



COMMUNITY DEVELOPMENT SERVICES

PLANNING AND BUILDING DEPARTMENT

<http://www.edcgov.us/DevServices/>

PLACERVILLE OFFICE:

2850 Fairlane Court, Placerville, CA 95667

BUILDING

(530) 621-5315 / (530) 622-1708 Fax

bldgdept@edcgov.us

PLANNING

(530) 621-5355 / (530) 642-0508 Fax

planning@edcgov.us

LAKE TAHOE OFFICE:

924 B Emerald Bay Rd

South Lake Tahoe, CA 96150

(530) 573-3330

(530) 542-9082 Fax

TO: County of El Dorado Agricultural Commissioner

FROM: Lela Shelley / Development Technician II

DATE: September 12, 2022

RE: **ADM22-0073 Christopherson Residence Ag. Setback Relief
Administrative Relief from Agricultural Setback to add an attached
garage and home addition to an existing single family dwelling.
Assessor's Parcel Number: 078-260-058**

Planning Request and Project Description:

The applicant is requesting administrative relief from the required 200-foot agricultural setback for the above-referenced project. Applicant currently has an existing 1065 square foot dwelling on the parcel and is applying to add an attached garage (748 s.f.), additional living space (458 s.f.) and a covered porch (187 s.f.).

The applicant's parcel, APN 078-260-058, is 5.24 acres, zoned Limited Agriculture 20 acre (LA-20) and located approximately 365 feet west of the intersection of Pleasant Valley Road and Bodega Way, in supervisorial district 3. The parcel is located within a General Plan designated Rural Residential, and is at the edge of an Agricultural district.

The applicant's parcel is bordered by seven parcels; of which three parcels have agricultural zoning: APN 078-280-014 borders the applicant's parcel along the entire east boundary; a portion of the south boundary and is approximately 41 acres, and zoned Planned Agriculture 20-Acres (PA-20). No setback relief requested from that parcel. APN 099-150-064 borders the applicant's parcel on the entire west & northwest boundary and is approximately 15 acres; zoned Limited Agriculture 20 (LA-20). APN 099-150-061 borders the applicants parcel for only 50' of the North boundary where the driveways are, and is approximately 47 acres.

Applicant is requesting that the setbacks for this parcel be reduced to 100 feet from the northeast boundary and 89' feet from the northwest boundary for the addition to the existing single family dwelling with an attached garage.

Please see attached application packet that includes site plans that illustrate this request.



EL DORADO COUNTY PLANNING SERVICES

2850 Fairlane Court, Placerville, CA 95667 (530) 621-5355 http://edcgov.us/Planning/

2022 SEP -8 PM 3: 36

APPLICATION FOR: ADMINISTRATIVE PERMIT

FILE # ADM22-0073

ASSESSOR'S PARCEL NO.(s) 078-260-058

PROJECT NAME/REQUEST: (Describe proposed use) Christopherson Family Home Addition

APPLICANT/AGENT Clayton and Candice Christopherson

Mailing Address 3510 Pleasant Valley Rd, Placerville, CA 95667
P.O. Box or Street City State & Zip
Phone () 925-595-7370 EMAIL: christopherson.clayton@yahoo.com

PROPERTY OWNER Clayton and Candice Christopherson

Mailing Address 3510 Pleasant Valley Rd, Placerville, CA 95667
P.O. Box or Street City State & Zip
Phone () 925-595-7370 / 925-628-5999 EMAIL: christopherson.clayton@yahoo.com

LIST ADDITIONAL PROPERTY OWNERS ON SEPARATE SHEET IF APPLICABLE

ENGINEER/ARCHITECT Joseph A. Young

Mailing Address 3354 Coloma Dr Carson City NV 89705
P.O. Box or Street City State & Zip
Phone () 916-990-4049 EMAIL: Youngsengineering@gmail.com

LOCATION: The property is located on the south side of Pleasant Valley Rd
N / E / W / S street or road
375' feet/miles west of the intersection with Bodega Way
N / E / W / S major street or road
in the Pleasant Valley area. PROPERTY SIZE 5.24 acreage / square footage

X [Signature] Date 9/8/22
signature of property owner or authorized agent

FOR OFFICE USE ONLY

Date 9/8/22 Fee \$ 594 Receipt # R42030 Rec'd by CED Census
Zoning LA-20 GPD RR Supervisor Dist 3 Sec Tw n Rng

ACTION BY: DIRECTOR

ZONING ADMINISTRATOR

Hearing Date

Approved Denied
Findings and/or conditions attached

Approved Denied
findings and/or conditions attached

APPEAL: Approved Denied

Title

(Application Revised 3/2017)

EL DORADO COUNTY PLANNING SERVICES

2850 Fairlane Court, Placerville, CA 95667 (530) 621-5355 <http://edc.gov/us/Planning/>

2022 SEP 28 PM 3:26
RECEIVED
PLANNING DEPARTMENT

REQUIRED SUBMITTAL INFORMATION
for
Administrative Permit, Relief, or Waiver

The following information must be provided with all applications. **If all the information is not provided, the application will be deemed incomplete and will not be accepted.** For your convenience, please use the check (✓) column on the left to be sure you have all the required information.

FORMS AND MAPS REQUIRED

Check (✓)
Applicant County

- X _____ 1) Application form, completed and signed.
- N/A _____ 2) Letter of authorization from all property owners authorizing agent to act as applicant, when applicable.
- _____ 3) Proof of ownership (Grant Deed), if the property has changed title since the last tax roll.
- X _____ 4) An 8 ½ x 11" vicinity map showing the location of the project in relation to the distance to major roads, intersections, and town sites.
- X _____ 5) Narrative of project and request.
- X _____ 6) Provide name, mailing address and phone number of all property owners and their agents.

SITE PLAN REQUIREMENTS

One full-sized site plan drawn to scale and of sufficient size to allow for a clear delineation of the following required information (where applicable) in an electronic PDF format (CD-ROM or other medium) and one 11"x17" version of the full-sized site plan. Both versions must include a graphic scale. For your convenience, please check the Applicant column on the left to be sure you have all the required submittal information.

Check (✓)
Applicant County

- X _____ 1) Project name (if applicable).
- X _____ 2) Name, address of applicant and designer (if applicable).
- X _____ 3) Date, north arrow, and scale.
- X _____ 4) Entire parcels of land showing perimeter with dimensions.
- X _____ 5) All roads, alleys, streets, and their names.

SITE PLAN REQUIREMENTS

Check (✓)
Applicant County

- | | | |
|------------------|-----|---|
| <u>X</u> _____ | 6) | Location of easements, their purpose and width. |
| <u>X</u> _____ | 7) | All existing and proposed uses (i.e. buildings, driveways, dwellings, utility transmission lines, etc.). |
| <u>N/A</u> _____ | 8) | Parking and loading stalls with dimensions (refer to Zoning Ordinance Chapter 130.35 – Parking and Loading, and the Community Design Standards – Parking and Loading Standards). |
| <u>X</u> _____ | 9) | Trash and litter storage or collection areas, and propane tank location(s). |
| <u>X</u> _____ | 10) | Total gross square footage of proposed buildings. |
| <u>X</u> _____ | 11) | Proposed/existing fences or walls. |
| <u>N/A</u> _____ | 12) | Sign location and size (if proposed). |
| <u>N/A</u> _____ | 13) | Pedestrian walkways, courtyards, etc. (if proposed). |
| <u>N/A</u> _____ | 14) | Exterior lighting (if proposed). (Refer to Zoning Ordinance Chapter 130.34 and the Community Design Standards – Outdoor Lighting Standards). |
| <u>X</u> _____ | 15) | Existing/proposed water, sewer, septic systems, and wells (if applicable). |
| <u>N/A</u> _____ | 16) | Existing/proposed fire hydrants. |
| <u>X</u> _____ | 17) | The location, if present, of rock outcropping, lava caps, drainage courses, lakes, canals, reservoirs, rivers, streams, spring areas subject to inundation and wetlands. (Show respective 100-foot and 50-foot septic system setbacks when a septic system is proposed.) |
| <u>N/A</u> _____ | 18) | Identify areas subject to a 100-year flood on perennial streams or creeks, and show high water level (100-year) on map. |
| <u>N/A</u> _____ | 19) | Note any proposed trails within the project; and where applicable, connection to existing or proposed trail systems. |
| <u>N/A</u> _____ | 20) | <p>Summary table on plans (or attached) demonstrating compliance with zoning regulations regarding the following:</p> <ul style="list-style-type: none"> • Signs (Chapter 130.16 (Signs) - Ordinance No. 5025); • Parking (Chapter 130.35 – Parking and Loading, and the Community Design Standards – Parking and Loading Standards); • Landscaping (Chapter 130.33 – Landscaping Standards, and the Community Design Standards – Landscaping and Irrigation Standards); and • Development standards regarding maximum coverage for the lot (see the applicable zone district development standards). |

LANDSCAPE PLAN REQUIREMENTS (Two copies required when parking facilities are proposed.)

Check (✓)
Applicant County

N/A _____ 1) Location, quantity, and a gallon size of proposed plant material (See Zoning Ordinance Chapter 130.33 and the Community Design Standards – Landscaping and Irrigation Standards).

N/A _____ 2) Lists of both common and botanical names of plant material.

N/A _____ 3) Location/type of irrigation proposed. The Landscape Plan will be required to meet the County's Water Conserving Landscape Standards, available at Planning Services or online at <http://www.edcgov.us/planning/> .

NOTE: APPLICATION WILL BE ACCEPTED BY APPOINTMENT ONLY. MAKE YOUR APPOINTMENT IN ADVANCE BY CALLING (530) 621-5355.



DEPARTMENT OF AGRICULTURE
WEIGHTS AND MEASURES

Charlene Carveth
Agricultural Commissioner
Sealer of Weights and Measures

311 Fair Lane
Placerville, CA 95667
(530) 621-5520
(530) 626-4756 FAX
elcag@edcogov.us

RECEIVED
PLANNING DEPARTMENT
SEP - 8 PM 3:38

REQUEST FOR ADMINISTRATIVE RELIEF FROM AN
AGRICULTURAL SETBACK - APPLICATION

APPLICANT(S) NAME(S): Clayton and Candice Christopherson

SITE ADDRESS: 3510 Pleasant Valley Rd, Placerville, CA

MAILING ADDRESS: 3510 Pleasant Valley Rd, Placerville, CA

TELEPHONE NUMBER(S): (DAY) 925-628-5999 (EVE)

APN#: 078-260-058 PARCEL SIZE: 5.24 acres ZONING: LA-20

LOCATED WITHIN AN AG DISTRICT? [X] YES [] NO ADJACENT PARCEL ZONING: LA-20

IF THE ADJACENT PARCEL IS ZONED TPZ OR NATURAL RESOURCES, IS YOUR PROPERTY LOCATED WITHIN
A COMMUNITY REGION OR RURAL CENTER? [] YES [] NO [X] NOT APPLICABLE

REQUIRED AG SETBACK: 200 foot SETBACK YOU ARE REQUESTING: 89 & 100 foot

REQUESTED USE (AGRICULTURALLY-INCOMPATIBLE):

Addition of garage, front porch, increase bathroom and bedroom size

DO YOU HAVE A BUILDING PERMIT FOR REQUESTED USE? [X] YES (Permit # 0355002) [] NO

PLEASE ANSWER THE FOLLOWING:

- 1. [] YES [X] NO Does a natural barrier exist that reduces the need for a setback?
2. [] YES [X] NO Is there any other suitable building site that exists on the parcel except within the
required setback?
3. [X] YES [] NO Is your proposed agriculturally-incompatible use located on the property to minimize any
potential negative impact on the adjacent agricultural land?
4. List any site characteristics of your parcel and the adjacent agricultural land that the Agricultural Commission
should consider (including, but not limited to, topography, vegetation, and location of agricultural
improvements, etc.).

The proposed addition will be between several man made barriers that currently exist between the adjoining parcels including
2 roadway/driveways, a building, a carport, and a storage shed. The location of the addition will not encroach closer to the adjoining
property due to the man made barriers currently in the setback. The location of the proposed addition is consistent with land use
designation of rural residential. The required setback severely restricts the use and enjoyment of the property. There is no other buildable
location on the property if the agricultural setbacks are applied. The garage addition will be used for agricultural activity on the parcel.



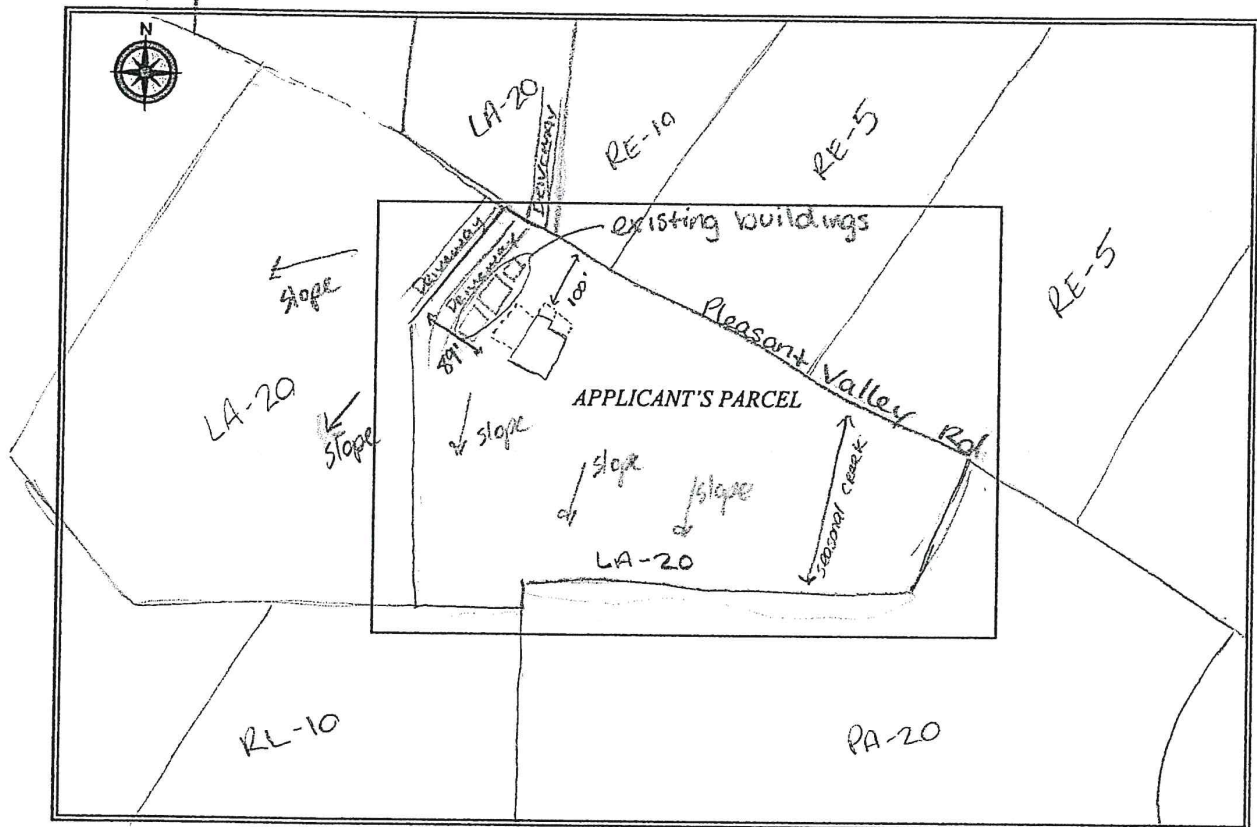
2022 SEP - 8 PM 3: 38
 RECEIVED
 PLANNING DEPARTMENT

IN THE DIAGRAM BELOW, SHOW THE FOLLOWING:

- A. Zoning of your parcel
- B. Zoning of adjacent parcels
- C. Placement of agriculturally-incompatible use
- D. Indicate requested setback distance
- E. Indicate any unique site characteristics of property

2022 SEP -8 PM 3: 39

RECEIVED
PLANNING DEPARTMENT



ANY ADDITIONAL COMMENTS?

The location of the proposed addition was specifically designed to prevent any impacts on protected native Oaks located on the property. The proposed addition is modest in size and the aesthetics conform to local community. The planned use for the garage addition includes agricultural activities.

Further, we purchased the property because we love the agricultural community and have no desire to negatively impact our neighbors or our landscape. The land is beautiful here and we don't want to change that. The location of the proposed addition is consistent with land use designation of rural residential. The required setback severely restricts the use and enjoyment of the property. There is no other buildable location on the property if the agricultural setbacks are applied. The garage addition will be used for agricultural operations on the parcel. The parcel is located in a Rural Center per policy.

[Handwritten Signature]
APPLICANT'S SIGNATURE

9/8/22
DATE

OFFICE USE ONLY: Fee Paid Date: _____ Receipt #: _____ Initials: _____

- Existing house
- Proposed addition
- Barn
- Carport
- Shed
- Dairy goats
- Chicken coop
- Leach field
- Future AG Bldg (Already Permitted)
- Water Tank and Well
- Power pole
- Seasonal creek
- Propane tank
- Existing Fencing
- Unused Natural Gas Easement

2022 SEP -8 PM 3:39
 RECEIVED
 PLANNING DEPARTMENT



Christopherson Family Addition
 Clayton Christopherson
 3510 Pleasant Valley Rd, Placerville, CA
 9/7/2022

Addition total: 1393 sq ft
 Garage - 748 sq ft
 Living space - 458 sq ft
 Porch - 187 sq ft

RECORDING REQUESTED BY:
Fidelity National Title Company of California

2021 SEP -8 PM 3:39
RECEIVED
PLANNING DEPARTMENT

When Recorded Mail Document
and Tax Statement To:
Candice Christopherson and Clayton
Christopherson
3510 Pleasant Valley Road
Placerville, CA 95667

Electronically Recorded in Official Records
County of El Dorado
Janelle K. Home
Recorder-Clerk

DOC# 2021-0065757

10/19/2021

Titles: 1 Pages: 3

08:40 AM

CMC

Fees	\$20.00
Taxes	\$566.50
CA SB2 Fee	\$0.00
Total	\$586.50

Escrow Order No.: FSSE-9072103076

SPACE ABOVE THIS LINE FOR RECORDER'S USE

Property Address: 3510 Pleasant Valley Road,
Placerville, CA 95667
APN/Parcel ID(s): 078-260-058-000

Exempt from fee per GC 27388.1(a)(2); This document is a transfer that is subject to
Documentary Transfer Tax.

GRANT DEED

The undersigned grantor(s) declare(s)

- This transfer is exempt from the documentary transfer tax.
 - The documentary transfer tax is \$566.50 and is computed on:
 - the full value of the interest or property conveyed.
 - the full value less the liens or encumbrances remaining thereon at the time of sale.
- The property is located in an Unincorporated area.

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, Clifford D. Jansen, an unmarried man

hereby GRANT(S) to Candice Christopherson and Clayton Christopherson, wife and husband as community property with right of survivorship

the following described real property in the Unincorporated Area of the County of El Dorado, State of California:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

PROPERTY COMMONLY KNOWN AS: 3510 Pleasant Valley Road, Placerville, CA 95667

MAIL TAX STATEMENTS AS DIRECTED ABOVE

Grant Deed
SCA0000129.doc / Updated: 04.08.20

Printed: 10.14.21 @ 09:37 AM
CA-FT-FSSE-01510.080907-FSSE-9072103076

RECORDING REQUESTED BY:
Fidelity National Title Company of California

**When Recorded Mail Document
and Tax Statement To:**
Candice Christopherson and Clayton
Christopherson
3510 Pleasant Valley Road
Placerville, CA 95667

SPACE ABOVE THIS LINE FOR RECORDER'S USE

Escrow Order No.: FSSE-9072103076

Exempt from fee per GC 27388.1(a)(2); This document is a transfer that is subject to
Documentary Transfer Tax.

Property Address: 3510 Pleasant Valley Road,
Placerville, CA 95667

APN/Parcel ID(s): 078-260-058-000

GRANT DEED

The undersigned grantor(s) declare(s)

- This transfer is exempt from the documentary transfer tax.
- The documentary transfer tax is \$566.50** and is computed on:
 - the full value of the interest or property conveyed.
 - the full value less the liens or encumbrances remaining thereon at the time of sale.

The property is located in an Unincorporated area.

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, Clifford D. Jansen, an unmarried man

hereby GRANT(S) to Candice Christopherson and Clayton Christopherson, wife and husband as community property with right of survivorship

the following described real property in the Unincorporated Area of the County of El Dorado, State of California:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

PROPERTY COMMONLY KNOWN AS: 3510 Pleasant Valley Road, Placerville, CA 95667

MAIL TAX STATEMENTS AS DIRECTED ABOVE

GRANT DEED
(continued)

APN/Parcel ID(s): 078-260-058-000

Dated: October 14, 2021

IN WITNESS WHEREOF, the undersigned have executed this document on the date(s) set forth below.



Clifford D. Jansen

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of CA


County of EL DORADO

On 10-14-2021 before me, Colleen Cranor, Notary Public,
(here insert name and title of the officer)

personally appeared CLIFFORD D. JANSEN, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature 

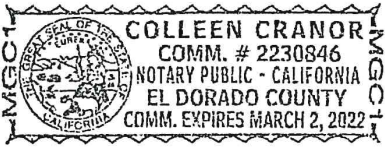


EXHIBIT "A"
Legal Description

For APN/Parcel ID(s): 078-260-058-000

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE UNINCORPORATED AREA IN COUNTY OF EL DORADO, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

ALL THAT PORTION OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 30, TOWNSHIP 10 NORTH, RANGE 12 EAST, M.D.M., AND THAT PORTION OF THE EAST HALF OF SECTION 25, TOWNSHIP 10 NORTH, RANGE 11 EAST, M.D.B.M., DESCRIBED AS FOLLOWS:

BEGINNING AT THE QUARTER CORNER COMMON TO SAID SECTIONS 25 AND 30, A 2-INCH CAPPED IRON PIPE STAMPED, "1927 1/4 S. 25 S. 30 C.H.W."; THENCE FROM SAID POINT OF BEGINNING ALONG THE SECTION LINE COMMON TO SAID SECTIONS 25 AND 30, SOUTH 00° 29' WEST 31.39 FEET; THENCE LEAVING SAID SECTION LINE 89° 11' 00" WEST 158.00 FEET, A 3/4-INCH CAPPED IRON PIPE STAMPED, "L.S. 2403-1977"; THENCE NORTH 01° 51' 43" WEST 322.90 FEET, A SIMILAR 3/4-INCH PIPE; THENCE NORTH 32° 44' 12" EAST 185.31 FEET, A SIMILAR 3/4-INCH PIPE; THENCE NORTH 32° 28' EAST 26.98 FEET TO A POINT IN PLEASANT VALLEY ROAD; THENCE SOUTH 61° 32' EAST 62.07 FEET TO A POINT ON THE SECTION LINE COMMON TO SAID SECTIONS 25 AND 30; THENCE CONTINUING SOUTH 61° 32' EAST 580.36 FEET TO A POINT FROM WHICH A 1-1/2 INCH CAPPED IRON PIPE STAMPED "L.S. 2403-1974" BEARS NORTH 29° 23' 42" EAST 33.32 FEET; THENCE SOUTH 24° 30' WEST 25.00 FEET TO A 3/4-INCH CAPPED IRON PIPE STAMPED "L.S. 2403-1974"; THENCE CONTINUING SOUTH 24° 30' WEST 165.00 FEET TO A 3/4-INCH CAPPED IRON PIPE STAMPED "L.S. 2403-1974"; THENCE NORTH 89° 05' 18" EAST 431.97 FEET TO THE POINT OF BEGINNING.

- Exit ramp
- Proposed access
- Bar
- Garage
- Guest
- Dairy goats
- Chicken coop
- Large shed
- Flowers and fruit (strawberry)
- Plum trees
- Water tank and well
- Power pole
- Sensitive areas
- Regulated area
- Fencing/fencing
- Unimproved/undeveloped
- Embankment

2022 SEP - 8 PM 3:11
RECEIVED
PLANNING DEPARTMENT



Christopher Family Address
Oliver Christopher
3570 Robert Valley Rd Placerville, CA
91762

Additional: 1390 sq ft
Garage - 748 sq ft
Living space - 459 sq ft
Pool - 181 sq ft

To whom it may concern,

2022 SEP -8 PM 3: 41

This is a project narrative for the Christopherson Family Addition located at 3510 Pleasant Valley Rd, Placerville, CA.

RECEIVED
PLANNING DEPARTMENT

The original home was built in 1942 prior to any zoning laws, nearby homes being built, or parcels being divided. In 2015 when the parcel was given the zoning designation of LA-20 the home was already within the 200' Agricultural (AG) setback. The adjacent properties on the west and north side that we are seeking setback relief from are also zoned LA-20. All three properties are on the edge of the AG district. Other adjacent properties we are not seeking relief from are zoned RE-10 and RE-5 and PA-20

The adjacent property on the west side that we are requesting relief from the AG setback is bisected by Pleasant Valley Rd; half of the parcel is adjacent to ours which is where our neighbors' home is, and the other half is on the opposite side of Pleasant Valley Rd. The AG operations on the adjacent parcel occur on that portion of the parcel that is on the opposite side of Pleasant Valley Rd and does not share a property line with us. The portion of the parcel where our neighbor keeps their home is the portion that shares a property line with us and contains a steep slope up and away from our property. There are also two driveways and three buildings between the adjacent parcels that effectively provide a man-made barrier between the addition and the adjacent parcel.

The adjacent property on the north side that we are requesting relief from the AG setback has Pleasant Valley Rd as a man-made barrier between the parcels. We only share approximately 50' of property line at the corner where the driveways are.

The addition is modest in size and will keep buildings on the property together allowing us to use the rest of our parcel to increase our current agricultural operations. There is currently an approved permit for an AG building on the parcel.

We are requesting relief from the 200' setback requirement because our home is already well within the setback and there is NO location on our property that can be built with the current 200' setback due to its size, shape, and adjacent parcel designations. We are requesting to go into the setback an additional 34' on the west side toward the driveways (total 111' into the setback) and an additional 5' on the northside towards the road (total 100' into the setback).

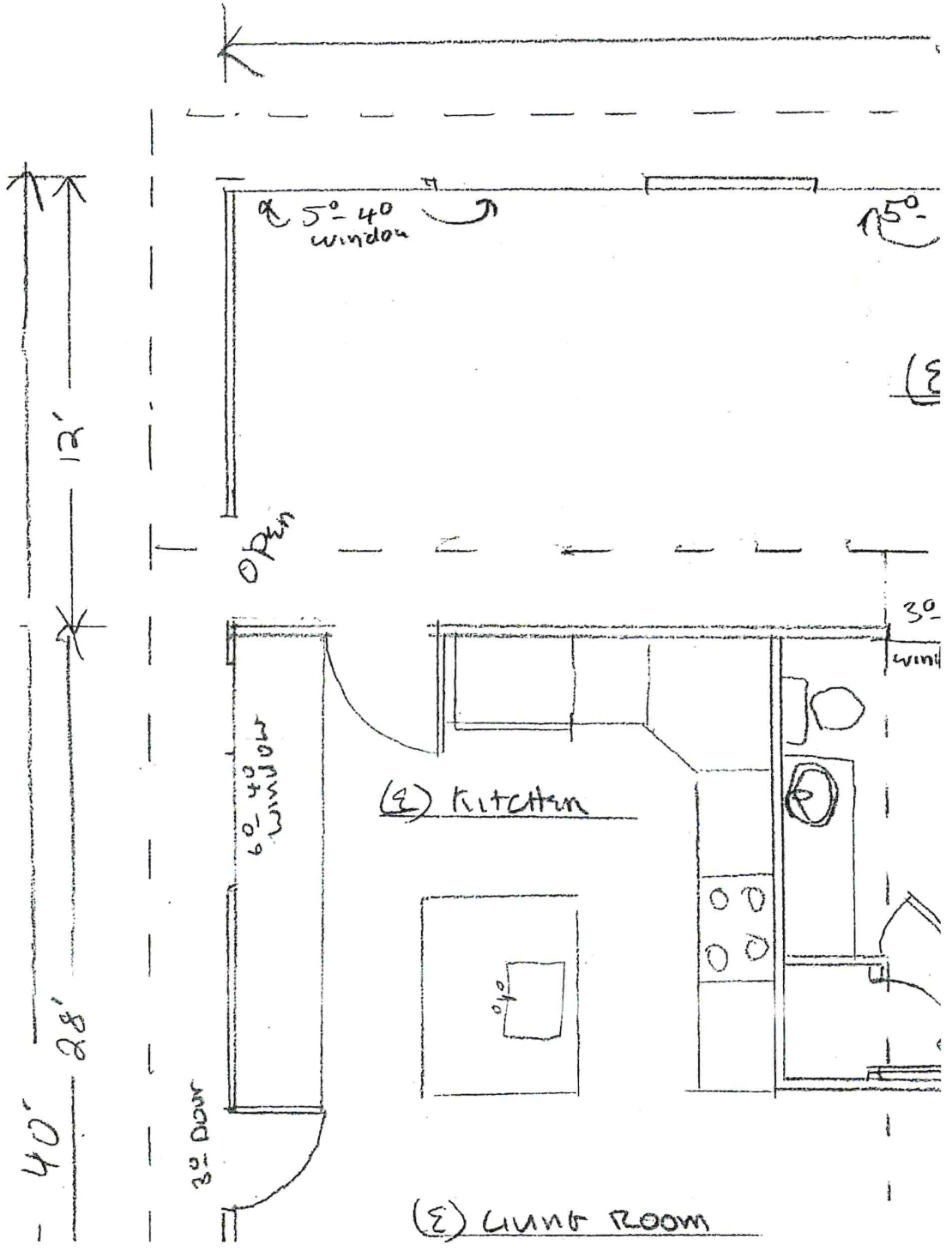
Thank you,

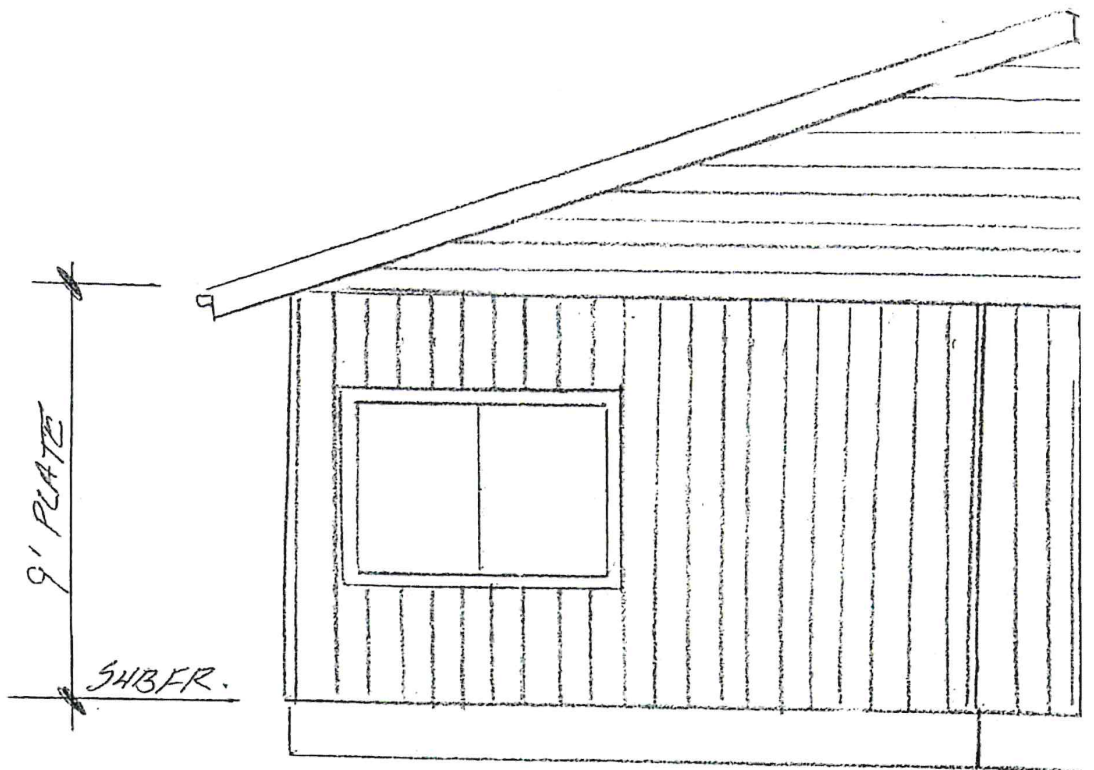
Candice Christopherson, Homeowner



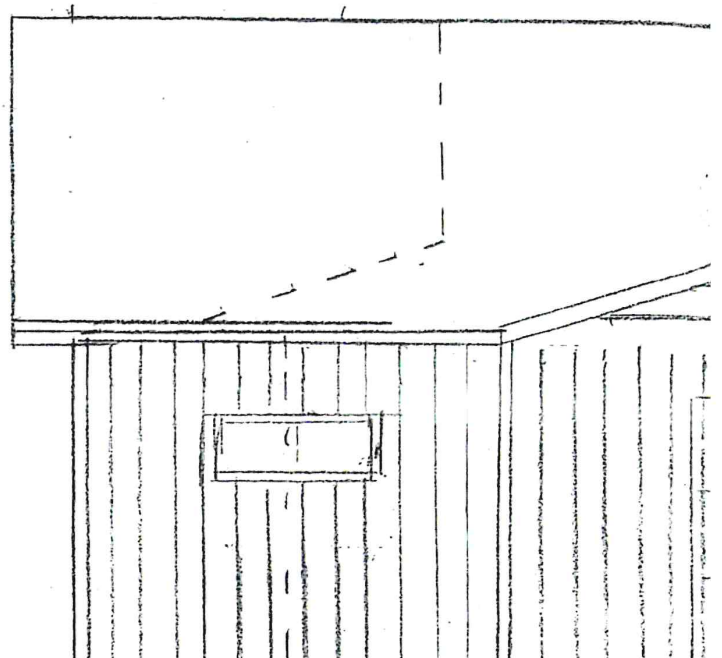
Page (1) <u>CONTRACT</u>	<u>PERPOSED</u>
Page (2) <u>FLOOR PLAN</u>	
Page (3) <u>ELEVATION</u>	<u>NO GRM</u>
Page (4) <u>ROOF/FLOOR FRAMING</u>	
Page (5) <u>DETAILS ELEV.</u>	

(LEFT)

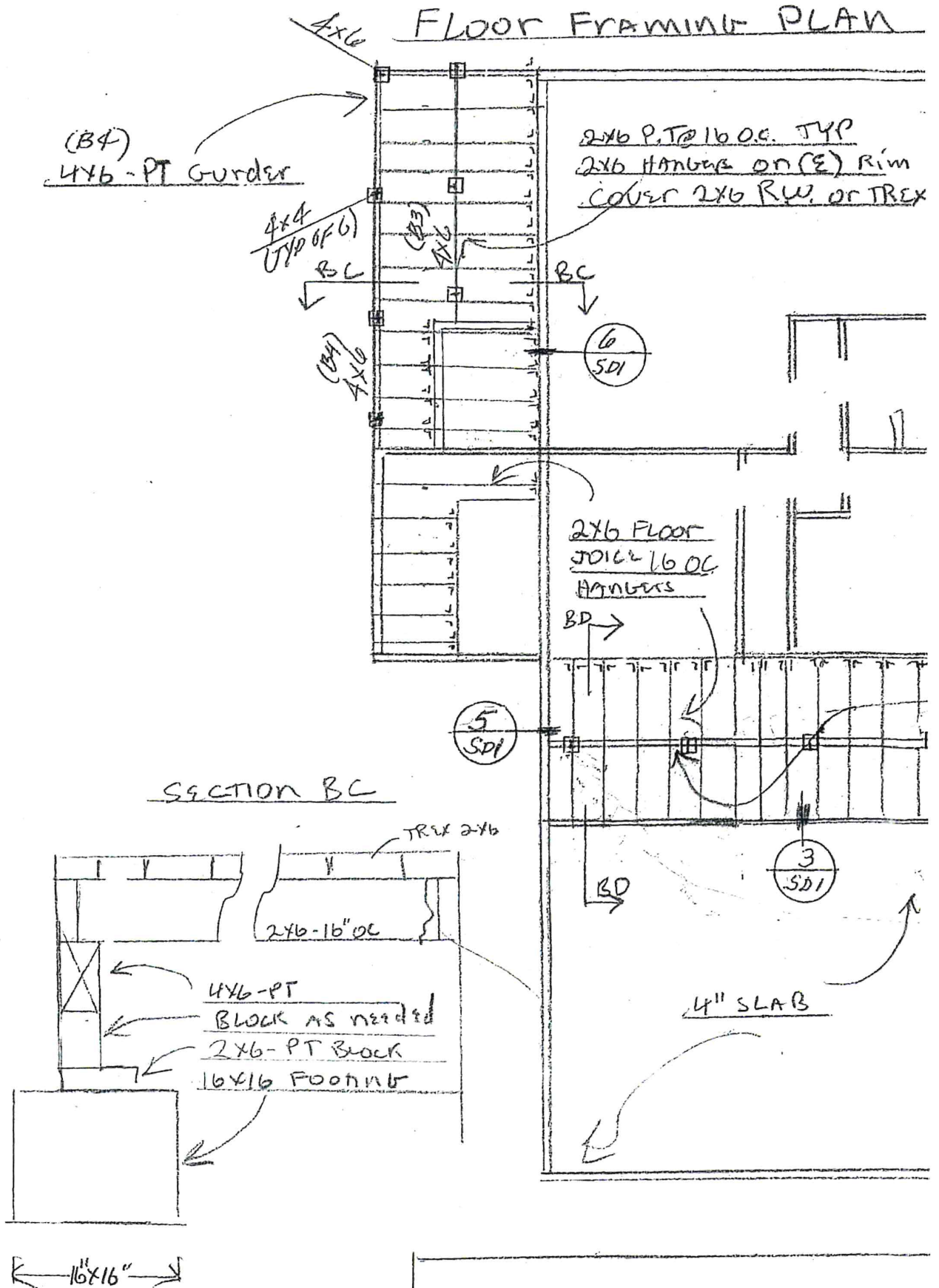


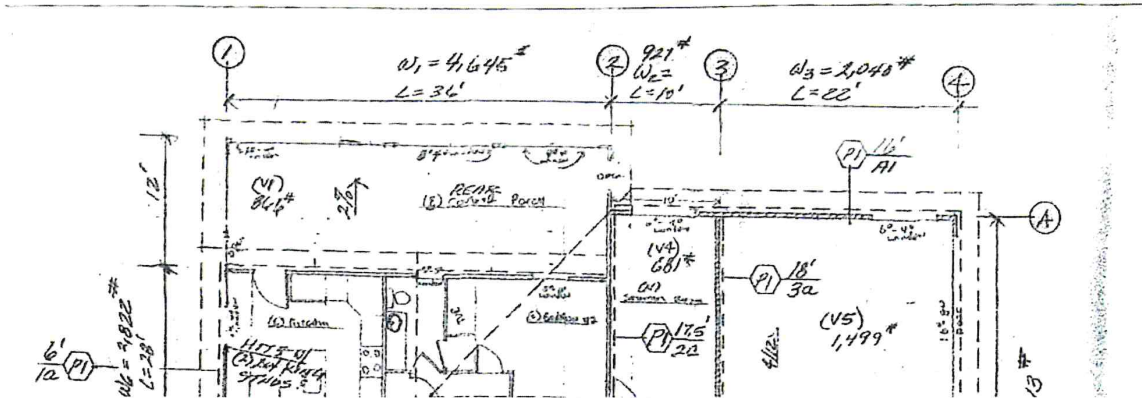
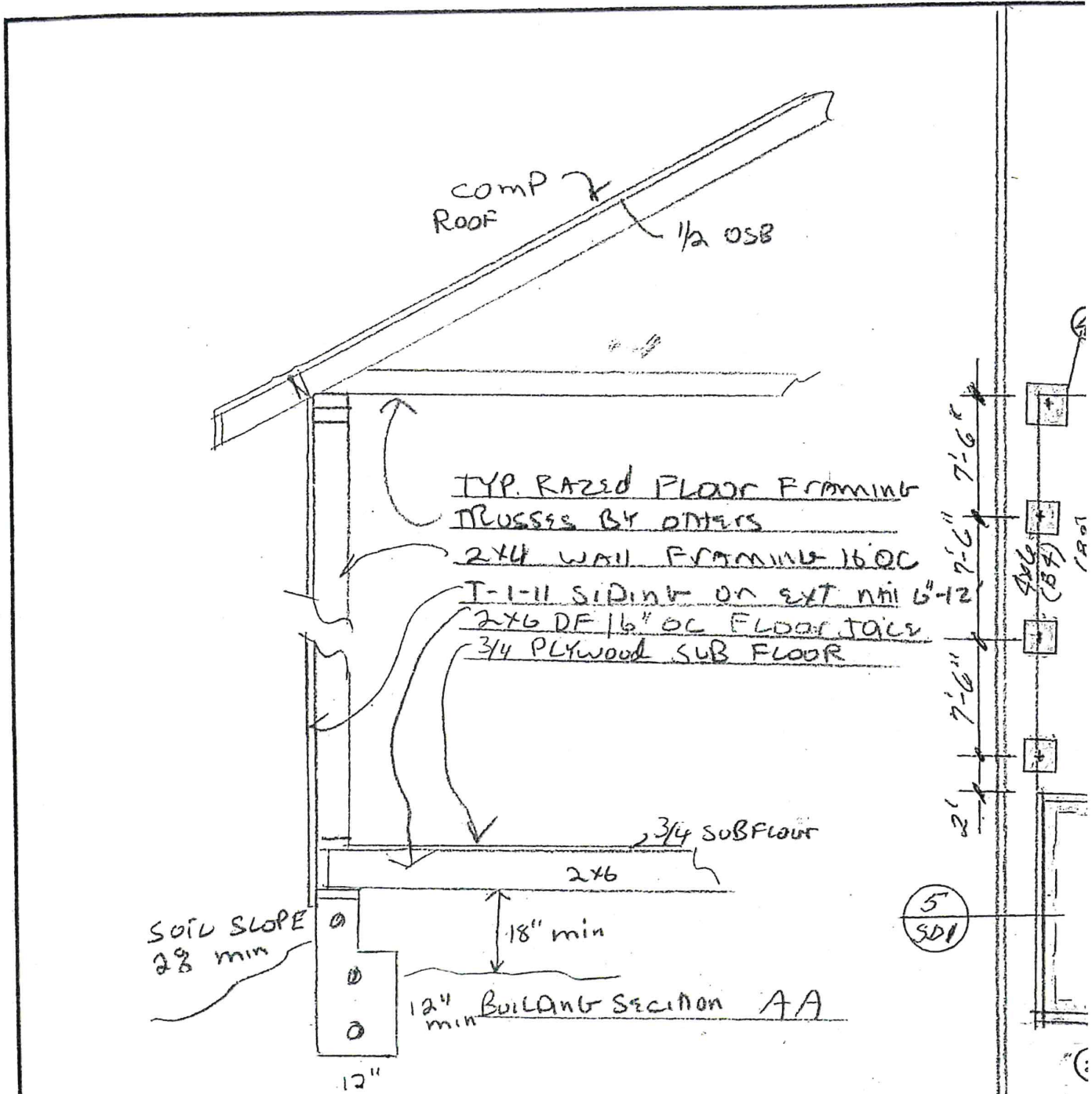


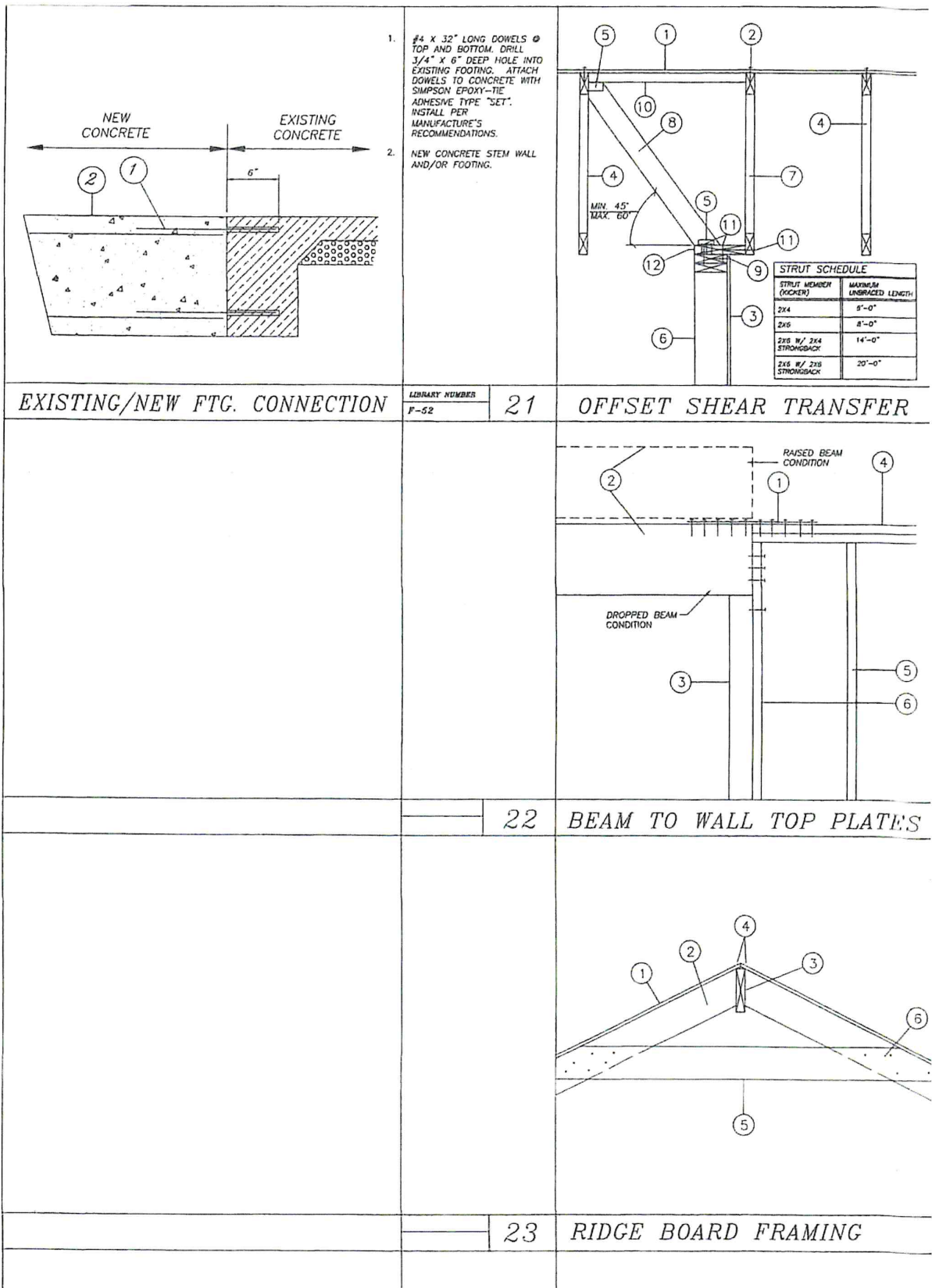
NO

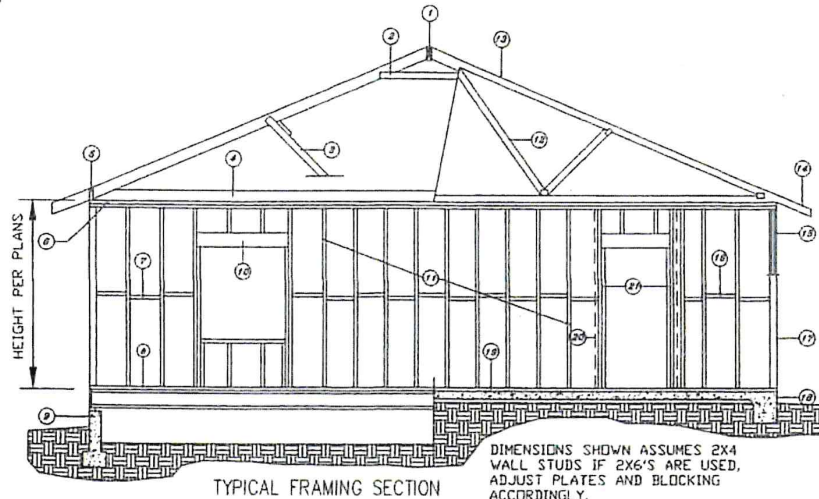


FLOOR FRAMING PLAN









TYPICAL FRAMING SECTION

GENERAL NOTES

1. All construction shall comply with the currently accepted edition of the California Building Code (CBC) and CBC Standards.
2. The contractor shall be responsible for the safety of the building during construction and shall provide adequate shoring and bracing during construction. The contractor shall comply with all applicable safety regulations.
3. Details not specifically shown shall be similar to details for similar construction shown on these drawings.
4. Typical details shall apply unless shown otherwise on the drawings.
5. All prefabricated connecting hardware specified is manufactured by Simpson Company, San Leandro, California, or equal. Install in accordance with the manufacturer's instructions and recommendations for maximum rated values.
6. The contractor shall coordinate the work of all trades and shall check all dimensions. Any discrepancies shall be called to the attention of Young's Engineering and shall be resolved before proceeding with the work affected.
7. No structural members shall be cut, notched or otherwise penetrated unless specifically approved by the Engineer in advance or as shown on these drawings.
8. Provide openings, curbs, framing and/or supports for items indicated on any of these drawings.
9. Do Not Scale Drawings. These drawings are not meant to be scaled. Call the Engineer for any needed clarifications.
10. Stairs: Rise 4' minimum to 7 3/4' maximum; Run 10' minimum; Headroom 6'-8'; Width 36" minimum, all per CBC.
11. Unenclosed floor and roof openings, open and glazed sides of stairways, landings and ramps, balconies or porches, which are more than 30 inches above grade or floor below shall be protected by a guardrail per CBC.
12. Four steps or more requires a continuous handrail 34" to 38" above tread nosing per CBC.
13. For all attic areas 30' or more in height, provide attic access scuttle 22" x 30" min. or 30" x 30" with walk, platform and light if FAU is in attic. Provide 30' head clearance at scuttle.
14. Provide special inspection in accordance with CBC Chapter 17.

SITE WORK AND FOUNDATION:

1. Foundation soil strata is native soil or engineered fill, as per the project soils report where applicable. Foundations shall bear on firm, undisturbed foundation soil strata.
2. Refer to geotechnical report where

LUMBER & CARPENTRY

1. All structural lumber shall be graded in accordance with the standard grading rules No. 16 for west coast lumber and shall have a maximum moisture content of 19 1/2% at time of installation (UND).
2. All structural plywood shall be structural II or C-D grade with exterior glue unless noted otherwise and conform to PS-2. Each sheet shall be identified by a registered stamp D.F.P.A. or A.P.A.
3. Plywood used at eaves shall be C-C grade with exterior glue or as noted otherwise on the Architectural plans.
4. Structural plywood may be substituted with an equivalent APA rated Oriented Strand Board (O.S.B.)
5. All wood bearing on concrete or masonry shall be pressure treated douglas fir or redwood.
6. Structural members shall not be cut for pipes, etc. unless specifically noted or detailed or is in conformance with CBC.
7. Solid blocking shall be placed between joists or rafters at all supports, except when ledgered.
8. Cross-bridging shall be provided at 8' o.c. maximum for all dimensioned floor joists over 10-in. depth. Cross-bridging shall be provided at 10' o.c. maximum for all dimensioned roof rafters over 10'. Use solid blocking or an approved type metal bridging.
9. All nailing to be per CBC Table 2304.9.1 (Fastener Schedule), unless noted otherwise.
10. Plywood floor and roof sheathing shall be laid continuous over two or more spans with face grain perpendicular to supports. Stagger all plywood panels a minimum of 4'.
11. Framing contractor shall provide backing as required for all light fixtures, cabinets, wardrobes, towel bars, handrails, etc. as required and requested by the general contractor.
12. Exterior wood posts and columns supported by a concrete slab shall be installed a minimum of 8' above exposed earth and at least 1' above slab on metal post bases. (Exception: posts or columns of approved wood with natural resistance to decay or treated wood). Posts or columns resting on concrete piers surrounded by existing grade shall be minimum of 8' above adjacent grade. All isolated interior and exterior wood posts attached directly to concrete shall be secured with a Simpson 'PBS' anchor or equivalent, unless noted otherwise.
13. Provide a 2x4 header at all interior nonbearing openings up to 36' in width. Provide 2-2x4 header on edge or a 4x4 for openings 3 to 6 feet in width. Use a 4x6 header for openings greater than 6 feet.
14. All exterior walls adjacent to vaulted

KEYNOTES:

1. 2X RIDGE BOARD (ROOF FITCH 4: OR GREATER) NOT LESS THAN 2" OF END CUT OF RAFTER
2. 2X4 COLLAR TIE AT 48" O.C. U.N.
3. 2X CONTINUOUS PURLIN (NO SMA) THAN RAFTERS) WITH 2X4 PURLIN BRACE NOT TO EXCEED 6'-0" UNBRACED, LAID 45 DEGREE'S MI. FROM HORIZONTAL. BRACE TO BEARING WALL OR BEAM BELOW.
4. SEE PLANS FOR SIZE AND SPACING OF ROOF RAFTERS AND CEILING JOISTS
5. 2X SOLID BLOCKING
6. DOUBLE 2X4 TOP PLATES MIN. PL SPLICE 48"
7. 2X4 BLOCKING AT EXTERIOR WALL WHERE REQUIRED.
8. SEE FRAMING PLANS FOR FLOOR FRAMING INFORMATION
9. SEE FOOTING DETAILS FOR MORE INFORMATION
10. HEADER - REFER TO STRUCTURA.
11. 2X STUDS AT 16" O.C. (TYPICAL)
12. ENGINEERED AND PRE-MANUFACTURED 2X TRUSSES AT 24" O.C. ENGINEER TO REVIEW SHOP DRAWINGS PRIOR FABRICATION
13. REFER TO PLANS FOR SHEATHING ROOF MATERIAL
14. EXPOSED CCX PLYWOOD, OR 1X6 1 V-RUSTIC, OR PER PLANS
15. BUILT-UP CORNER STUDS, NAIL WITH 16d's AT 16" O.C.
16. 2X BLOCKING AT EXTERIOR WALLS WHERE HEIGHT EXCEEDS 12 FEET
17. EXTERIOR FINISH-PER PLANS.
18. SEE FOOTING DETAILS FOR MORE INFORMATION
19. 2X SILL PLATE (UNO).
20. SET TWO TRIMMER STUDS, IF OPL IS WIDER THAN 78"
21. TRIMMER AT EACH SIDE OF OPENING (TYP.)

SPECIAL NOTE:

All fasteners in contact with preservative treated w nails, shall be of hot-dipped zinc coated galvanized steel, silicon bronze or copper per CBC Section 23C

27. For glued-laminated beams (GL Fabrication shall be performed in approved fabricator's shop.
28. Glued-laminated beam inspect certificates shall be submitted to field inspector prior to completion frame inspection.

MANUFACTURED WOOD TRUSSES:

1. Truss loadings shall be as fo unless noted otherwise.
- | Top Chord: | Shake/Comp. |
|-------------|-------------|
| Dead load = | 7.0 psf |
| Live Load = | 20 psf** |
-
- | Bottom Chord: | Shake/Comp. |
|---------------|-------------|
| Dead Load = | 7.0 psf |
| Live Load = | 10.0 psf |
- A load duration factor of 1.15 for loading & 1.25 for non-snow is per 2. Design and fabricated using 1 latest CBC and CBC standards, an applicable ICC Evaluation Services 3. Increases in allowable stress assemblies of repetitive framing is permissible.
4. Mechanical unit loads and par loads shall be considered where a
 5. Where manufactured trusses installed as blocking or rim joists bearing walls, they shall be design

Myrna Tow

From:
Sent:
To:
Cc:
Subject:
Attachments:

Fisher, Jo

.gov>

Debernardi, Jennifer@CDFA
Commitment Form

Additional Plan & THWS FY22-23 - FF, GM &
Section Commitment FY22-23..xlsx

Importance:

Some people who received this message
Dear Myrna,

[Learn why this is important](#)

In addition to providing your Core workplan and complete the revision of your 100% workplan and complete the revision of your 100% workplan. I have another question for you. Please provide your 100% workplan and complete the revision of your 100% workplan by COB 10/10 so we can process your agreement. County commitment traps are now included in the Core costs and trap numbers in your 100% Core workplan. County commitment traps are now included in the Core costs so we accurately reflect the actual cost of this program and the true county commitment which is typically higher than just the historical "county commitment" traps. When you bill for Core you no longer need to separate out these county costs since they are reflected in your actual workplan. Instead you will bill for actual costs and CDFA will reimburse those costs until you reach your payment limit (the same amount funded in FY21/22).

1. **Core:** Please include your county commitment costs and trap numbers in your 100% Core workplan. County commitment traps are now included in the Core costs so we accurately reflect the actual cost of this program and the true county commitment which is typically higher than just the historical "county commitment" traps. When you bill for Core you no longer need to separate out these county costs since they are reflected in your actual workplan. Instead you will bill for actual costs and CDFA will reimburse those costs until you reach your payment limit (the same amount funded in FY21/22).
2. **Commitment Form:** There are MF, OF, ML, SM and JB traps listed in the Additional section of your County Commitment Form however these traps are not included on your Additional agreement. Should these traps be removed from your Commitment form? If you are requesting Core funds to cover these traps then please amend your Additional workplan to include these surveys and also provide an explanation for how these traps augment/supplement the current Core survey program. We may have talked about these traps previously so feel free to remind me of that conversation if we already covered this!

All the best,

Joanna

From: Myrna Tow <myrna.tow@edcgov.us>
Sent: Tuesday, August 9, 2022 3:38 PM
To: Fisher, Joanna@CDFA <Joanna.Fisher@cdfa.ca.gov>; Borraro, Salvador@CDFA <Salvador.Borraro@cdfa.ca.gov>; Martinez, Rudy@CDFA <rudy.martinez@cdfa.ca.gov>; Debernardi, Jennifer@CDFA <jennifer.debernardi@cdfa.ca.gov>
Cc: Charlene Carveth <charlene.carveth@edcgov.us>
Subject: CORE revise for El Dorado County and YES Please order traps and supplies

CAUTION: [External Email] - This email originated from outside of our CDFA organization. Do not click links or open attachments unless you recognize the sender and know the content is expected and is safe.

Please see the two documents attached that were revised on 8/9/2022, and we would like you to order all of the traps and supplies we will need. Thank you!