THE FILL IS PROPOSED TO REMAIN IN PLACE FOR SIX MONTHS OR MORE, OR WOULD REMAIN IN PLACE BEYOND A DIFFERENT TIME LIMIT IF SPECIFIED BY THE DIRECTOR.
 - c. FILL DENSITY (COMPACTION) TESTING: THE NUMBER AND DISTRIBUTION OF TESTS REQUIRED DURING CONSTRUCTION TO DETERMINE THE DENSITY OF COMPACTED FILLS SHALL BE DETERMINED BY THE FOLLOWING CRITERIA:
 - 1) A MINIMUM OF ONE TEST FOR EACH TWO FEET OF VERTICAL LIFT IS REQUIRED.
 - 2) A MINIMUM OF ONE TEST FOR EACH ONE THOUSAND (1,000) CUBIC YARDS OF MATERIAL PLACED IS REQUIRED.
 - 3) A MINIMUM OF ONE TEST FOR EACH ONE THOUSAND (1,000) SQUARE FEET IN SLOPE SURFACE, INCLUDING AT LEAST ONE TEST FOR EACH TEN VERTICAL FEET OF SLOPE HEIGHT, IS REQUIRED. THESE TESTS SHALL BE CONDUCTED ON A POINT ONE FOOT BELOW THE FILL SURFACE.
 4. TEST LOCATIONS SHALL BE UNIFORMLY DISTRIBUTED WITHIN THE FILL OR ALONG THE FILL SLOPE SURFACE TO THE EXTENT FEASIBLE.
 5. EXCEPT FOR THE TESTS REQUIRED FOR THE FILL SURFACE UNDER ITEM 3. ABOVE, TESTING MAY BE WAIVED BY THE DIRECTOR FOR FILLS COMPRISED OF MORE THAN THIRTY-FIVE PERCENT (35%) ROCK BY WEIGHT UPON CERTIFICATION BY A GEOTECHNICAL ENGINEER OR CIVIL ENGINEER THAT THE FILL WILL BE INSPECTED CONTINUOUSLY DURING CONSTRUCTION FOR ADEQUACY OF COMPACTION AND THAT TESTING IS NOT FEASIBLE IN THE SUBJECT MATERIAL.

RESULTS OF THE DENSITY (COMPACTION) TESTING AND THE DISTRIBUTION OF TEST LOCATIONS SHALL BE PRESENTED IN THE PERIODIC AND FINAL REPORTS. COMPACTION MAY BE LESS THAN NINETY (90) PERCENT OF MAXIMUM DENSITY, WITHIN SIX INCHES OF THE SLOPE SURFACE WHEN SUCH SURFACE MATERIAL IS PLACED AND COMPACTED BY A METHOD ACCEPTABLE TO THE DIRECTOR FOR THE PLANTING OF THE SLOPES.

A. FILL COMPOSITION: EARTH MATERIALS SHALL BE USED WHICH HAVE NO MORE THAN MINOR AMOUNTS OF ORGANIC SUBSTANCES, AS DETERMINED BY THE DIRECTOR IN CONSULTATION WITH THE PROJECT ENGINEER, AND HAVE NO ROCK OR SIMILAR IRREDUCIBLE MATERIAL WITH A MAXIMUM DIMENSION GREATER THAN TWELVE INCHES. THE PLACEMENT OF LARGER ROCK MAY BE PERMITTED WITH A ROCK DISPOSAL PLAN PREPARED BY A GEOTECHNICAL ENGINEER OR CIVIL ENGINEER THAT INCLUDES THE FOLLOWING ELEMENTS:

1. DELINEATION OF POTENTIAL ROCK DISPOSAL AREAS ON THE GRADING PLAN.
2. PLACEMENT OF ROCKS GREATER THAN TWELVE INCHES IN MAXIMUM DIMENSION A MINIMUM OF TWO FEET BELOW GRADE.
3. THE AVOIDANCE OF "NESTED" ROCK DISPOSAL SITES.
4. PLACEMENT OF ROCKS IN A MANNER SUCH THAT ALL VOIDS ARE FILLED WITH FINES.
5. CONTINUOUS INSPECTION OF THE ROCK PLACEMENT BY THE RESPONSIBLE LICENSED PROFESSIONAL.

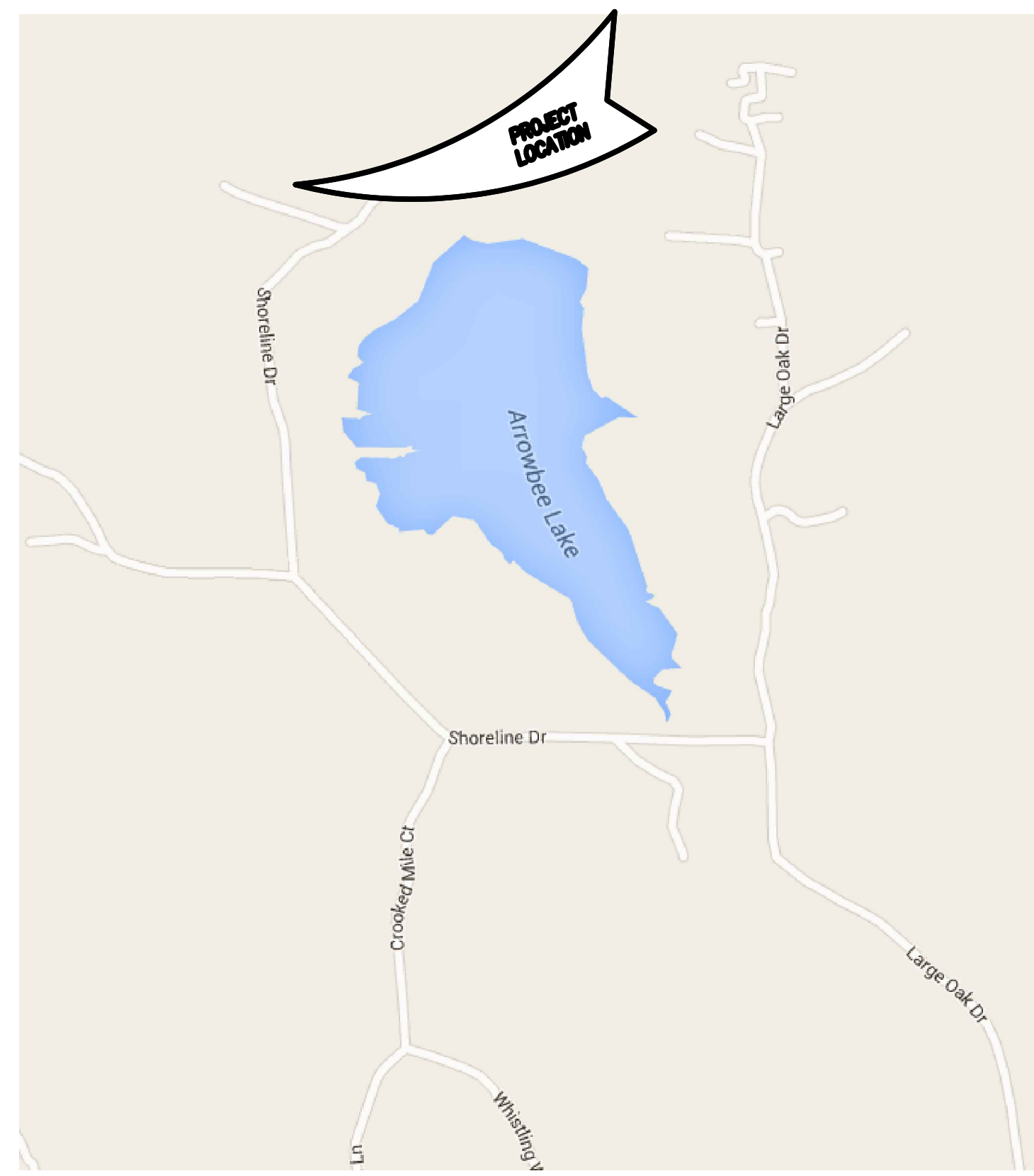
2. EROSION CONTROL NOTES:

1. CONTRACTOR SHALL PROVIDE SOIL STABILIZATION AND SEDIMENT CONTROL PRACTICES DURING CONSTRUCTION.
2. CONTRACTOR SHALL SCHEDULE CONSTRUCTION WORK TO AVOID EXCESS EXPOSURE DURING RAIN EVENTS.
3. EROSION CONTROL AND SEDIMENT CONTROL MEASURES TO BE AMENDED TO REFLECT EXISTING CONDITIONS AND ANTICIPATED CONSTRUCTION OPERATIONS.
4. ALL STORM DRAIN INLETS SHALL BE PROTECTED PRIOR TO DEMOLITION THROUGH END OF CONSTRUCTION.
5. TEMPORARY FIBER ROLLS SHALL BE INSTALLED DOWNSLOPE OF DISTURBED AREAS AND ALONG PERIMETER AREAS AS NEEDED.
6. TEMPORARY CHECK DAMS SHALL BE PLACED IN DRAINAGE SWALES AS NEEDED TO FILTER RUN-OFF.
7. CONTRACTOR'S STAGING AREA TO BE DETERMINED BY CONTRACTOR. CONTRACTOR'S EQUIPMENT AND MATERIAL STORAGE LOCATIONS SHALL BE IN A STAGING AREA. CONCRETE, PAINT, MORTAR, GROUT, ETC. MUST HAVE A DESIGNATED CLEAN UP AREA.
8. DUST CONTROL SHALL CONSIST OF APPLYING WATER TO PREVENT DUST NUISANCE.
9. PERMANENT EROSION CONTROL SHALL BE INSTALLED AS AREAS ARE DETERMINED TO BE COMPLETE.
10. DISTURBED AREAS NOT TO BE LANDSCAPED SHALL BE TREATED WITH HYDROSEED OR OTHER APPROVED PERMANENT EROSION CONTROL MEASURE UNLESS OTHERWISE NOTED.

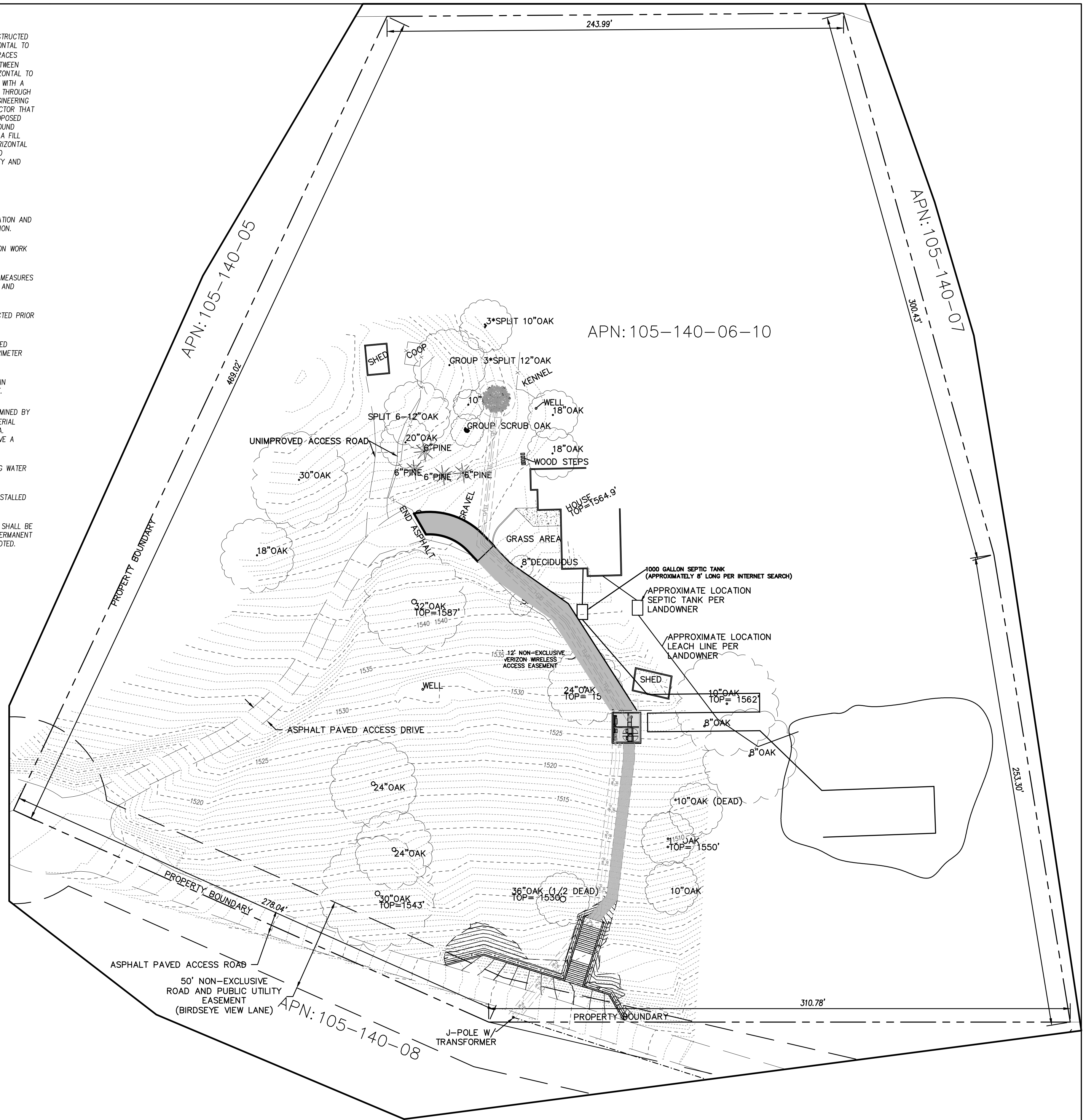
B. SLOPE STEEPNESS: NO FILL SHALL BE CONSTRUCTED WITH A FACE STEEPER IN SLOPE THAN TWO HORIZONTAL TO ONE VERTICAL (2:1), EXCLUSIVE OF REQUIRED TERRACES DESCRIBED HEREIN. (THE FACE OF FILL SLOPES BETWEEN TERRACES SHALL BE NO STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL.) THE DIRECTOR MAY PERMIT A FILL WITH A STEEPER SLOPE IF THE APPLICANT DEMONSTRATES THROUGH ENGINEERING, GEOTECHNICAL ENGINEERING AND ENGINEERING GEOLOGY REPORTS FOUND ADEQUATE BY THE DIRECTOR THAT THE PROPOSED FILL MATERIAL, INCLUDING ANY PROPOSED REINFORCEMENT, AND THE SUPPORTING NATIVE GROUND WOULD FORM A STABLE SLOPE. CONSTRUCTION OF A FILL WITH A SURFACE SLOPE FLATTER THAN TWO HORIZONTAL TO ONE VERTICAL MAY BE REQUIRED IF DETERMINED NECESSARY BY THE DIRECTOR TO ASSURE STABILITY AND SAFETY.

EROSION CONTROL NOTES:

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VICINITY MAP
--N.T.S.--



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3/17/16

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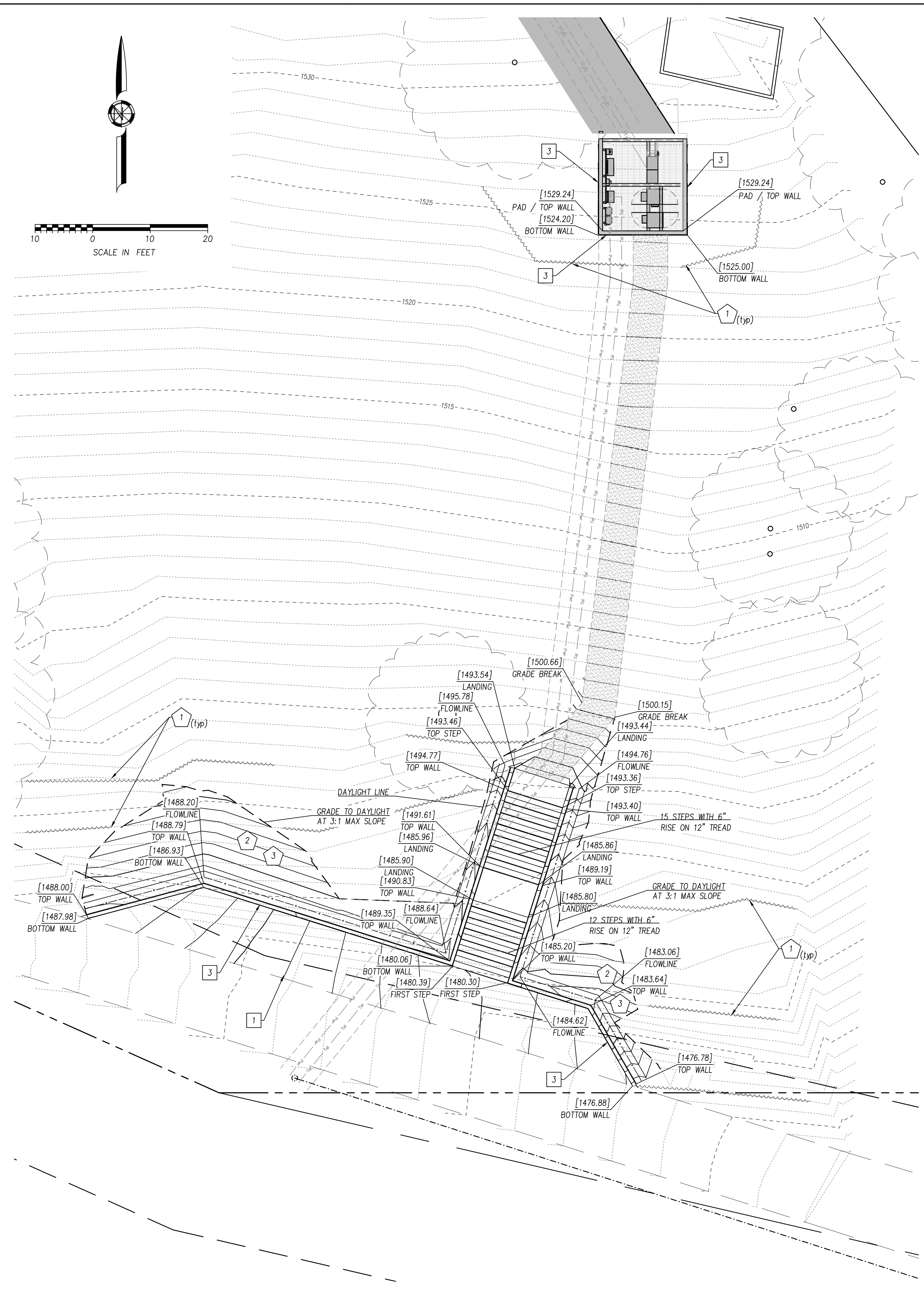
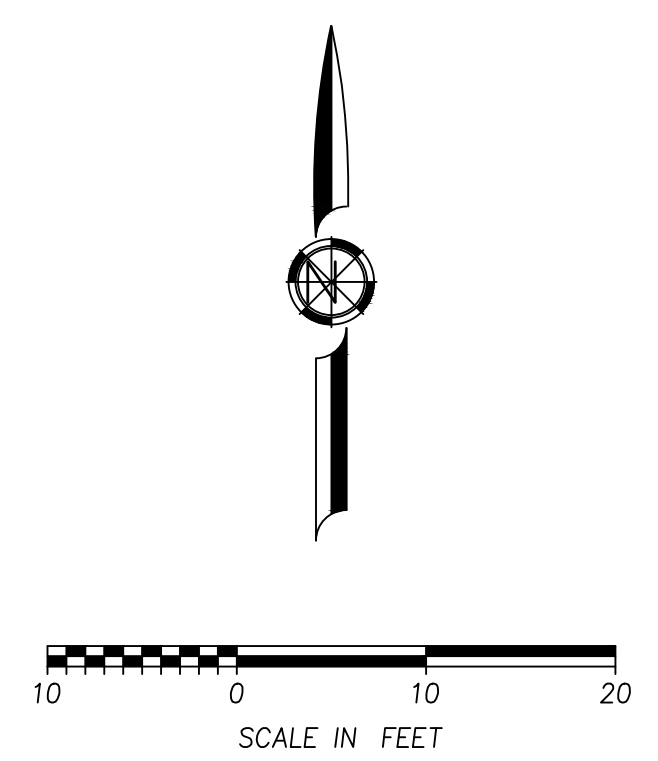
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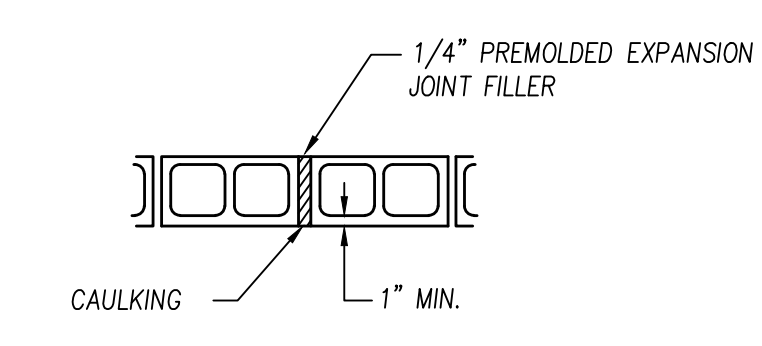
CONSTRUCTION NOTES:

- 1 CONSTRUCT 12' WIDE ACCESS DRIVEWAY. PLACE 3" OF 1/2" HOT MIXED ASPHALT OVER 6" CLASS 2 BASE AT 95% COMPACTION AT AREAS THAT ARE CURRENTLY NOT PAVED, AND THOSE AREAS THAT ARE PRESENTLY PAVED A 3" HMA OVERLAY OR FULL DEPTH FILL TO ACHIEVE GRADES AS SHOWN. CUTTING AND REMOVAL OF EXISTING ASPHALT DRIVEWAY MAY BE REQUIRED TO ACHIEVE THE MAXIMUM GRADE OF 20% PER CAL FIRE REQUIREMENTS. ALL AREAS RECEIVING FILL SHALL BE FREE OF ORGANIC MATERIAL, SCARIFIED TO A MINIMUM DEPTH OF 6". FILL SHALL BE PLACED IN LIFTS NO GREATER THAN 6" AND MOISTURE CONDITIONED AND COMPACTED TO 95%. FILL SLOPES SHALL NOT EXCEED THREE TO ONE (3:1) AND CUT SLOPES SHALL NOT EXCEED THREE TO ONE (3:1) WITHOUT A GEOTECHNICAL ENGINEERS APPROVAL.
- 2 COORDINATE PLACEMENT OF EXCESS MATERIAL WITH PROPERTY OWNER. PLACE AND COMPACT EXCESS MATERIAL AT TOP OF EXISTING BERM. ALL SPOILS SHALL BE TRACK WALKED AND COMPACTED. ROCK 8" IN DIAMETER AND GREATER SHALL BE BROKEN DOWN OR REMOVED FROM THE SITE. GRADES AND LIMITS AS SHOWN ARE BASED ON TOPOGRAPHIC SURVEY INFORMATION AND ARE THE BEST ESTIMATE OF PROBABLE FILL AREA.
- 3 CONSTRUCT CMU RETAINING WALL PER DETAIL THIS SHEET.
- 4 CONSTRUCT 2' WIDE X 4" DEEP "V" DITCH AT BACK OF WALL. DITCH SHALL BE LINED WITH 1"+ CRUSHED GRAVEL OVER A MIRAFI 140N GEOTEXTILE FABRIC. GRADES AS SHOWN HEREIN SHALL BE TO FINISHED ROCK FACE.

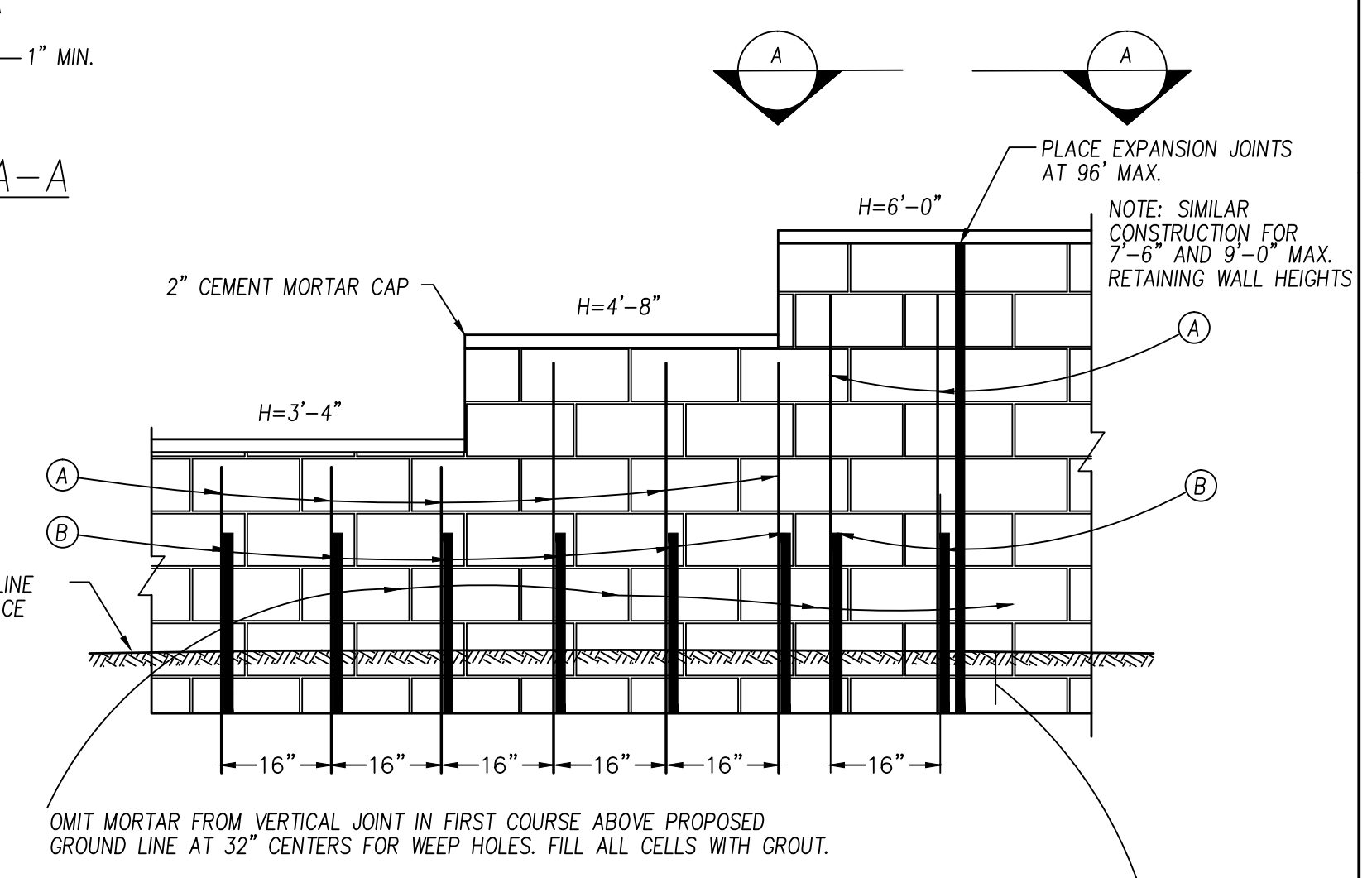
EROSION CONTROL CONSTRUCTION NOTES

- 1 INSTALL FIBER ROLLS PER CASQA SE-5 & SC-1
 - 2 TRACK WALK AND COVER SLOPED AREAS WITH JUTE OR COCONUT FIBER MAT AND HYDROSEED.
 - 3 ALL DISTURBED AREAS NOT RECEIVING AGGREGATE BASE SHALL BE TRACK WALKED AND HYDROSEED.
- NOTE: ALL AREAS THAT ARE DISTURBED SHALL BE STABILIZED WITH PERMANENT EROSION CONTROL MEASURES PRIOR TO CONTRACT CLOSE OUT.

FIBER ROLL



SECTION A-A



1 TYPE 6A RETAINING WALL DETAIL

NOT TO SCALE

NOTES:

1. COMPRESSIVE STRENGTH OF MASONRY PRISM SHALL BE F_m=2500 PSI
2. GROUT SHALL HAVE A COMPRESSIVE STRESS OF 2000 PSI MINIMUM
3. MORTAR SHALL BE TYPE M OR S
4. REINFORCING STEEL SHALL BE ASTM 615 GRADE 60 (F_y = 60 KSI)
5. ALL UNITS SHALL BE LAID WITH FULL MORTAR BEDS. ALL JOINTS SHALL BE FILLED SQUIDLY WITH MORTAR THE ENTIRE DEPTH OF THE UNIT. MORTAR FINS SHALL BE REMOVED FROM ALL CELLS TO BE FILLED WITH GROUT.
6. MASONRY UNITS SHALL BE FREE OF DIRT AND DEBRIS PRIOR TO PLACEMENT.
7. ALL VERTICAL WALL REINFORCING SHALL BE DOWELED INTO THE FOUNDATION AT THE SAME SIZE AND SPACING AS THE MASONRY WALL REINFORCING.
8. VERTICAL AND HORIZONTAL REINFORCING BARS SHALL BE SECURELY TIED IN PLACE PRIOR TO GROUTING. DO NOT RE-POSITION BARS AFTER GROUT IS PLACED.
9. MECHANICALLY VIBRATE GROUT DURING PLACEMENT. RE-VIBRATE GROUT AFTER EXCESS WATER HAS BEEN ABSORBED BY MASONRY UNITS BUT WHILE GROUT IS STILL PLASTIC.
10. ALL EMBEDDED ITEMS SHALL BE SECURELY TIED IN PLACE PRIOR TO PLACING GROUT U.N.O.
11. DO NOT PENETRATE WALL WITHOUT PRIOR APPROVAL OF ENGINEER.
12. MAX GROUT LIFT HEIGHT = 4' - 0".

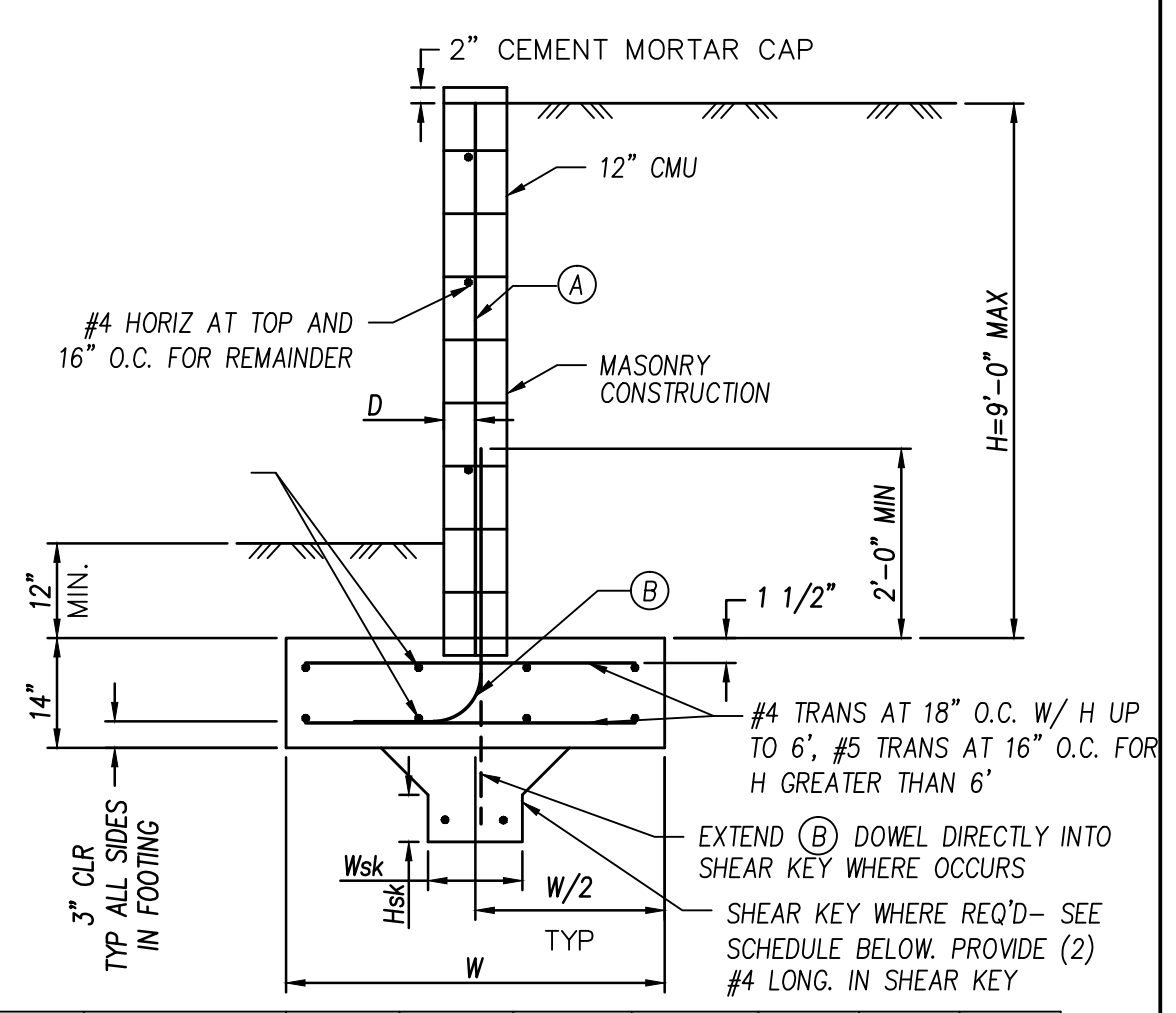
ESTIMATED EARTHWORK CALCULATIONS

CUT (CY)	FILL (CY)	NET (CY)
161	280	119 FILL

MAXIMUM CUT HEIGHT = 4.9'; FILL HEIGHT = 5.5'

ALL EARTHWORK QUANTITIES ARE ESTIMATED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VALIDATE EARTHWORK REQUIRED FOR CONSTRUCTION.

TOTAL DISTURBED AREA ±13,693 SF / 0.31 ACRES



TYPE	DESIGN	H	3'-4"	4'-0"	4'-8"	5'-4"	6'-0"	7'-6"	9'-0"
6A	W	3'-0"	3'-0"	3'-6"	3'-6"	4'-6"	4'-6"	5'-6"	6'-9"
6A	(A)		#4@32	#4@16	#4@16	#5@16	#5@16	#5@8	#5@8
6A	(B)		#4@32	#4@16	#4@16	#5@16	#5@16	#5@8	#5@8
6A	D		5.75"	5.75"	5.75"	5.75"	5.75"	9"	9.75"
6A	Hsk		N/A	N/A	N/A	N/A	N/A	12"	18"
6A	Wsk		N/A	N/A	N/A	N/A	N/A	12"	12"

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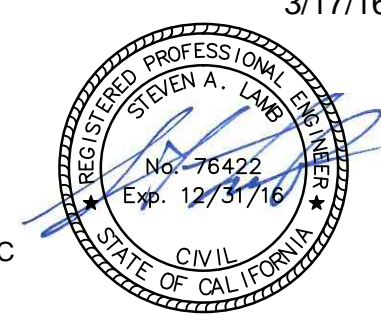
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ARCHITECTURAL GROUP

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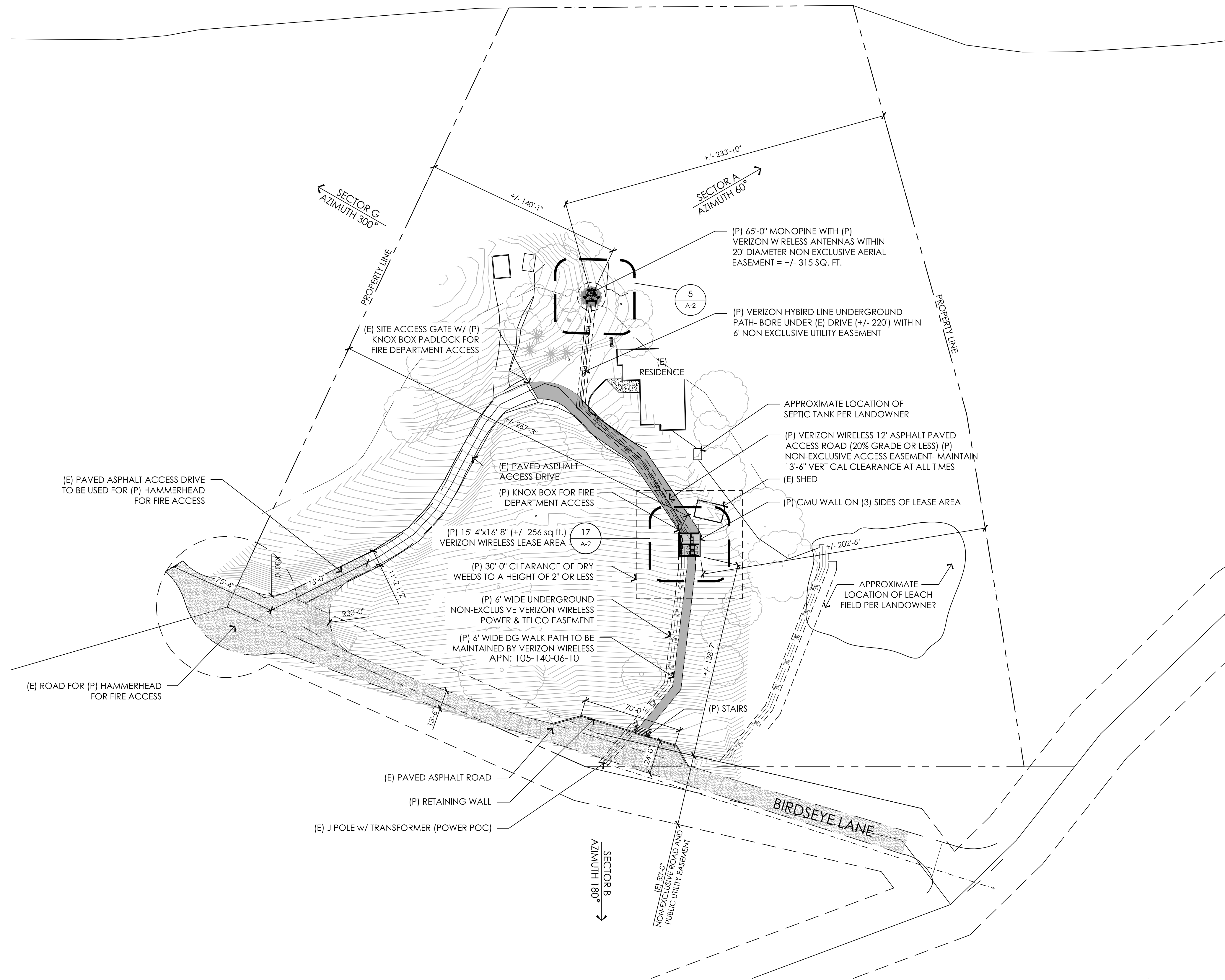


3/17/16

THIS IS NOT A SITE SURVEY
 ALL PROPERTY BOUNDARIES, ORIENTATION OF TRUE NORTH AND STREET HALF-WIDTHS HAVE BEEN OBTAINED FROM A TAX PARCEL MAP AND EXISTING DRAWINGS AND ARE APPROXIMATE.

NOTES:

- NO GRADING OR PERMANENT CONSTRUCTION SHALL OCCUR WITHIN DRIP LINES OF TREES THAT ARE TO REMAIN WITHOUT ARBORIST APPROVAL.
- PRIOR TO CONSTRUCTION, GENERAL CONTRACTOR TO CONTACT DIGALERT TO MARK OUT EXISTING UNDERGROUND UTILITIES. IN THE EVENT OF CONFLICTS, CONTRACTOR TO CONTACT PDC.



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PROJECT NO: 20130913306
 LOCATION NO: 269257
 DRAWN BY: J.V.M.
 CHECKED BY: B.K.W.

REV	DATE	DESCRIPTION
A	03/15/16	90% ZD Submittal

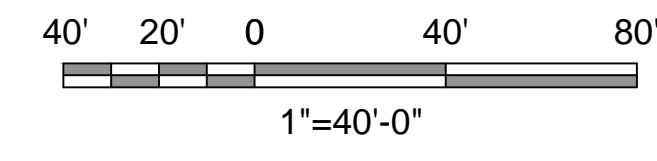
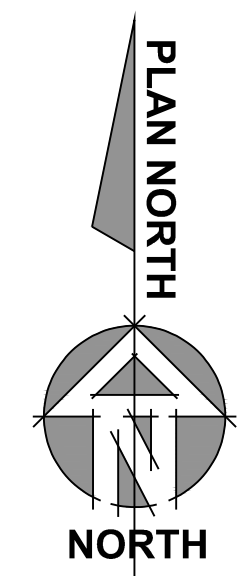
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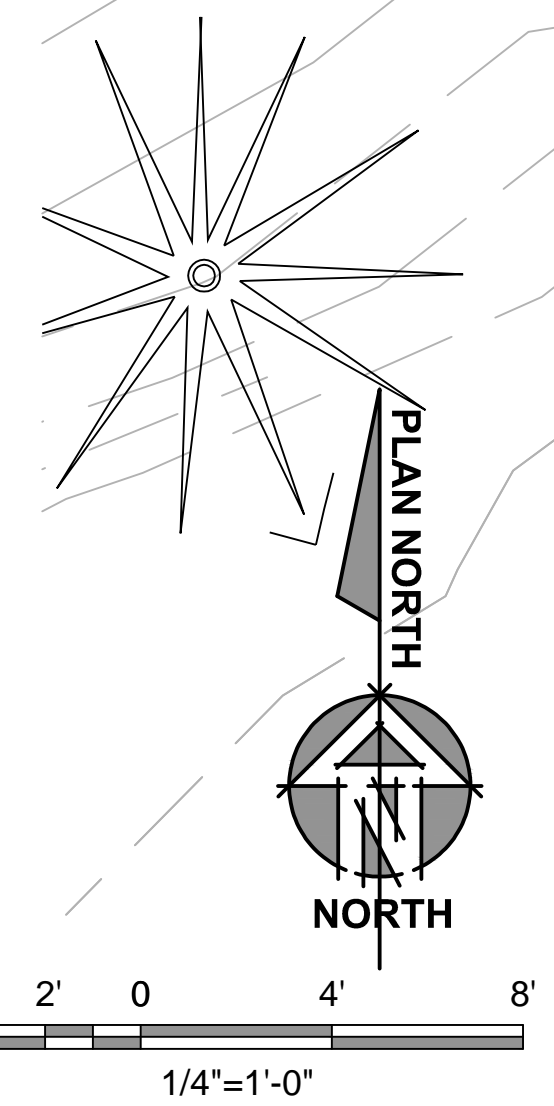
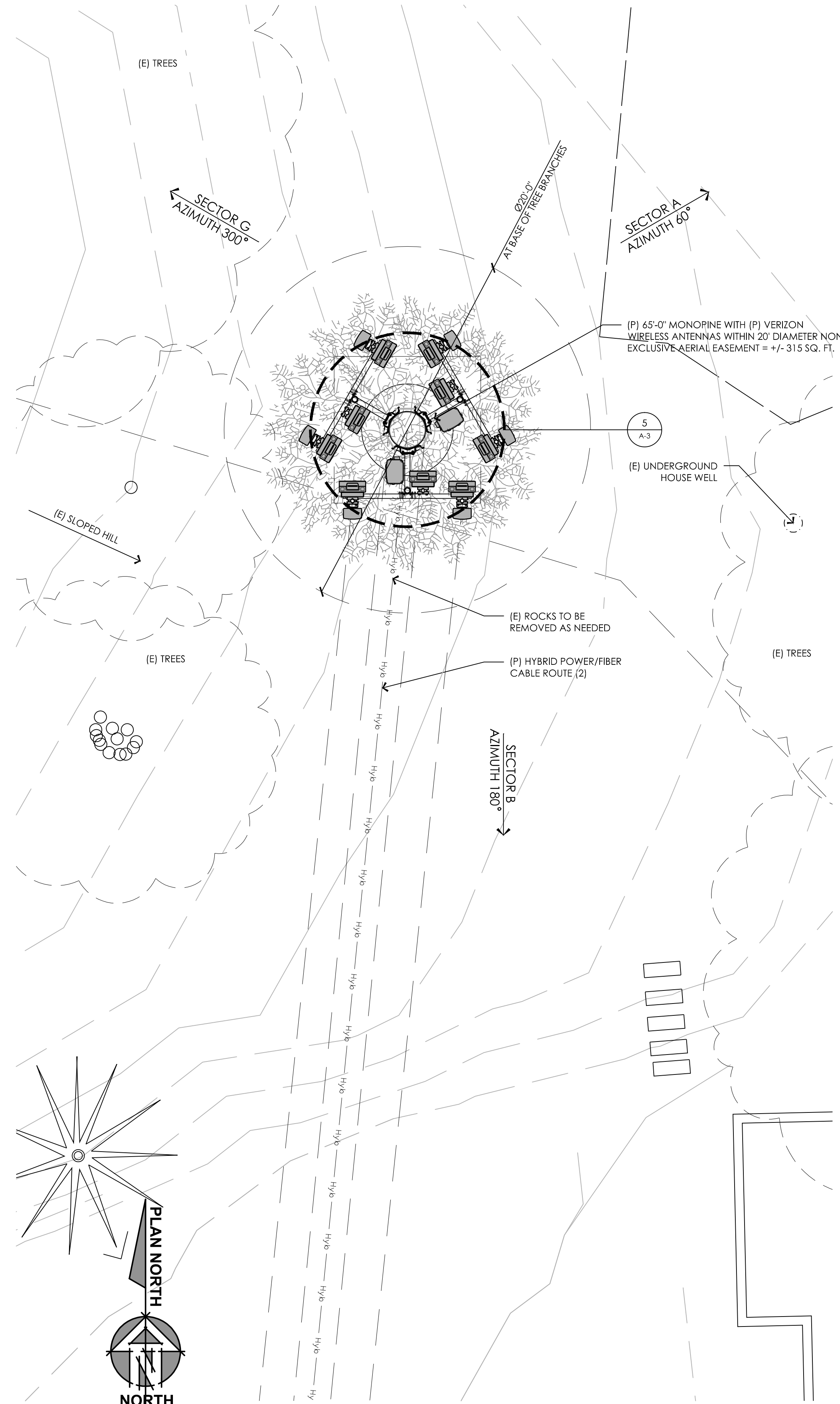
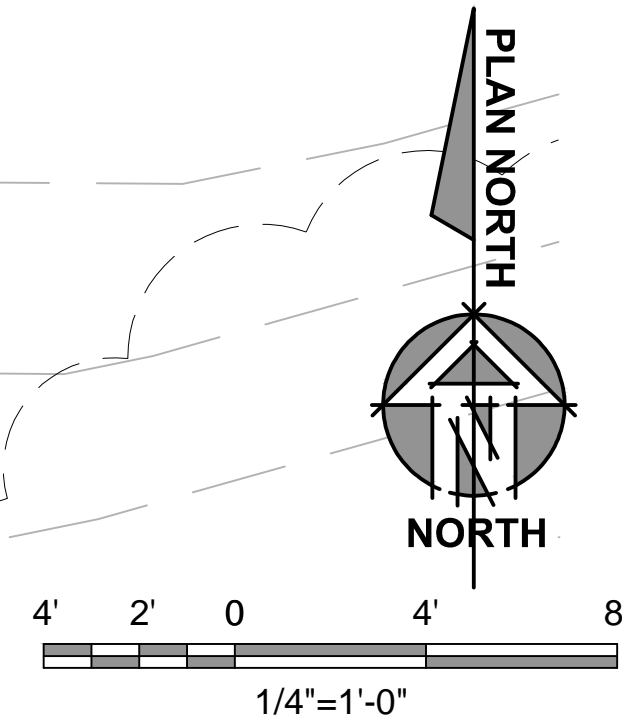
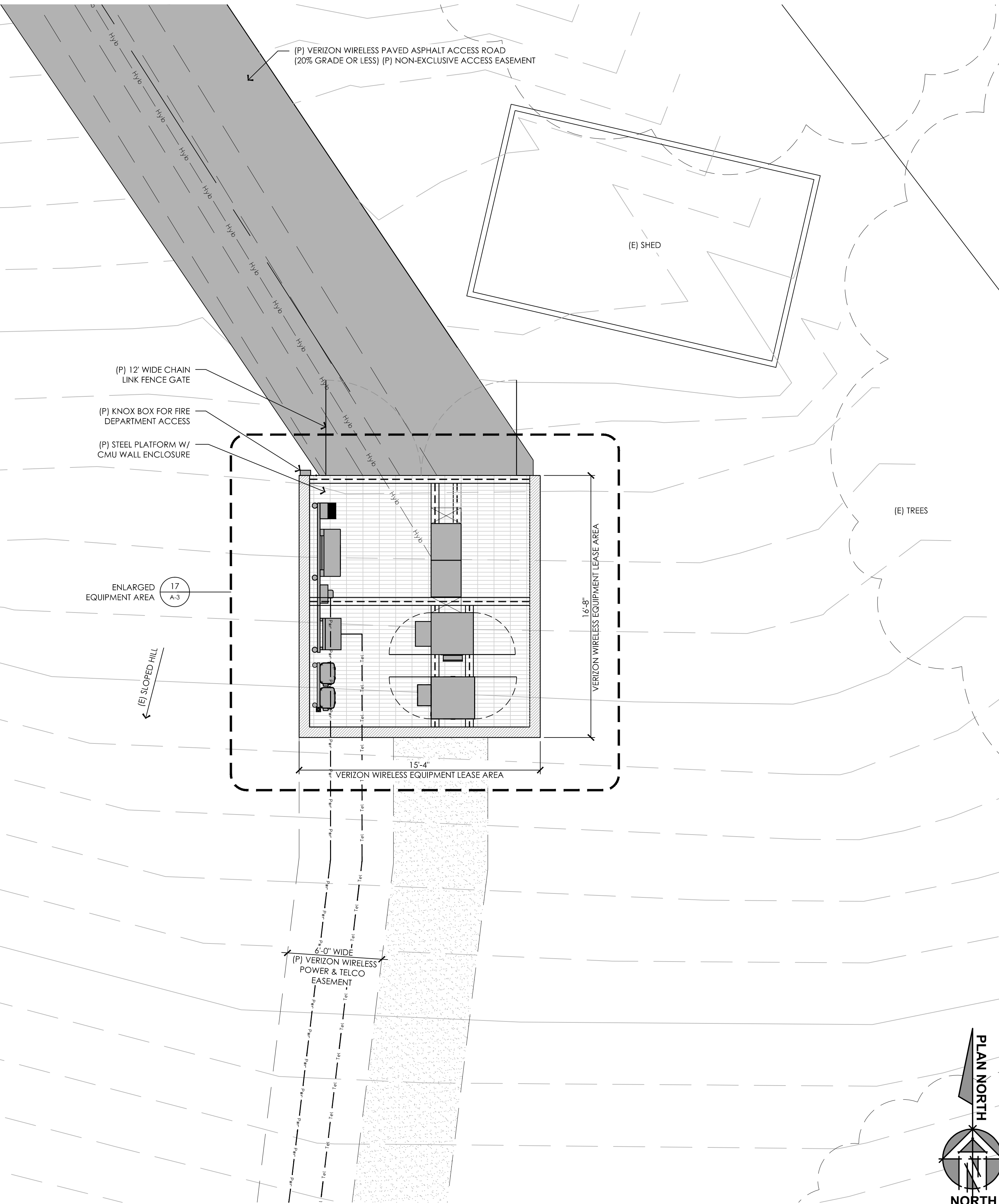
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

Issued For:
 03/15/16
 90% ZD Sub

SHEET TITLE:
OVERALL SITE PLAN

SHEET NUMBER:
A-1





NOTE:
30'-0" AROUND SITE IN ALL DIRECTIONS
TO BE CLEARED OF DRY WEEDS OR
DEAD VEGETATION OF 2' OR LESS

17 ENLARGED SITE PLAN
1/4"=1'-0"

5 ENLARGED SITE PLAN- MONOPINE LOCATION
1/4"=1'-0"

PREPARED FOR



295 Parkshore Drive
Folsom, California 94630

Vendor:



Project Address:

4131 Birdseye View Lane
Placerville, CA 95667

Architect:



PROJECT NO: 20130913306

LOCATION NO: 269257

DRAWN BY: J.V.M.

CHECKED BY: B.K.W.

REV	DATE	DESCRIPTION
A	03/15/16	90% ZD Submittal

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Issued For:

03/15/16
90% ZD Sub

SHEET TITLE:

ENLARGED
SITE PLAN

SHEET NUMBER:

A-2

14002-31

PREPARED FOR



295 Parkshore Drive
Folsom, California 94630

Vendor:



8700 Auburn Folsom Road, Suite 400
Granite Bay, California 95746

Project Address:

4131 Birdseye View Lane
Placerville, CA 95667

Architect:



PROJECT NO: 20130913306

LOCATION NO: 269257

DRAWN BY: J.V.M.

CHECKED BY: B.K.W.

REV	DATE	DESCRIPTION
A	03/15/16	90% ZD Submittal

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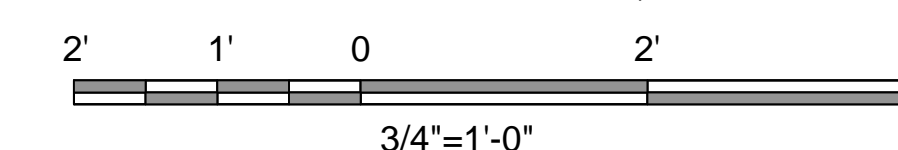
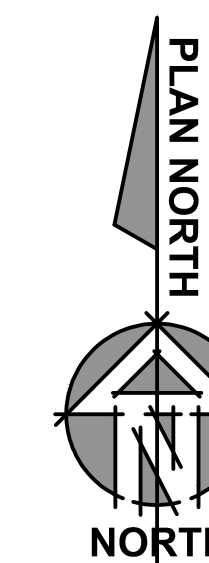
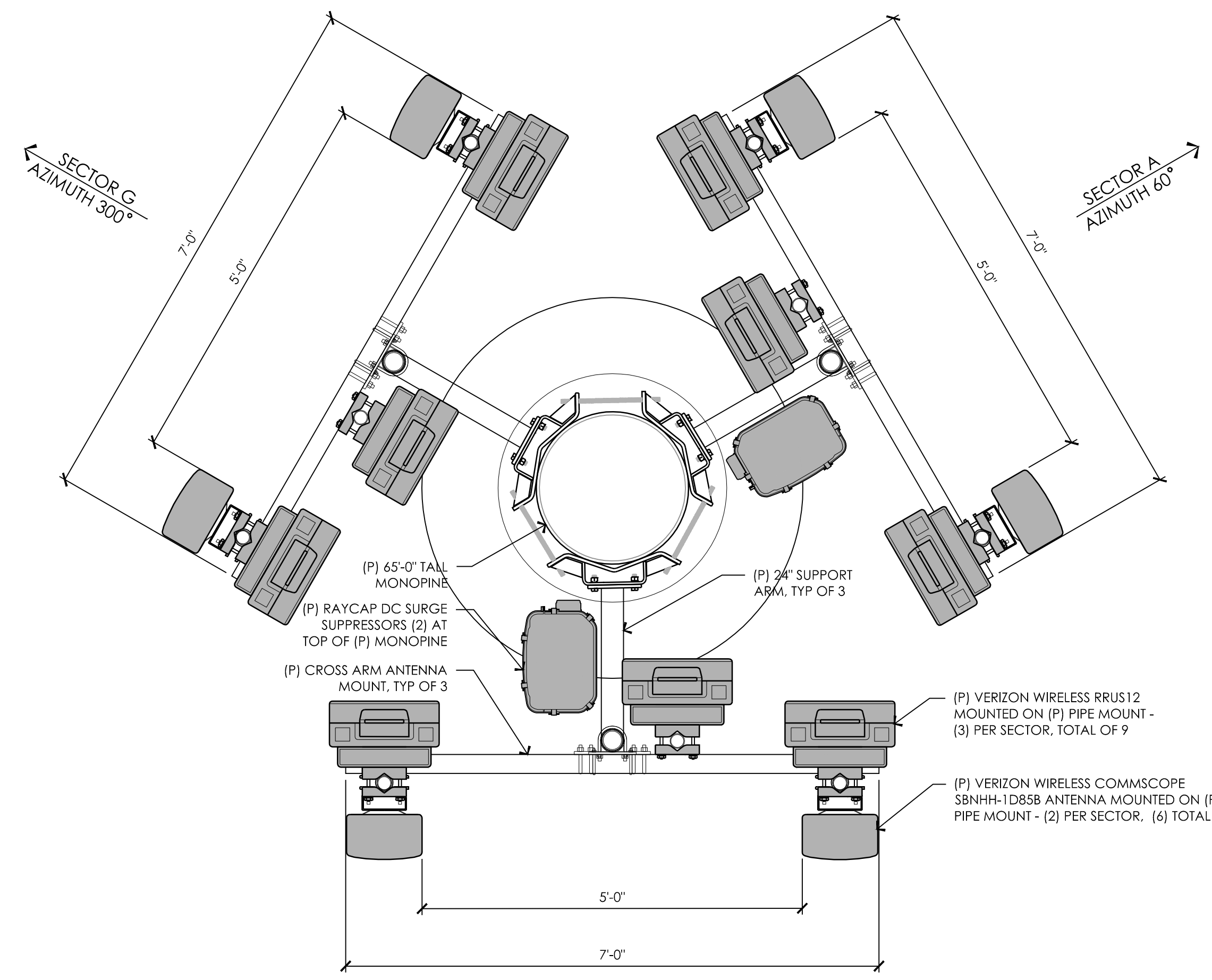
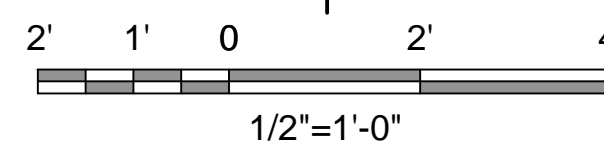
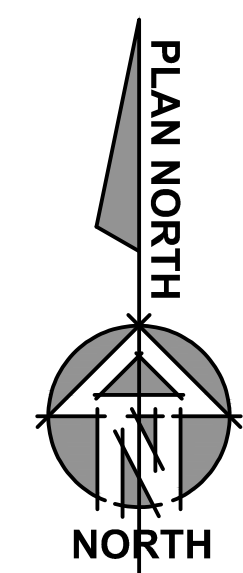
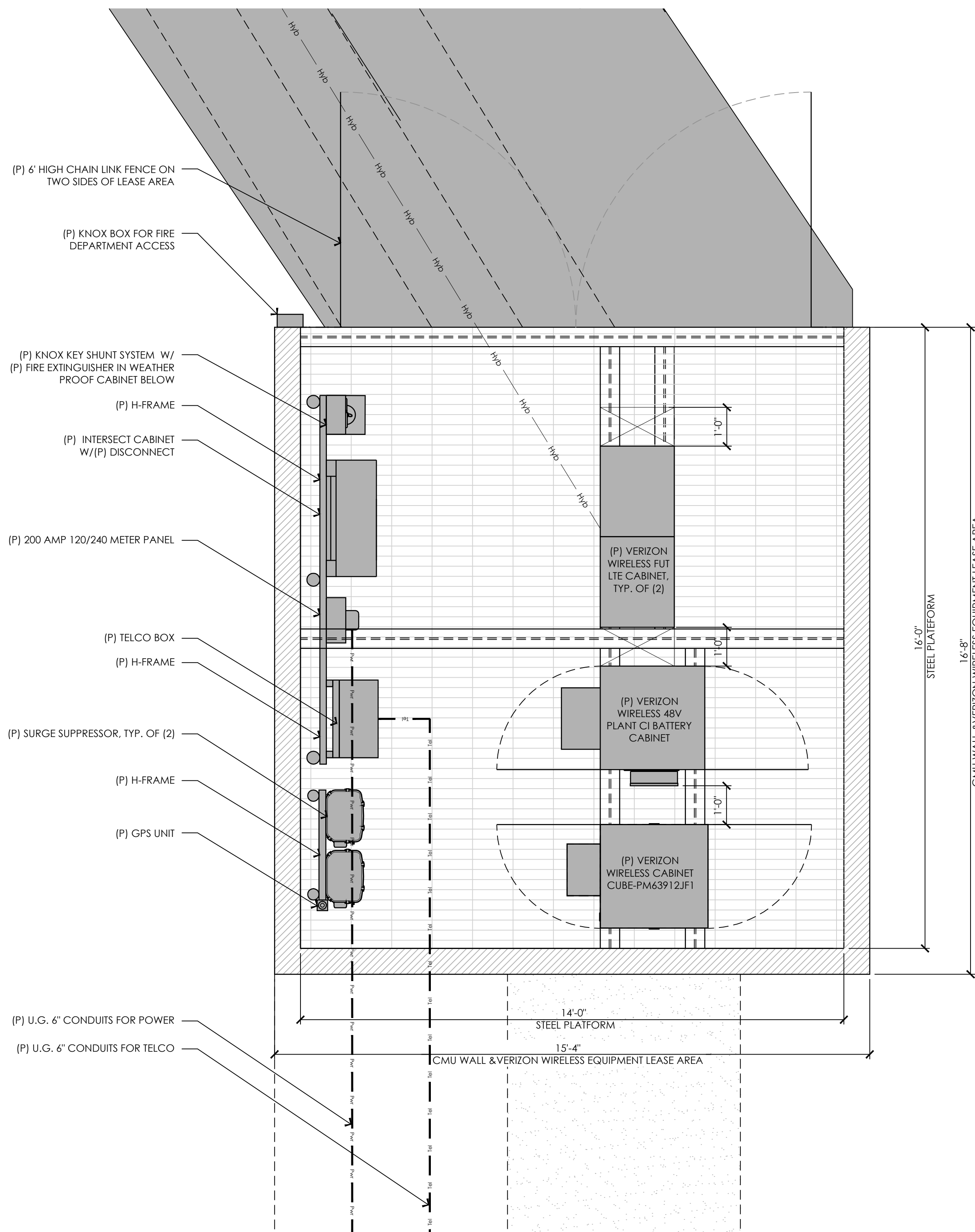
90% ZD Sub

SHEET TITLE:

EQUIPMENT &
ANTENNA LAYOUTS

SHEET NUMBER:

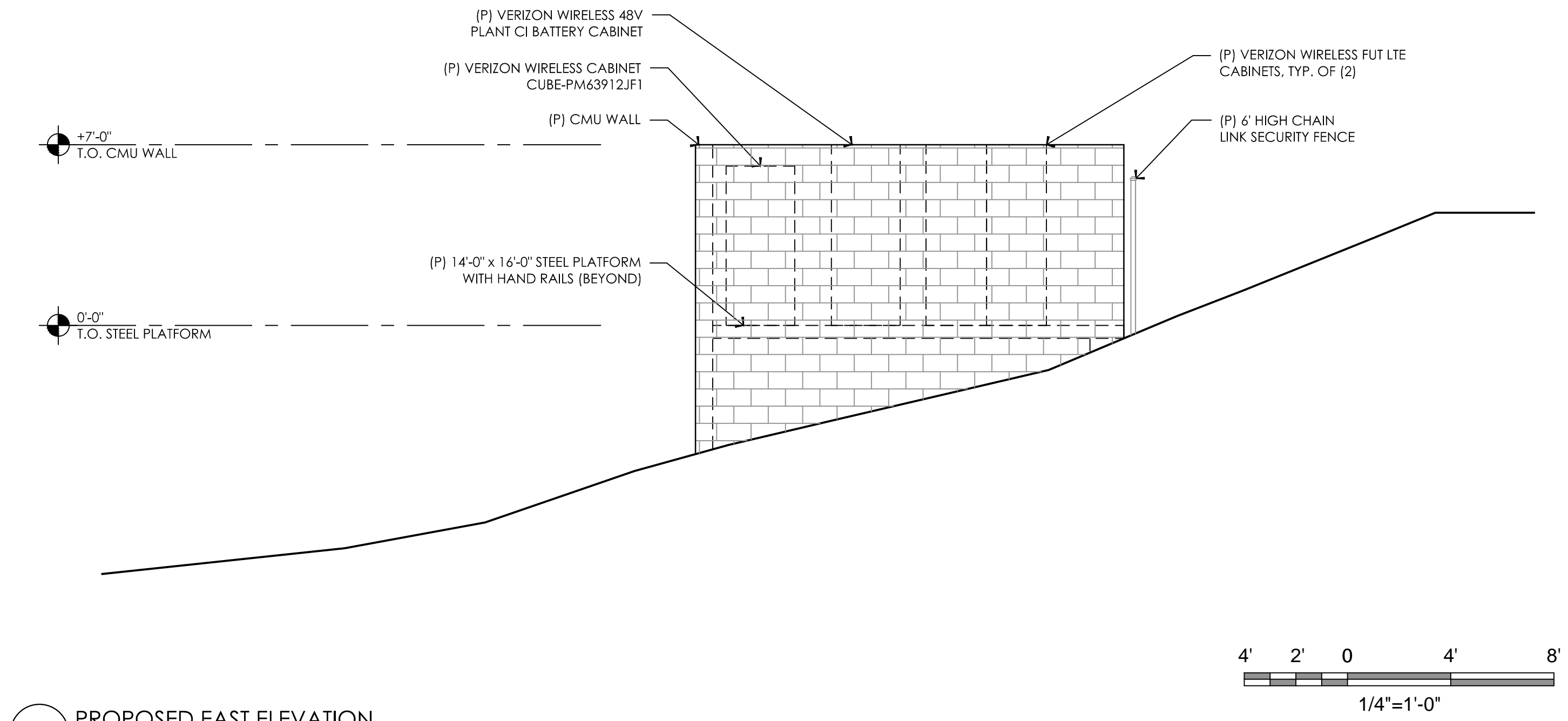
A-3



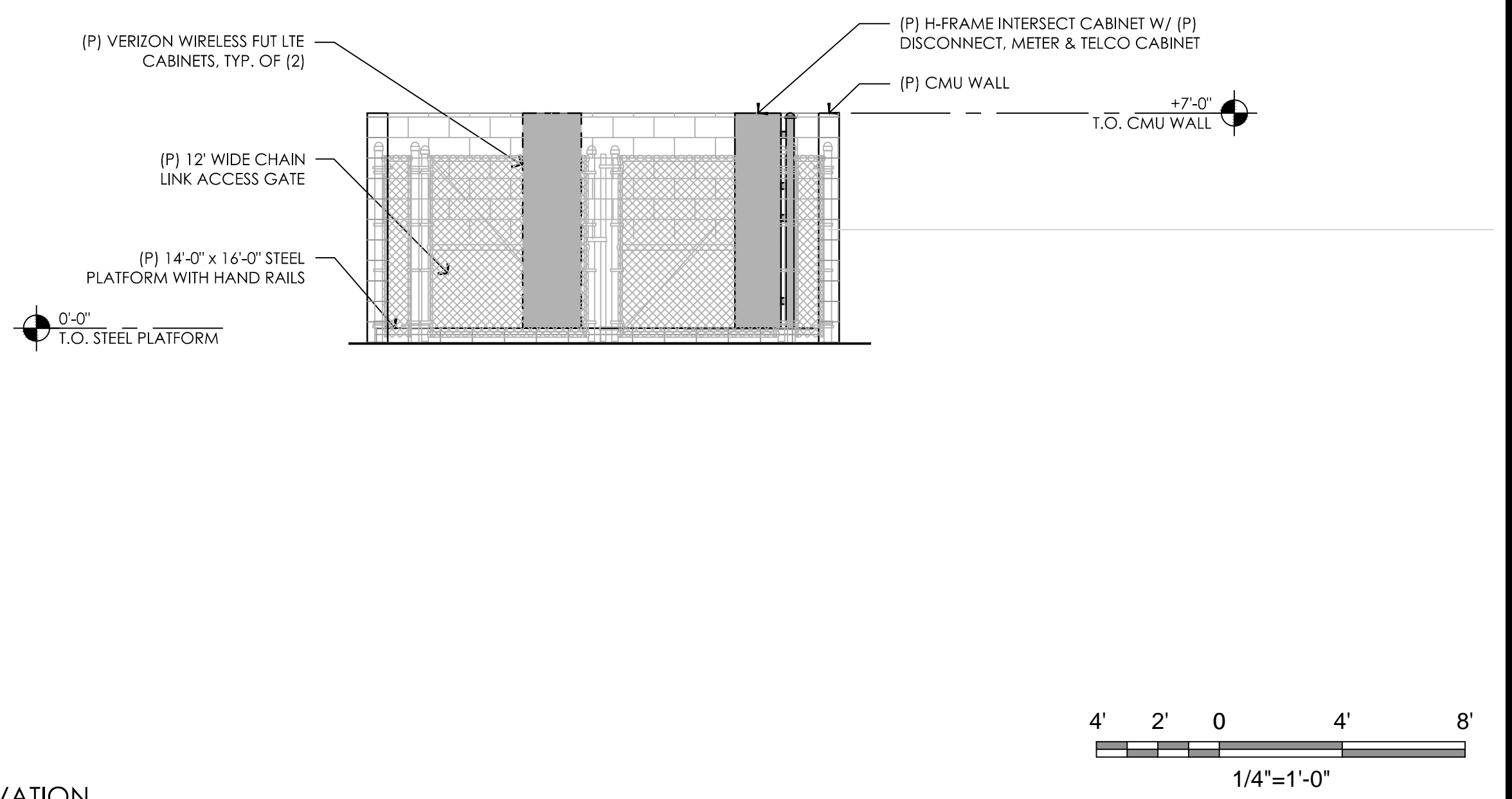
17 ENLARGED EQUIPMENT AREA
1/2" = 1'-0"

5 ENLARGED ANTENNA LAYOUT
3/4" = 1'-0"

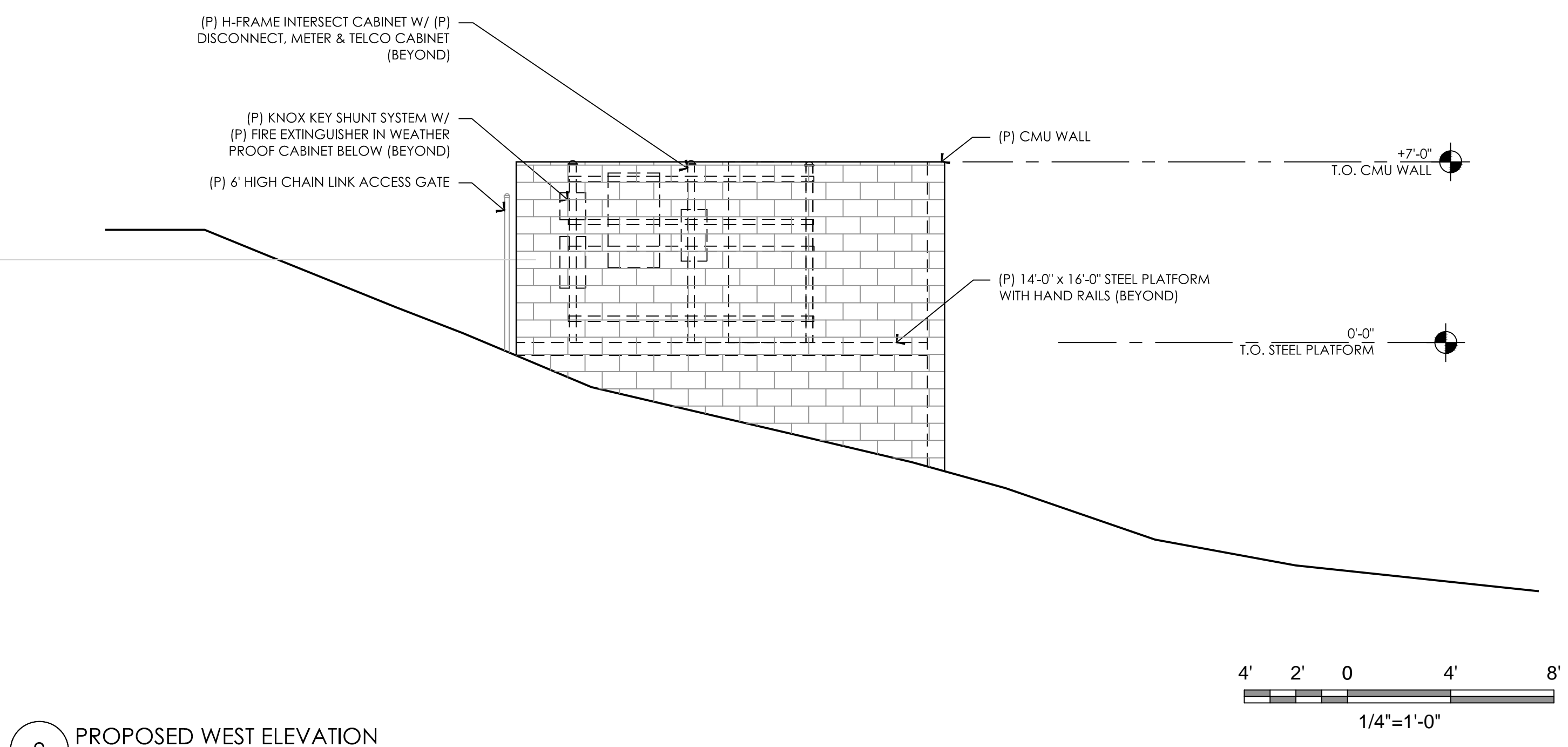
14002-31



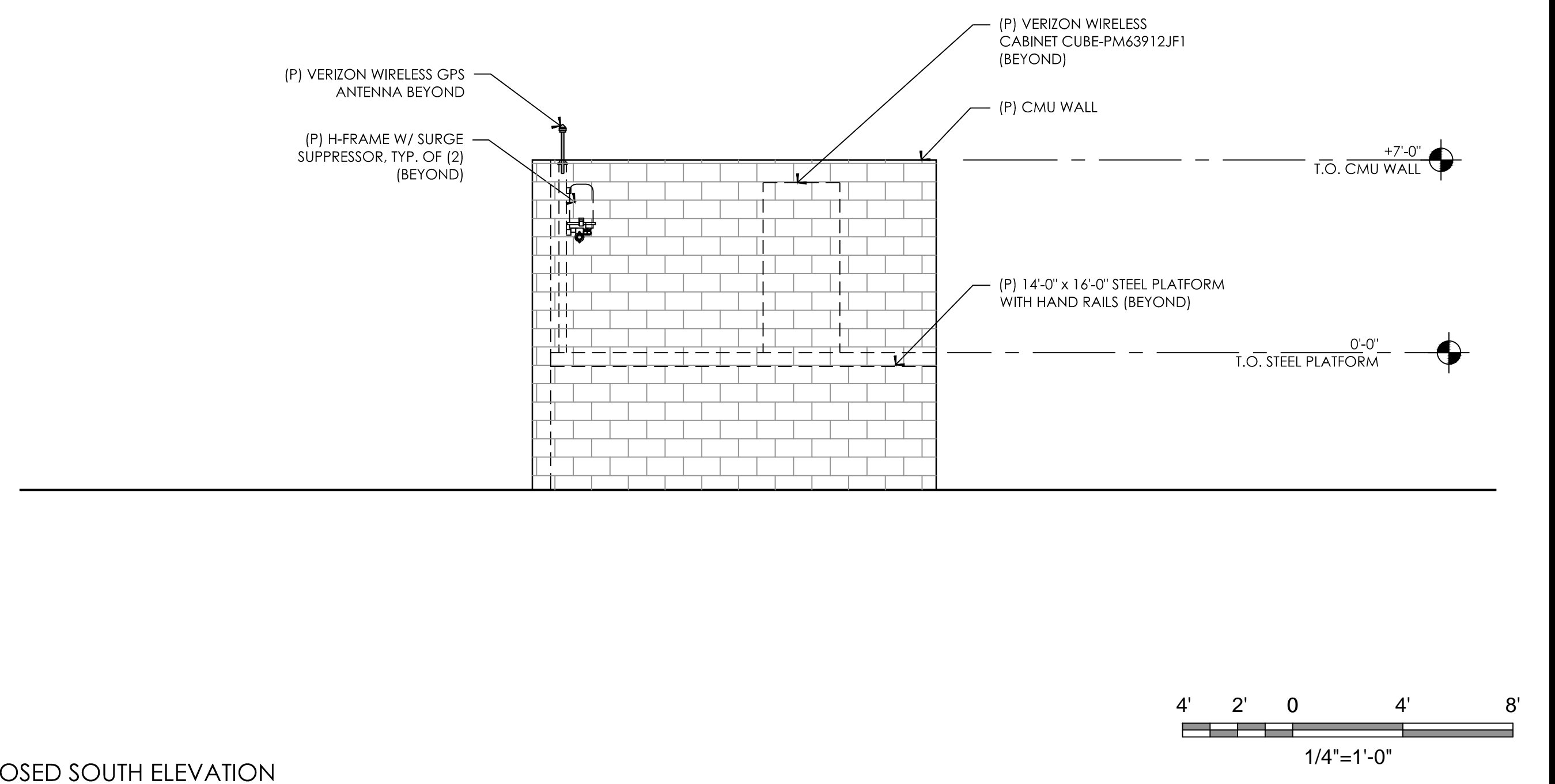
19 PROPOSED EAST ELEVATION
1/4"=1'-0"



11 PROPOSED NORTH ELEVATION
1/4"=1'-0"



9 PROPOSED WEST ELEVATION
1/4"=1'-0"



17 PROPOSED SOUTH ELEVATION
1/4"=1'-0"

PREPARED FOR
verizon
295 Parkshore Drive
Folsom, California 94630

Vendor:
EPIC WIRELESS GROUP INC.
8700 Auburn Folsom Road, Suite 400
Granite Bay, California 95746

Project Address:
4131 Birdseye View Lane
Placerville, CA 95667

Architect:
Borges
ARCHITECTURAL GROUP
PLANNING INTERIORS
415 STONE POINT DRIVE SUITE 300
ROCKVILLE, MD 20850
TEL: 301 752 2555 FAX: 301 752 2527
BORGESARCH.COM

PROJECT NO: 20130913306
LOCATION NO: 269257
DRAWN BY: J.V.M.
CHECKED BY: B.K.W.

REV	DATE	DESCRIPTION
A	03/15/16	90% ZD Submittal

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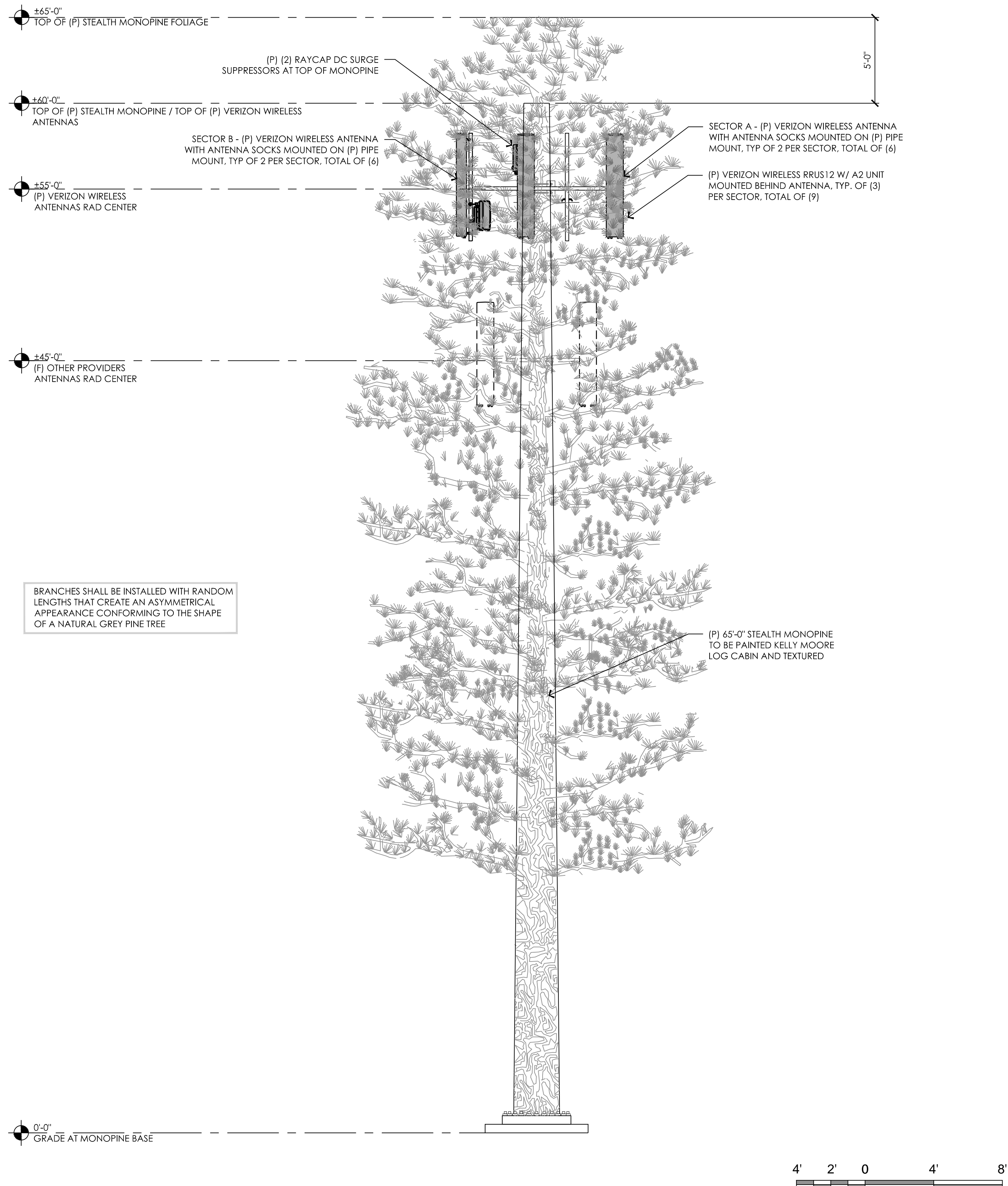
Issued For:
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SHEET TITLE:
ELEVATIONS

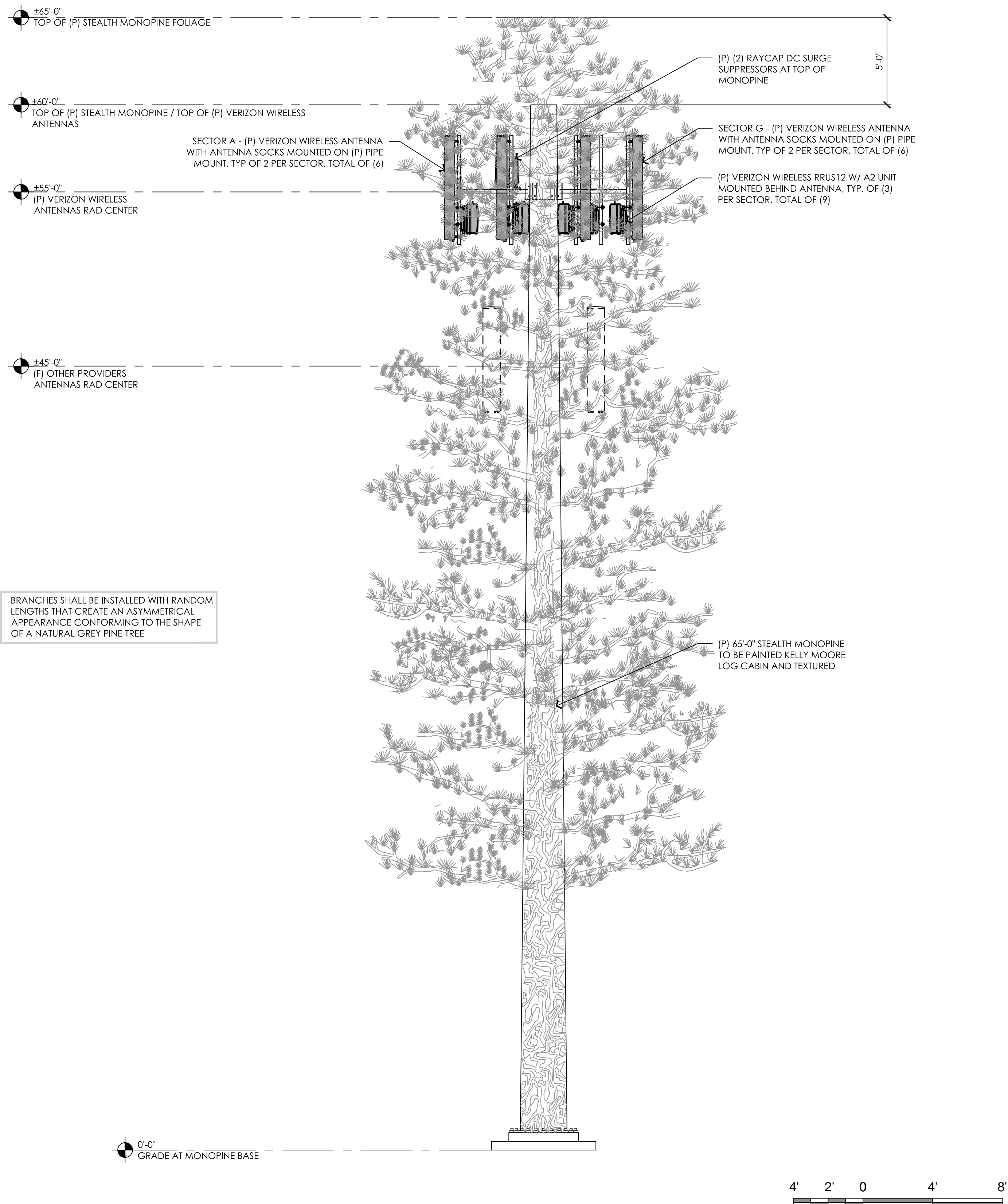
SHEET NUMBER:
A-4.1

Plot Date: 03/15/16 10:54:59 AM File Name: 13011415_14002-31_Architectural - Epic Wireless (2) 14002-31_Architectural - Epic Wireless.dwg Plotted By: jvanderweide

14002-31



17 PROPOSED EAST ELEVATION- MONOPINE
1/4" = 1'-0"



9 PROPOSED NORTH ELEVATION- MONOPINE
1/4" = 1'-0"

PREPARED FOR



295 Parkshore Drive
Folsom, California 94630

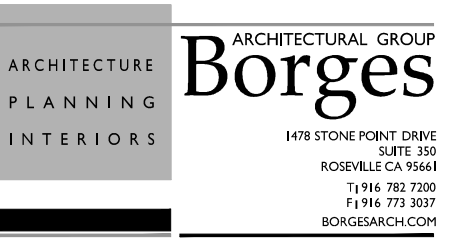
Vendor:



Project Address:

4131 Birdseye View Lane
Placerville, CA 95667

Architect:



PROJECT NO: 20130913306

LOCATION NO: 269257

DRAWN BY: J.V.M.

CHECKED BY: B.K.W.

REV	DATE	DESCRIPTION
A	03/15/16	90% ZD Submittal

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SHEET TITLE:

ELEVATIONS

SHEET NUMBER:

A-4.2

14002-31

PREPARED FOR



295 Parkshore Drive
Folsom, California 94630

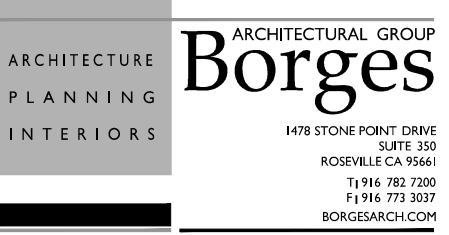
Vendor:



Project Address:

4131 Birdseye View Lane
Placerville, CA 95667

Architect:



PROJECT NO: 20130913306

LOCATION NO: 269257

DRAWN BY: J.V.M.

CHECKED BY: B.K.W.

REV	DATE	DESCRIPTION
A	03/15/16	90% ZD Submittal

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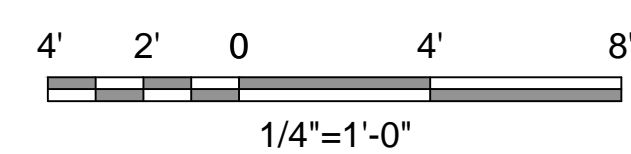
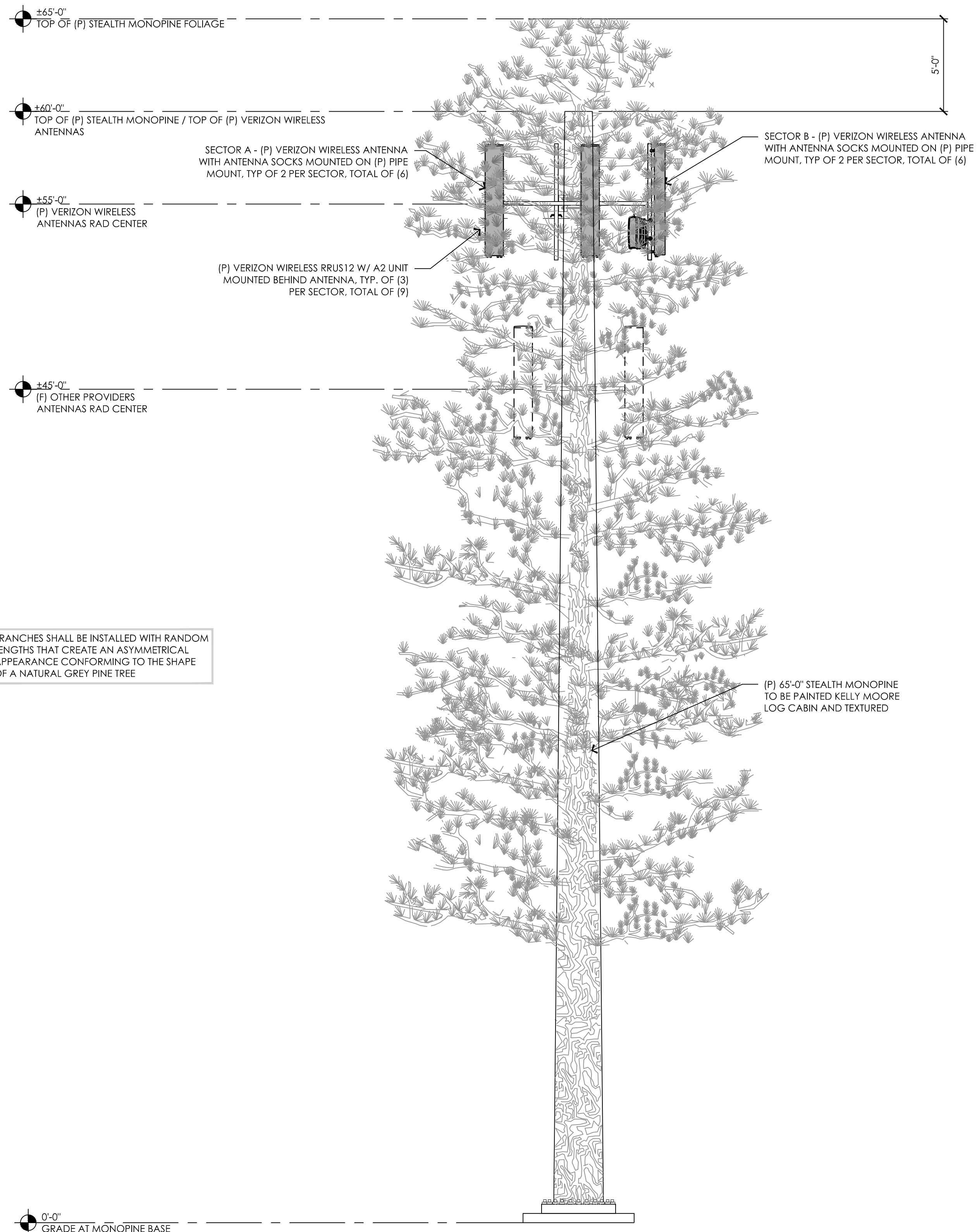
90% ZD Sub

SHEET TITLE:

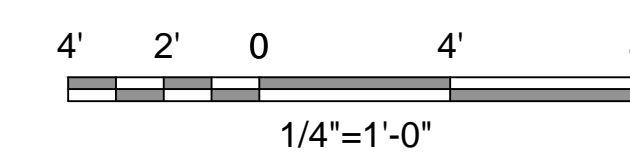
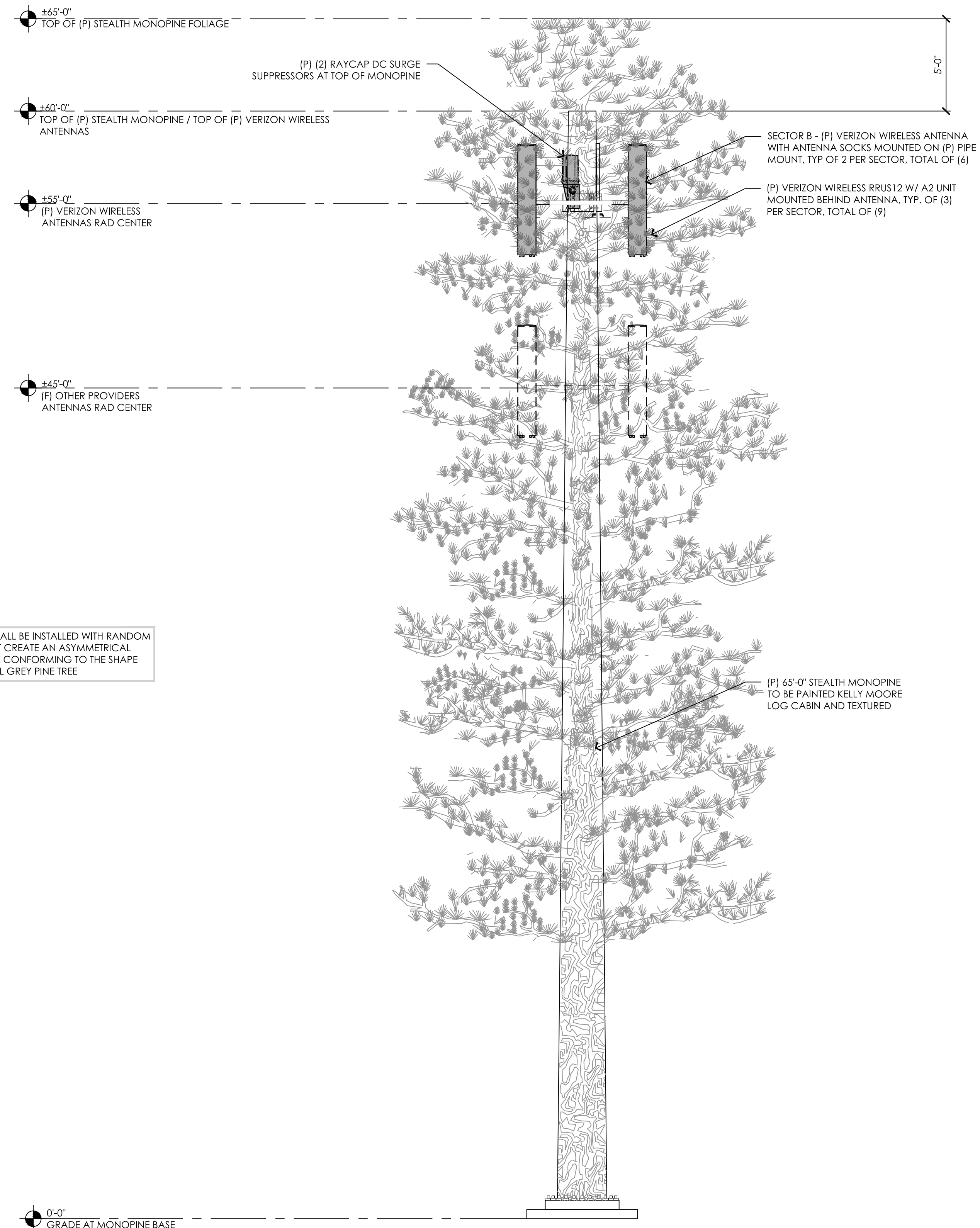
ELEVATIONS

SHEET NUMBER:

A-4.3



17 PROPOSED WEST ELEVATION- MONOPINE
1/4" = 1'-0"



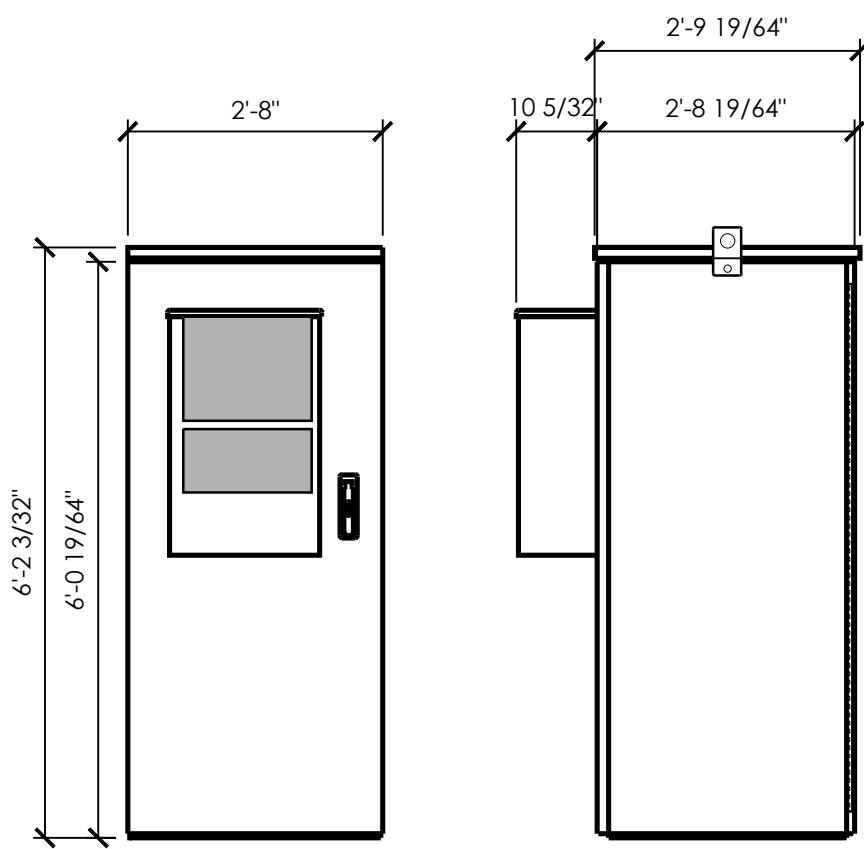
9 PROPOSED SOUTH ELEVATION- MONOPINE
1/4" = 1'-0"

P:\Projects\16-0041\16-0041-31.dwg, Epic Wireless Group, 2016/03/15, 10:45:11 AM, J. V. Moore, 1/4" = 1'-0", 16-0041-31.dwg, 16-0041-31.dwg, 16-0041-31.dwg

16-0041-31

CUBE-PM63912JF1 CABINET SPECIFICATIONS

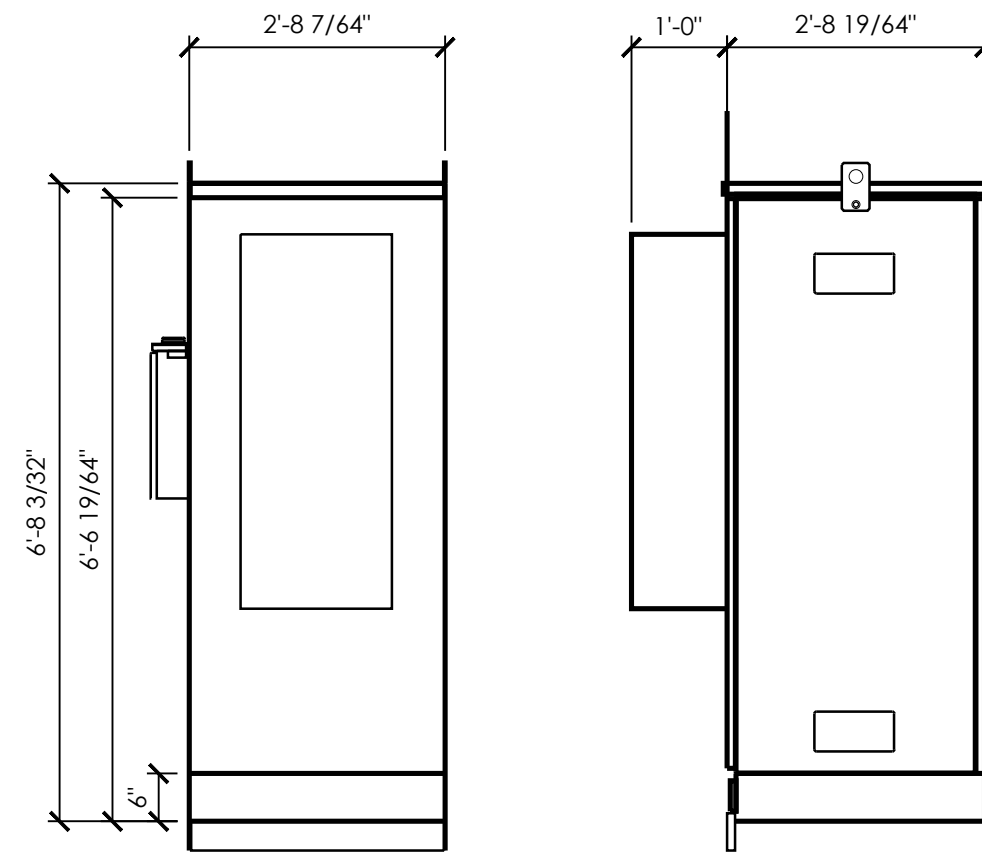
COLOR: OFF WHITE
 DIMENSIONS: 2'-8" WIDE X 6'-2" TALL X 2'-8" DEEP
 WEIGHT: +/- 350 LBS. (SHIPPED)



15 CUBE-PM63912JF1 CABINET
 1/2" = 1'-0"

CUBE-PM63912UCI CABINET SPECIFICATIONS

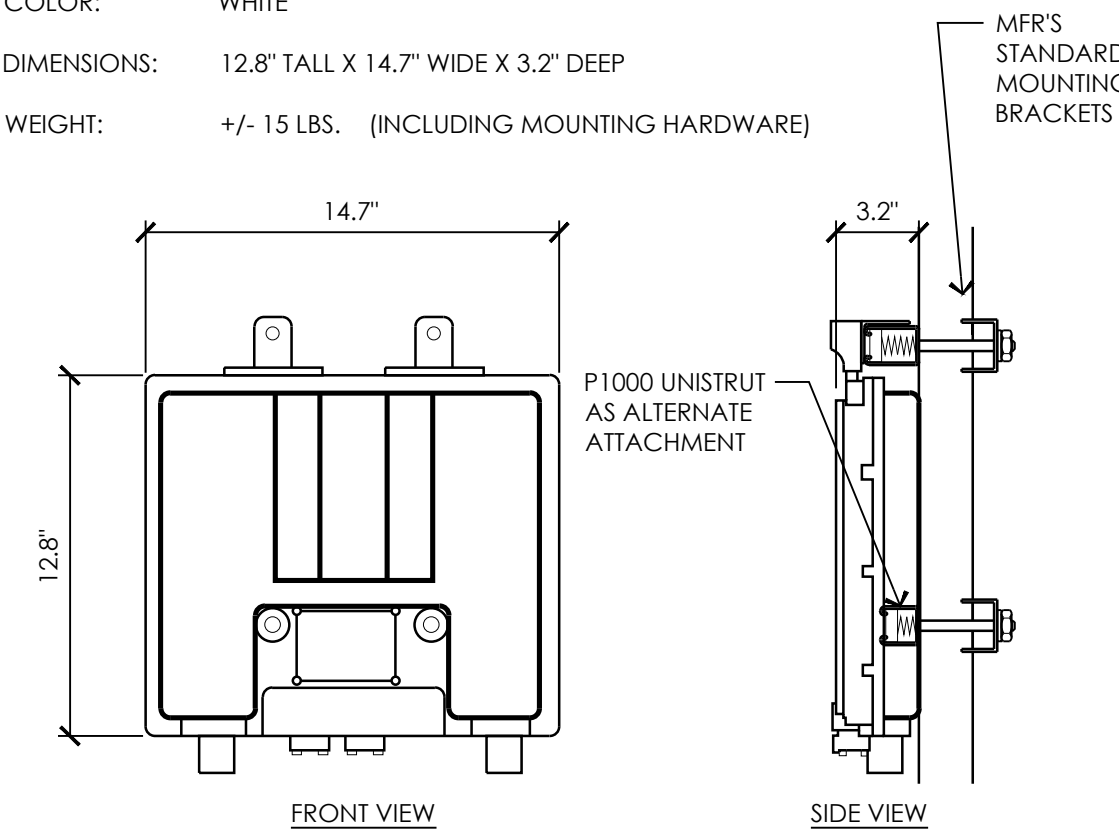
COLOR: OFF WHITE
 DIMENSIONS: 32.0" WIDE X 80.1" TALL X 32.3" DEEP
 WEIGHT: +/- 350 LBS. (SHIPPED)



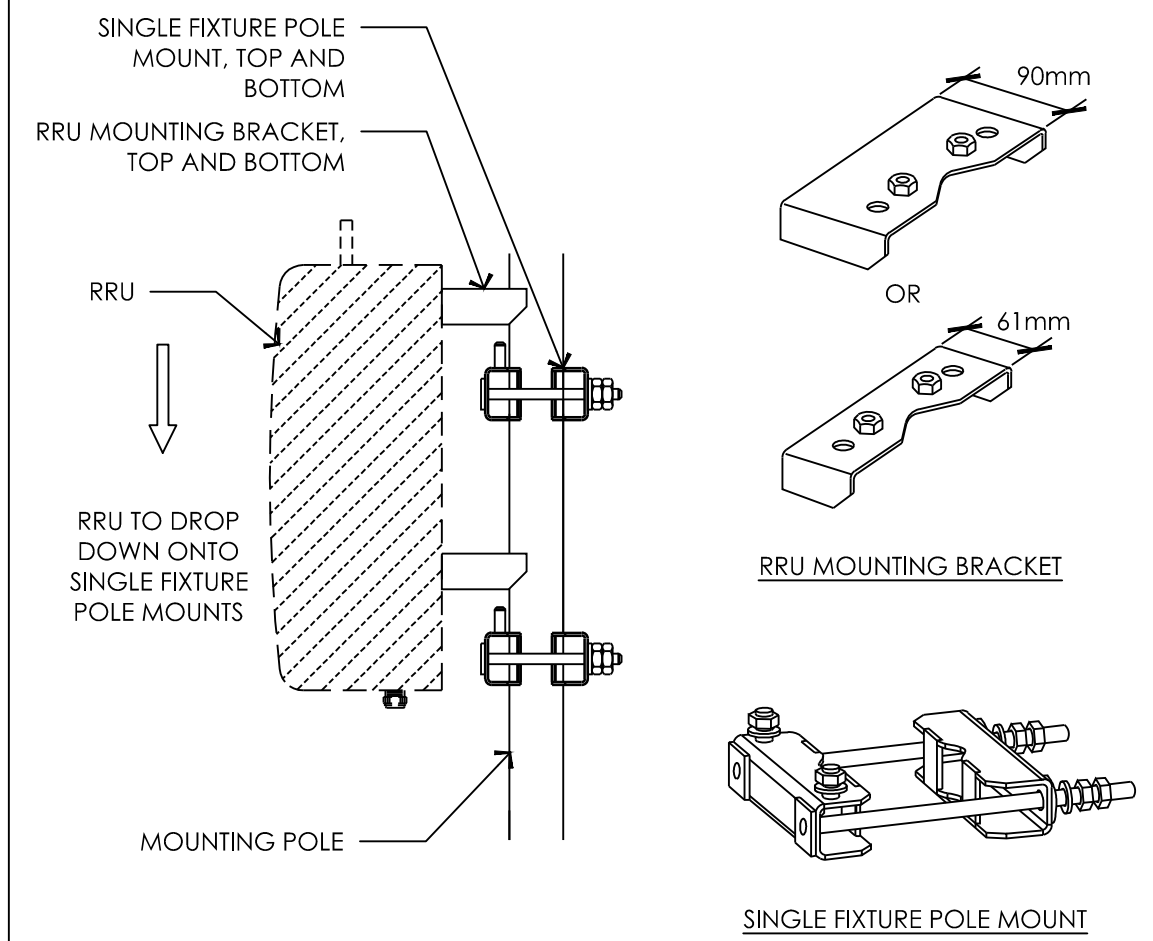
11 CUBE-PM63912UCI CABINET
 1/2" = 1'-0"

ERICSSON RRUS A2 REMOTE RADIO UNIT

COLOR: WHITE
 DIMENSIONS: 12.8" TALL X 14.7" WIDE X 3.2" DEEP
 WEIGHT: +/- 15 LBS. (INCLUDING MOUNTING HARDWARE)

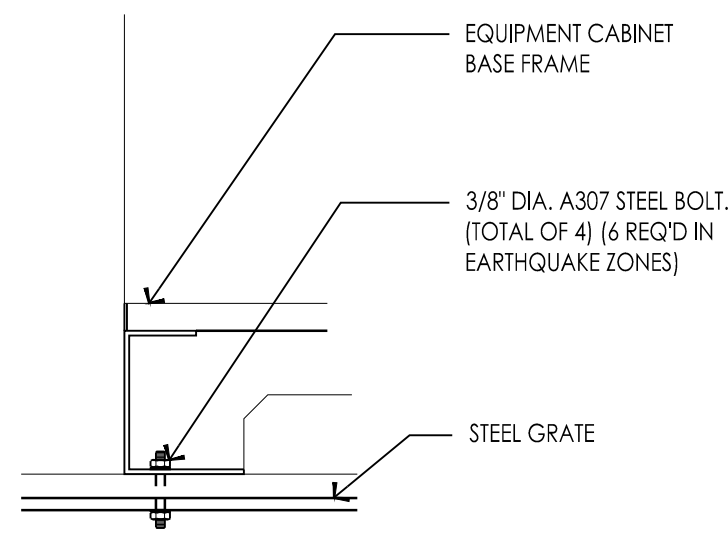


8 ERICSSON RRUS A2 REMOTE RADIO UNIT
 1 1/2" = 1'-0"

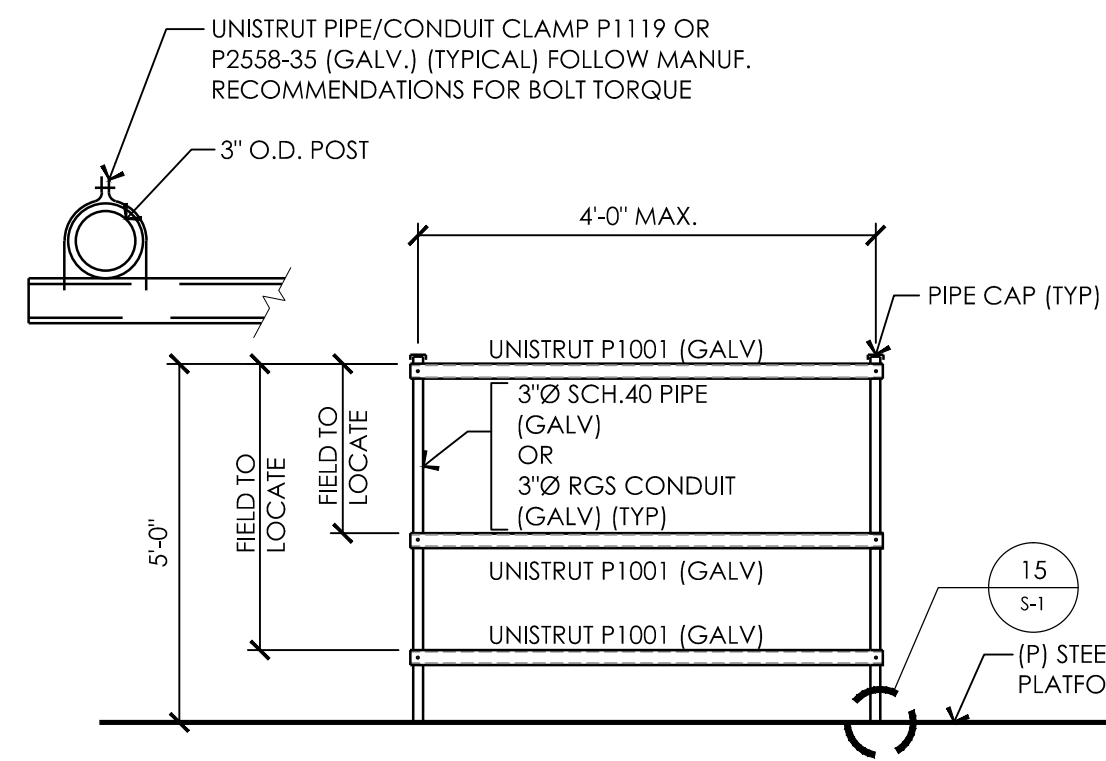


7 RRU MOUNTING DETAIL - POLE
 3/4" = 1'-0"

* REFER TO BOLTING PATTERN DETAIL FOR BOLT LAYOUT AND SPACING



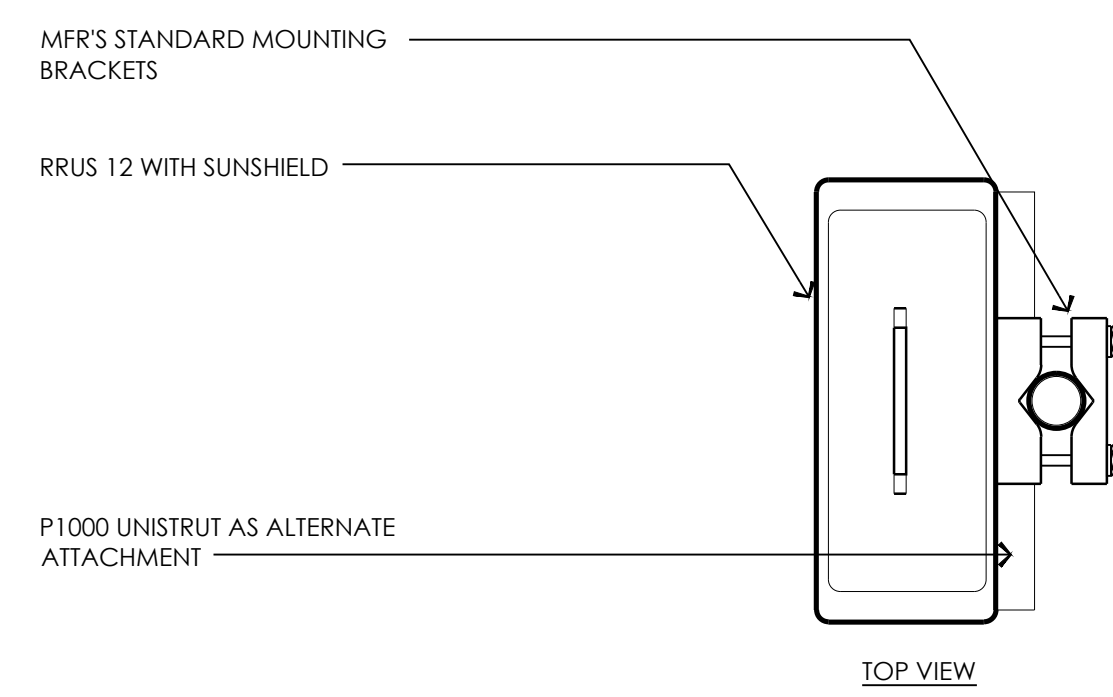
18 EQUIPMENT ATTACHMENT
 1 1/2" = 1'-0"



14 H FRAME MOUNT
 3/8" = 1'-0"

ERICSSON RRUS 12 REMOTE RADIO UNIT

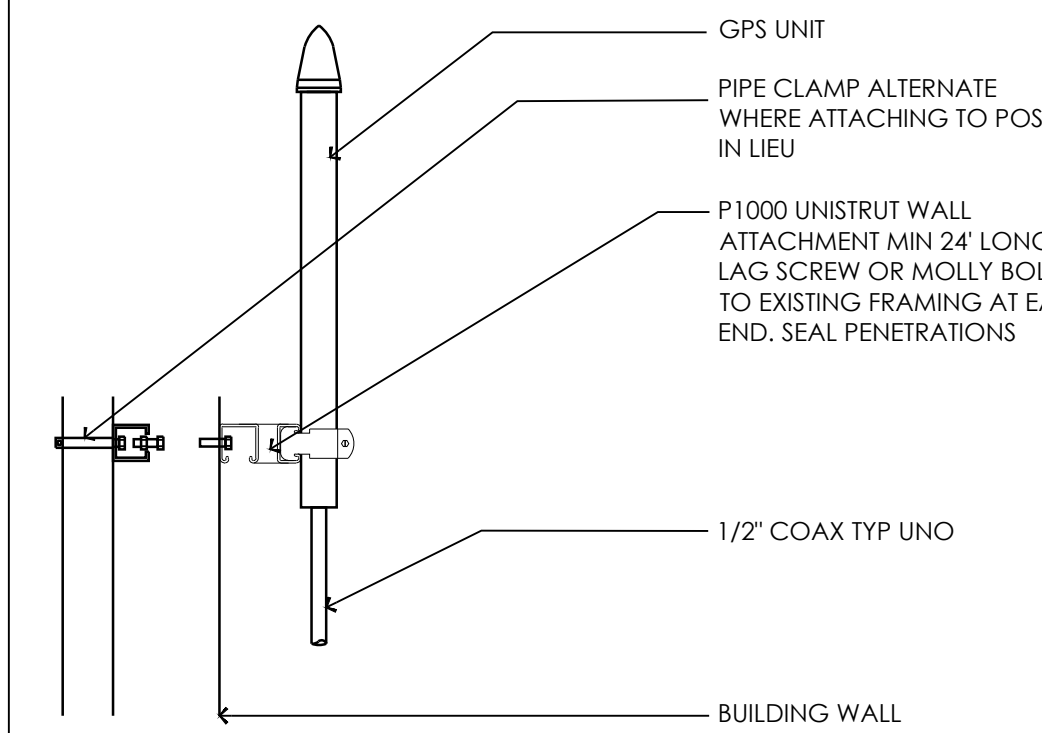
COLOR: WHITE
 DIMENSIONS: 20.4" TALL X 18.5" WIDE X 7.5" DEEP (INCLUDING SUNSHIELD)
 WEIGHT: +/- 50 LBS. (INCLUDING MOUNTING HARDWARE)



9 ERICSSON RRUS 12 REMOTE RADIO UNIT
 1 1/2" = 1'-0"

NOTES:

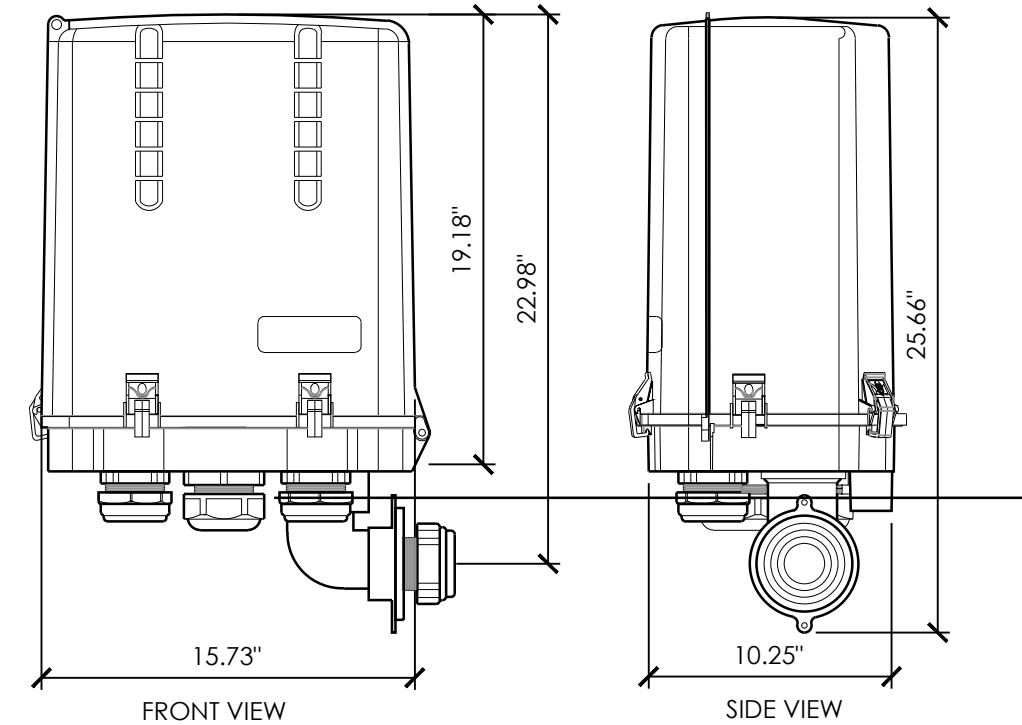
THE ELEVATION AND LOCATION OF THE GPS ANTENNA SHALL BE IN ACCORDANCE WITH THE FINAL RF REPORT.



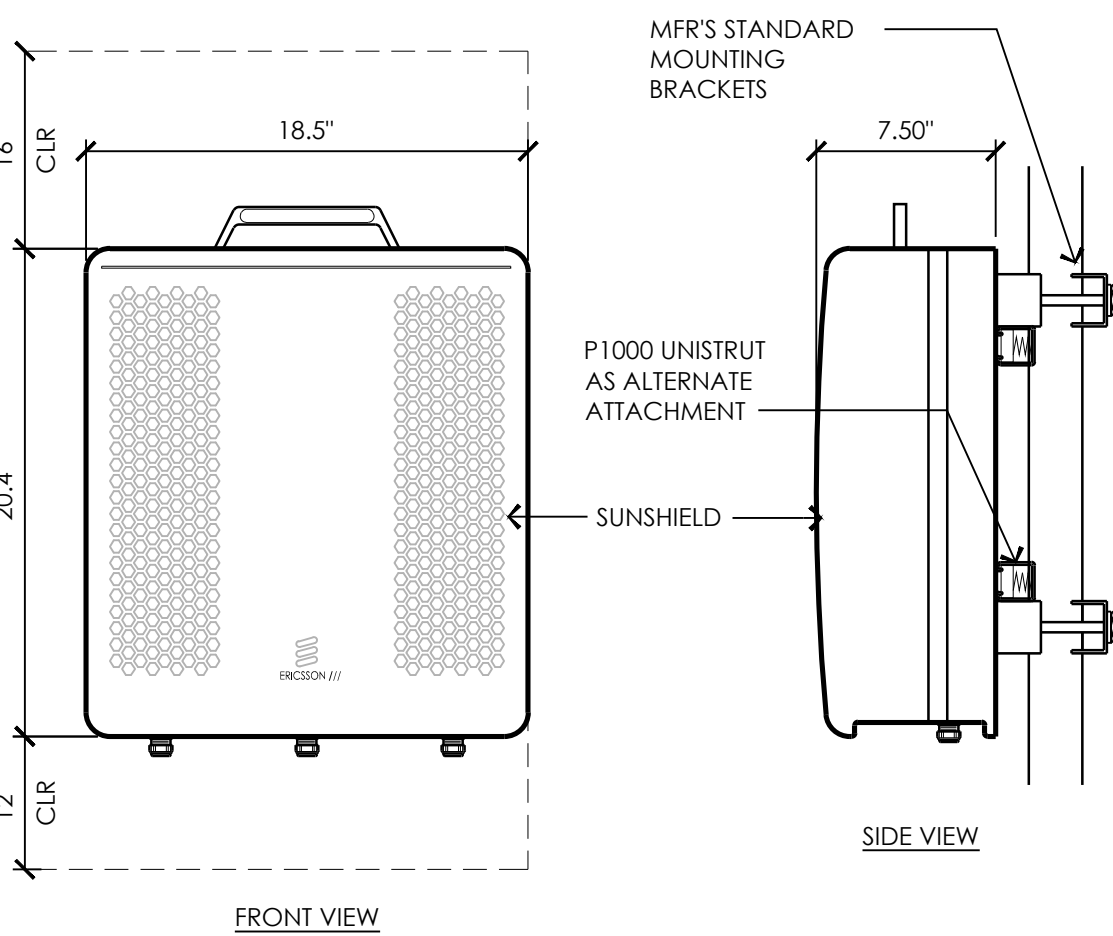
6 GPS MOUNT DETAIL
 3/4" = 1'-0"

RAYCAP RCMD-3315PF-48 SURGE SUPPRESSION SOLUTION

COLOR: LIGHT GRAY
 DIMENSIONS: 15.73" WIDE X 25.66" TALL X 10.25" DEEP
 WEIGHT: +/- 26.9 LBS. (INCLUDING MOUNTING HARDWARE)



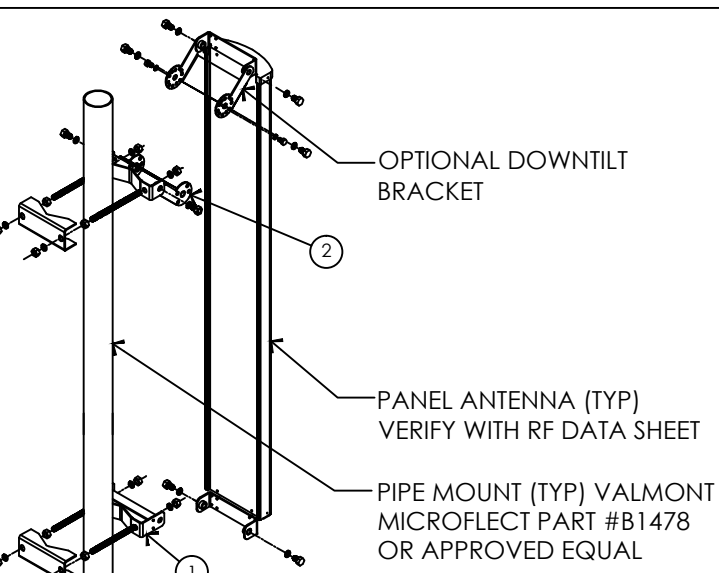
13 DC2 SURGE SUPPRESSION
 1 1/2" = 1'-0"



9 ERICSSON RRUS 12 REMOTE RADIO UNIT
 1 1/2" = 1'-0"

NOTES:

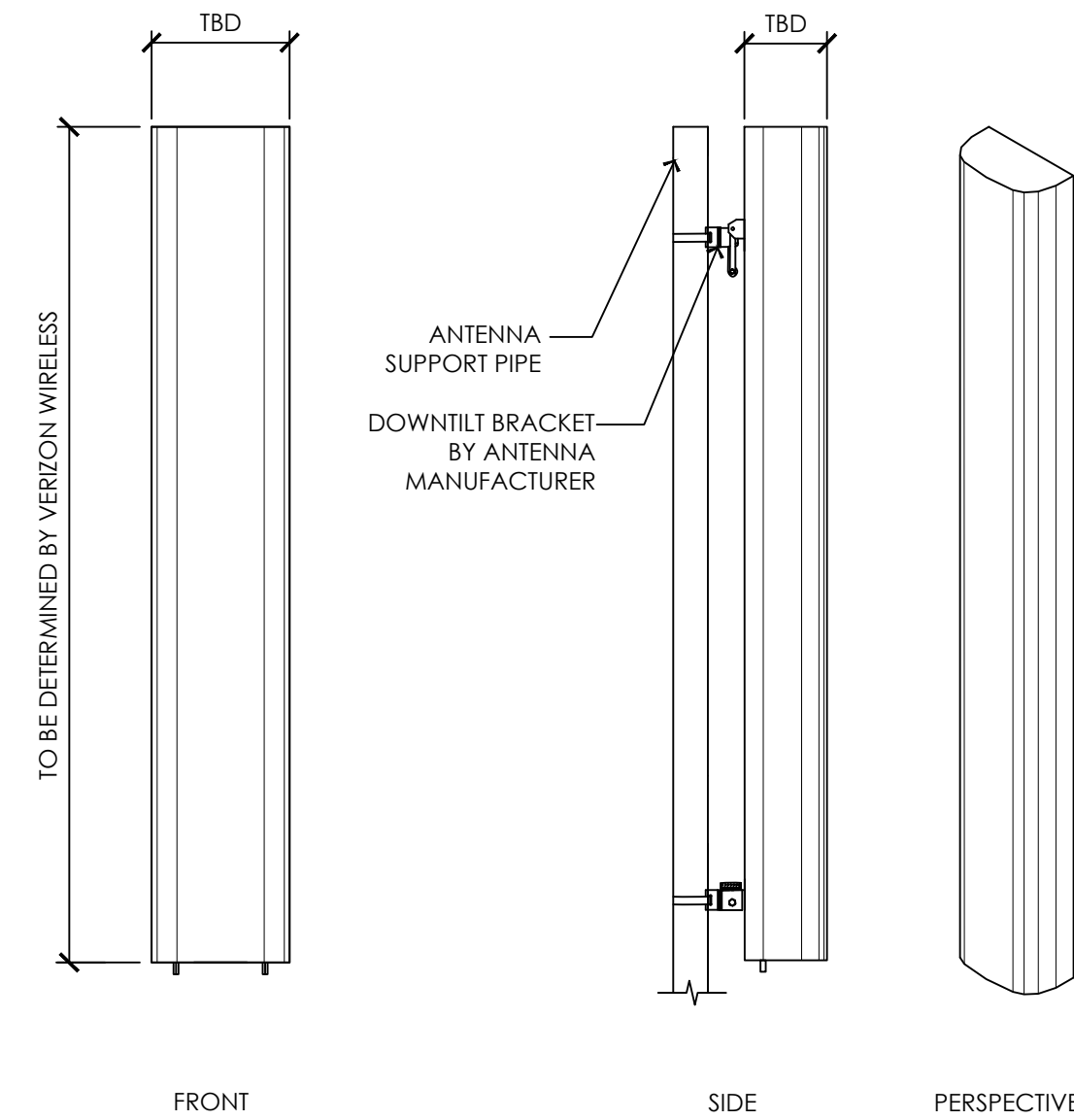
1) THE NUMBER OF CONNECTORS WILL VARY BASED ON ANTENNA TYPE.



ITEM	QTY	DESCRIPTION
1	1	ANTENNA BRACKET
2	1	DOWNTILT ANTENNA - REFER TO RF DATA SHEETS

CONTRACTOR TO VERIFY EXACT PARTS LIST AND ANTENNA INSTALLATION WITH MANUFACTURERS SPECIFICATIONS AND CONSTRUCTION MANAGER

5 ANTENNA MOUNT DETAIL
 3/4" = 1'-0"



ANTENNA = TO BE DETERMINE BY VERIZON WIRELESS
 WIND AREA = TO BE DETERMINE BY VERIZON WIRELESS
 WEIGHT = TO BE DETERMINE BY VERIZON WIRELESS

1 ANTENNA DETAIL - TBD
 3/4" = 1'-0"

PREPARED FOR

295 Parkshore Drive
 Folsom, California 94630

Vendor:

8700 Auburn Folsom Road, Suite 400
 Granite Bay, California 95746

Project Address:

4131 Birdseye View Lane
 Placerville, CA 95667

Architect:

415 STONE POINT DRIVE SUITE 200
 ROSHARON ECA TEXAS
 TX 75087-2000
 P: 972.727.2022
 BORGESARCH.COM

PROJECT NO: 20130913306
 LOCATION NO: 269257
 DRAWN BY: J.V.M.
 CHECKED BY: B.K.W.

REV	DATE	DESCRIPTION
A	03/15/16	90% ZD Submittal

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SHEET TITLE:

CONSTRUCTION DETAILS

SHEET NUMBER:

A-6

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EXHIBIT C

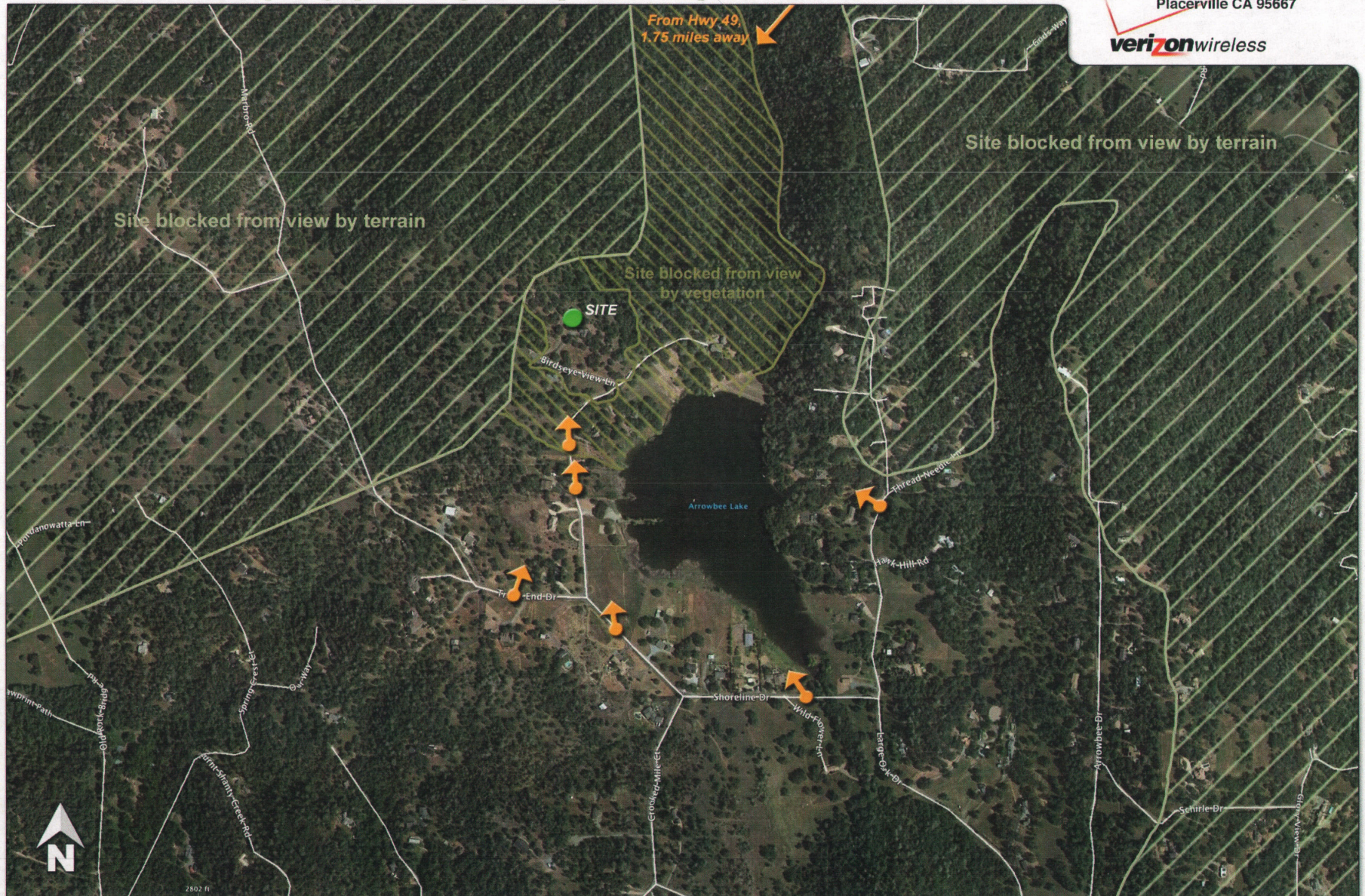
Version Date: March, 2016

Arrowbee Lake

4131 Birdseye View Lane
Placerville CA 95667



Aerial photograph showing the viewpoints for the photosimulations.



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16 MAR 21 PM 3:48

Version Date: March, 2016

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Existing

Photosimulation of the view looking northwest from Large Oak Drive, at a gap in the trees.

Arrowbee Lake

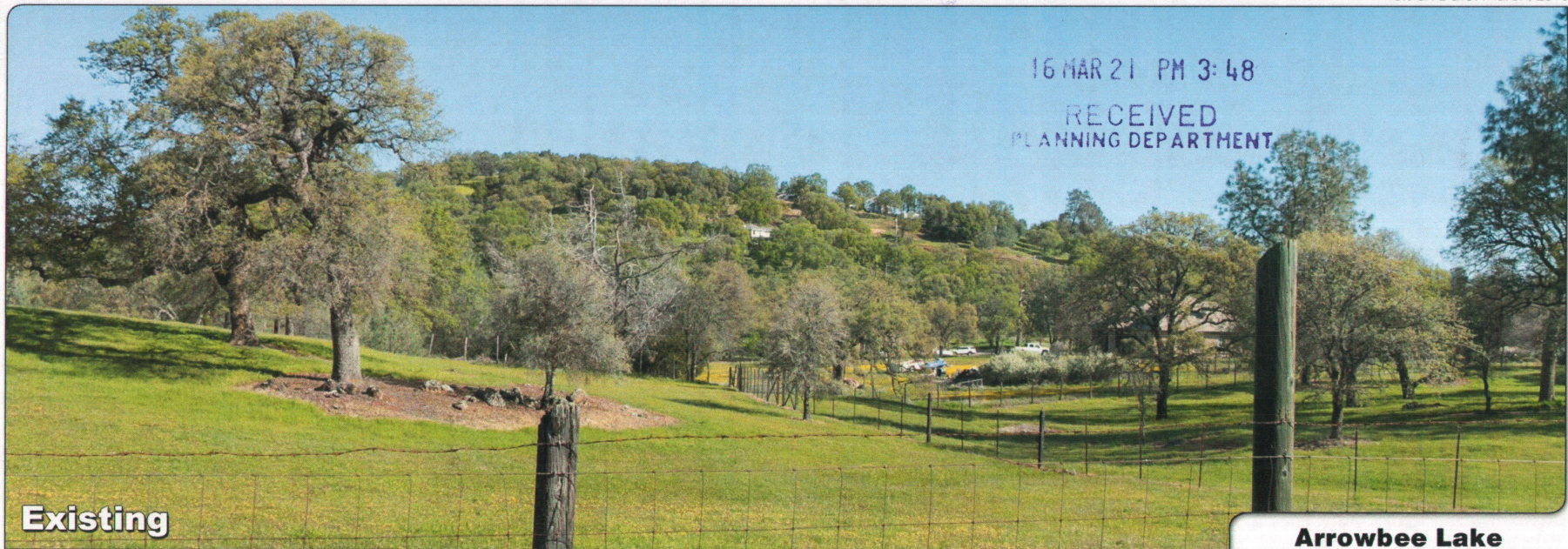
4131 Birdseye View Lane
Placerville CA 95667



Proposed monopine

Proposed

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Existing

Photosimulation of the view looking north from Trail's End Road, just east of Trails End Court.

Arrowbee Lake

4131 Birdseye View Lane
Placerville CA 95667

verizonwireless



Proposed

16 MAR 21 PM 3:48

Version Date: March, 2016

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Existing

Photosimulation of the view looking north from Shoreline Drive, 1,000 feet from the site.

Arrowbee Lake

4131 Birdseye View Lane
Placerville CA 95667

verizonwireless



Proposed monopine

Proposed

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Version Date: March, 2016

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Existing

Photosimulation of the view looking northwest from Shoreline Drive, just west of the mailboxes.

Arrowbee Lake

4131 Birdseye View Lane
Placerville CA 95667

verizonwireless



Proposed

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Existing

Photosimulation looking southwest from the clearest view of the site along Hwy 49, at Bacchi Rd.

Arrowbee Lake
4131 Birdseye View Lane
Placerville CA 95667



Proposed

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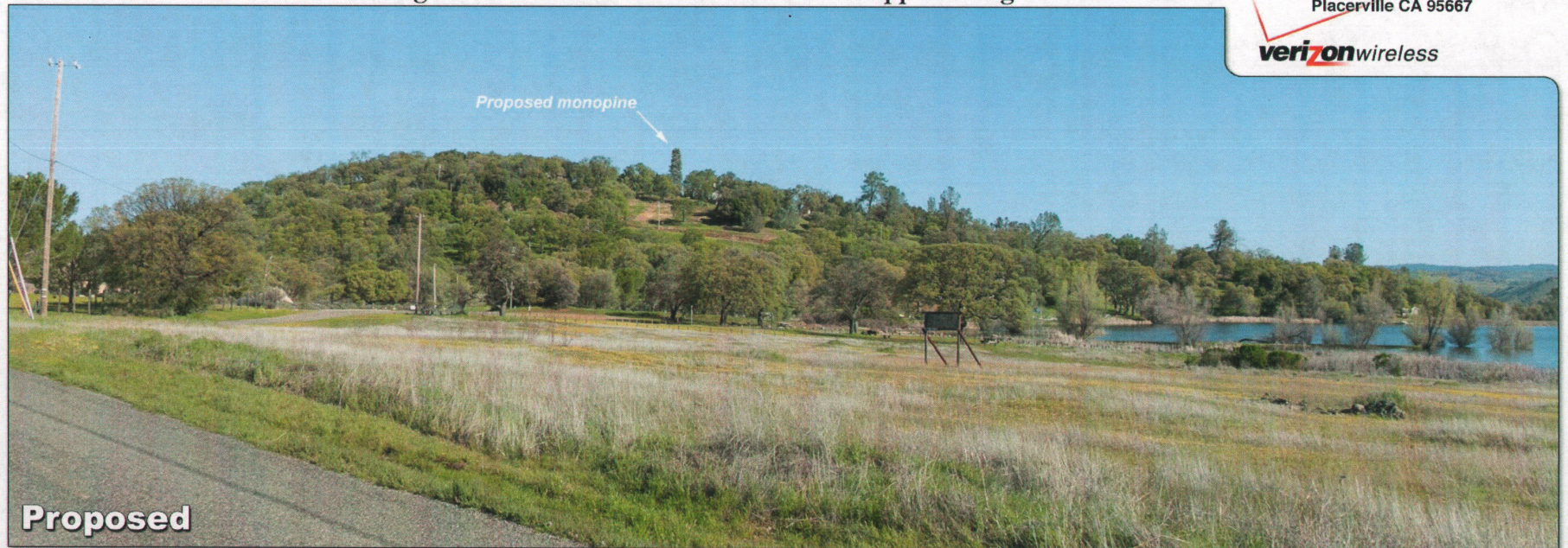
Existing

Arrowbee Lake

4131 Birdseye View Lane
Placerville CA 95667

verizonwireless

Photosimulation of the view looking north-northwest from Shoreline Drive approaching Trails End Drive.



Proposed monopole

Proposed