

PRELIMINARY SITE PLAN OVERVIEW

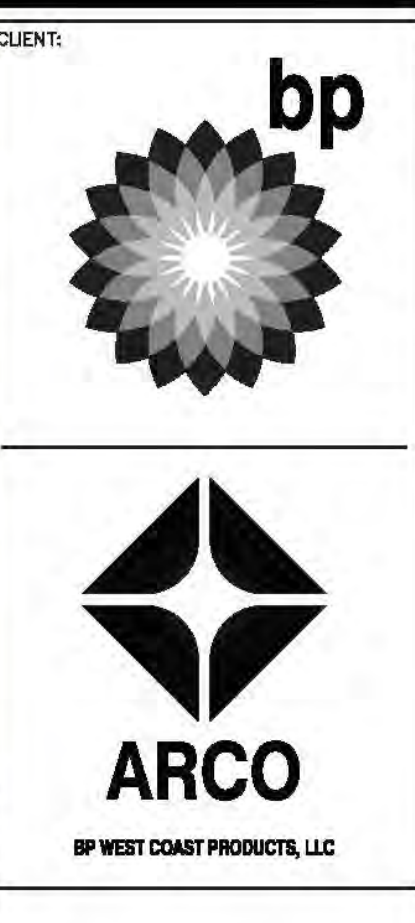
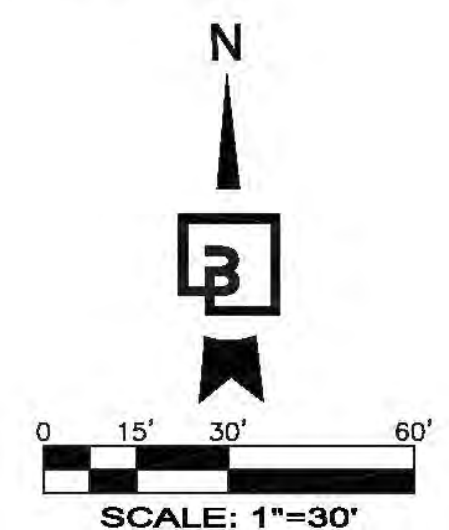
APPROVED
EL DORADO COUNTY
PLANNING COMMISSION
DATE: October 9, 2025
EXECUTIVE SECRETARY: Karen L. Garner

LEGEND

PORTION OF SITE APPROVED BY BOARD OF SUPERVISORS ON DECEMBER 17, 2019 UNDER CREEKSIDE PLAZA PROJECT (Z10-0009/P10-0012/PD10-0005)

SHEET INDEX

SP-OV	PRELIMINARY SITE PLAN OVERVIEW
SP-1	PRELIMINARY SITE PLAN
SP-2	PRELIMINARY SITE PLAN - FORNI ROAD
PG	PRELIMINARY GRADING PLAN
PU-1	PRELIMINARY UTILITY PLAN
PU-2	PRELIMINARY UTILITY PLAN
PL1	PRELIMINARY LANDSCAPE PLAN
PL2	PLANT SCHEDULE & NOTES
PL3	LANDSCAPE DETAILS
PL4	PRELIMINARY IRRIGATION PLAN
1 OF 1	PHOTOMETRIC LIGHTING PROPOSAL
A2.1c	C-STORE COLOR EXTERIOR ELEVATIONS
A2.2c	C-STORE COLOR EXTERIOR ELEVATIONS
CW42.1c	CARWASH COLOR EXTERIOR ELEVATIONS
CA2.1c	COLOR CANOPY EXTERIOR ELEVATIONS
TE.1	TRASH ENCLOSURE PLAN
VE.1	VACUUM EQUIPMENT ENCLOSURE
VAC1.1	VACUUM UNIT ELEVATIONS



Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com

NO.	DATE	REVISION DESCRIPTION



PARCEL 2 DATA:

LOCATION: NWC MISSOURI FLAT RD AND FORNI RD
EL DORADO COUNTY, CA
JURISDICTION: EL DORADO COUNTY
A: A.P.N.: 327-211-025
COMMUNITY COMMERCIAL - PLANNED DEVELOPMENT
PLOT AREA: ±65,449 SF (±1.5 ACRES)
BUILDING SETBACKS:
FRONT: 10'
REAR: 5'
SIDE (ADJACENT TO RESIDENTIAL): 10'

FLOOD ZONE:
FEMA INDICATES THAT THE MAJORITY OF THE SITE IS WITHIN FLOOD ZONE AREA X - AN AREA DETERMINED TO BE OUTSIDE OF THE 0.2% CHANCE FLOODPLAIN; A SMALL PORTION OF THE SOUTHWEST SIDE OF THE PROPERTY IS WITHIN THE 0.2%/1% ANNUAL CHANCE FLOODPLAIN.

LOADING ZONE: NONE REQUIRED
PARKING REQUIREMENTS (PER TABLE 130.35.030.1 OF EL DORADO COUNTY CODE):

C-STORE: 2,280 SF
(1 PER 300 S.F. OF AUA PLUS 1 PER 600 SF OF STORAGE AREA)
2,880/300 = 9.6 = 10 SPACES
CARWASH: 1 WASHING STALL
(CAR WASH 2 PER WASHING STALL)
1*2 = 2 SPACES
PARKING SPACES REQUIRED: 10+2 = 12 SPACES
PARKING SPACES PROVIDED:
11 STANDARD
12 UNDER CANOPY
4 EV SPACES
14 VACUUM SPACE
1 AIR/WATER SPACE
TOTAL = 42 SPACES

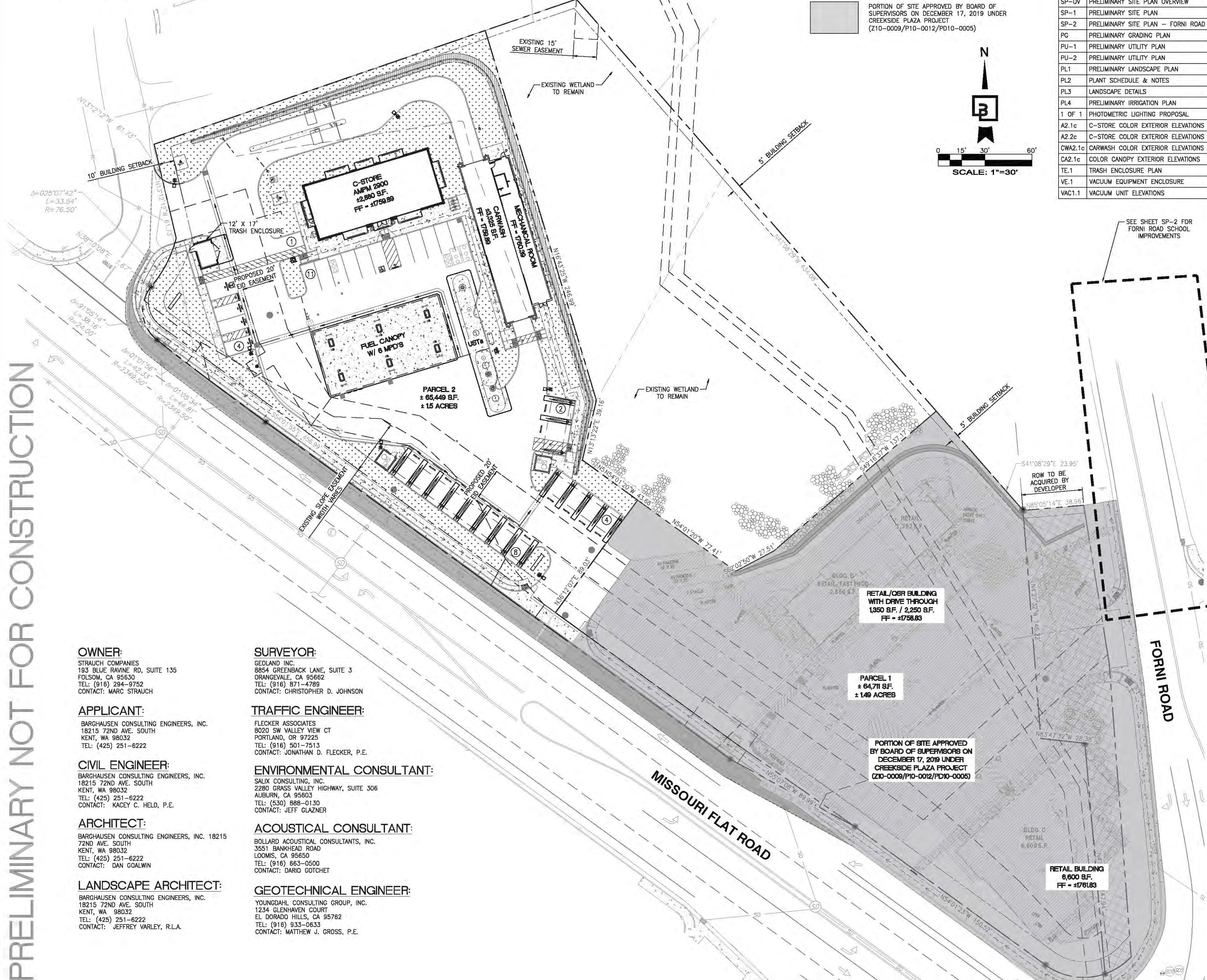
BICYCLE PARKING REQUIREMENTS:

SHORT-TERM BICYCLE PARKING SPACES REQUIRED (PER PARKING AND LOADING COMMUNITY DESIGN STANDARDS):
(1 PER EVERY 5 REQUIRED VEHICLE PARKING SPACES)
12/5 = 2.4 = 3 SPACES
SHORT-TERM BICYCLE PARKING SPACES PROVIDED: 4 SPACES (2 PER RACK)
LONG-TERM BICYCLE PARKING SPACES REQUIRED (PER SECTION 5.106.4.1.2 OF CDBO):
(FOR NEW BUILDINGS WITH TENANT SPACES THAT HAVE 10 OR MORE TENANT-OCCUPANTS, PROVIDE PARKING FOR 5% OF TENANT-OCCUPANT VEHICULAR SPACES)
0 TENANT SPACES = 0 SPACES
LONG-TERM BICYCLE PARKING SPACES PROVIDED: 0 SPACES
④ NUMBER OF PARKING STALLS IN ISOLATED AREA.

PROPOSED GROUND COVER SUMMARY:

ONSITE:			
BUILDINGS:	6,027 SF	(9.2%)	
PARKING AND MANEUVERING:	31,932 SF	(48.7%)	
FUELING CANOPY:	3,768 SF	(5.6%)	
WALKWAYS:	5,560 SF	(8.4%)	
LANDSCAPE:	18,162 SF	(28%)	
	65,449 SF	(100.0%)	
OFFSITE:			
WALKWAYS:	6,332 SF	(29%)	
LANDSCAPE:	4,360 SF	(20%)	
PAVEMENT:	11,202 SF	(51%)	
	21,894 SF	(100.0%)	

PRELIMINARY NOT FOR CONSTRUCTION



OWNER:

STRAUCH COMPANIES
193 BLUE RAVINE RD, SUITE 135
FOLSOM, CA 95630
TEL: (916) 294-9752
CONTACT: MARC STRAUCH

APPLICANT:

BARGHAUSEN CONSULTING ENGINEERS, INC.
18215 72ND AVE. SOUTH
KENT, WA 98032
TEL: (425) 251-6222

CIVIL ENGINEER:

BARGHAUSEN CONSULTING ENGINEERS, INC.
18215 72ND AVE. SOUTH
KENT, WA 98032
TEL: (425) 251-6222
CONTACT: KACEY C. HELD, P.E.

ARCHITECT:

BARGHAUSEN CONSULTING ENGINEERS, INC. 18215
72ND AVE. SOUTH
KENT, WA 98032
TEL: (425) 251-6222
CONTACT: DAN GOALWIN

LANDSCAPE ARCHITECT:

BARGHAUSEN CONSULTING ENGINEERS, INC.
18215 72ND AVE. SOUTH
KENT, WA 98032
TEL: (425) 251-6222
CONTACT: JEFFREY VARLEY, R.L.A.

SURVEYOR:

GEO LAND INC.
8854 GREENBACK LANE, SUITE 3
ORANGEVALE, CA 95662
TEL: (916) 871-4789
CONTACT: CHRISTOPHER D. JOHNSON

TRAFFIC ENGINEER:

FLECKER ASSOCIATES
8020 SW VALLEY VIEW CT
PORTLAND, OR 97225
TEL: (916) 501-7513
CONTACT: JONATHAN D. FLECKER, P.E.

ENVIRONMENTAL CONSULTANT:

SALIX CONSULTING, INC.
2280 GRASS VALLEY HIGHWAY, SUITE 306
ALBURN, CA 95603
TEL: (530) 888-0130
CONTACT: JEFF GLAZNER

ACOUSTICAL CONSULTANT:

BOLLARD ACOUSTICAL CONSULTANTS, INC.
3551 BANKHEAD ROAD
LOOMIS, CA 95650
TEL: (916) 663-0500
CONTACT: DARIO GOTCHET

GEOTECHNICAL ENGINEER:

YOUNGDAHL CONSULTING GROUP, INC.
1234 GLENHAVEN COURT
EL DORADO HILLS, CA 95762
TEL: (916) 933-0633
CONTACT: MATTHEW J. GROSS, P.E.

PARCEL 2
± 65,449 SF.
± 1.5 ACRES

PARCEL 1
± 64,711 SF.
± 1.49 ACRES

RETAIL/CSR BUILDING
WITH DRIVE THROUGH
1,350 SF / 2,250 SF.
FF = ±1758.83

PORTION OF SITE APPROVED
BY BOARD OF SUPERVISORS ON
DECEMBER 17, 2019 UNDER
CREEKSIDE PLAZA PROJECT
(Z10-0009/P10-0012/PD10-0005)

RETAIL BUILDING
6,600 SF.
FF = ±1761.83

DEVELOPMENT INFORMATION:
ARCO NTI
2900 am/pm
FUEL CANOPY w/ 6 MPD's
105' CAR WASH

SITE ADDRESS:
4221 MISSOURI FLAT RD
@ FORNI ROAD
PLACERVILLE, CALIFORNIA

FACILITY # TBD

DESIGNED BY: EVS	ALLIANCE TRADE:
CHECKED BY: KCH	BP REPAIR:
DRAWN BY: NW	ALLIANCE PM:
VERSION: -	PROJECT NO: 21517

DRAWING TITLE:
PRELIMINARY SITE PLAN OVERVIEW

SHEET NO:

SP-OV

PRELIMINARY LANDSCAPE PLAN

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE.



APPROVED
EL DORADO COUNTY
PLANNING COMMISSION
DATE: October 9, 2025
EXECUTIVE SECRETARY: Karen L. Garner

JW NAME DATE
09.18.2025

SCALE: 1"=20'



LANDSCAPE CALCULATIONS:

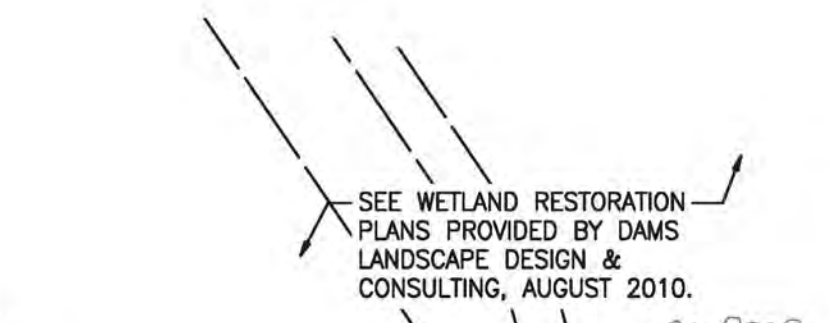
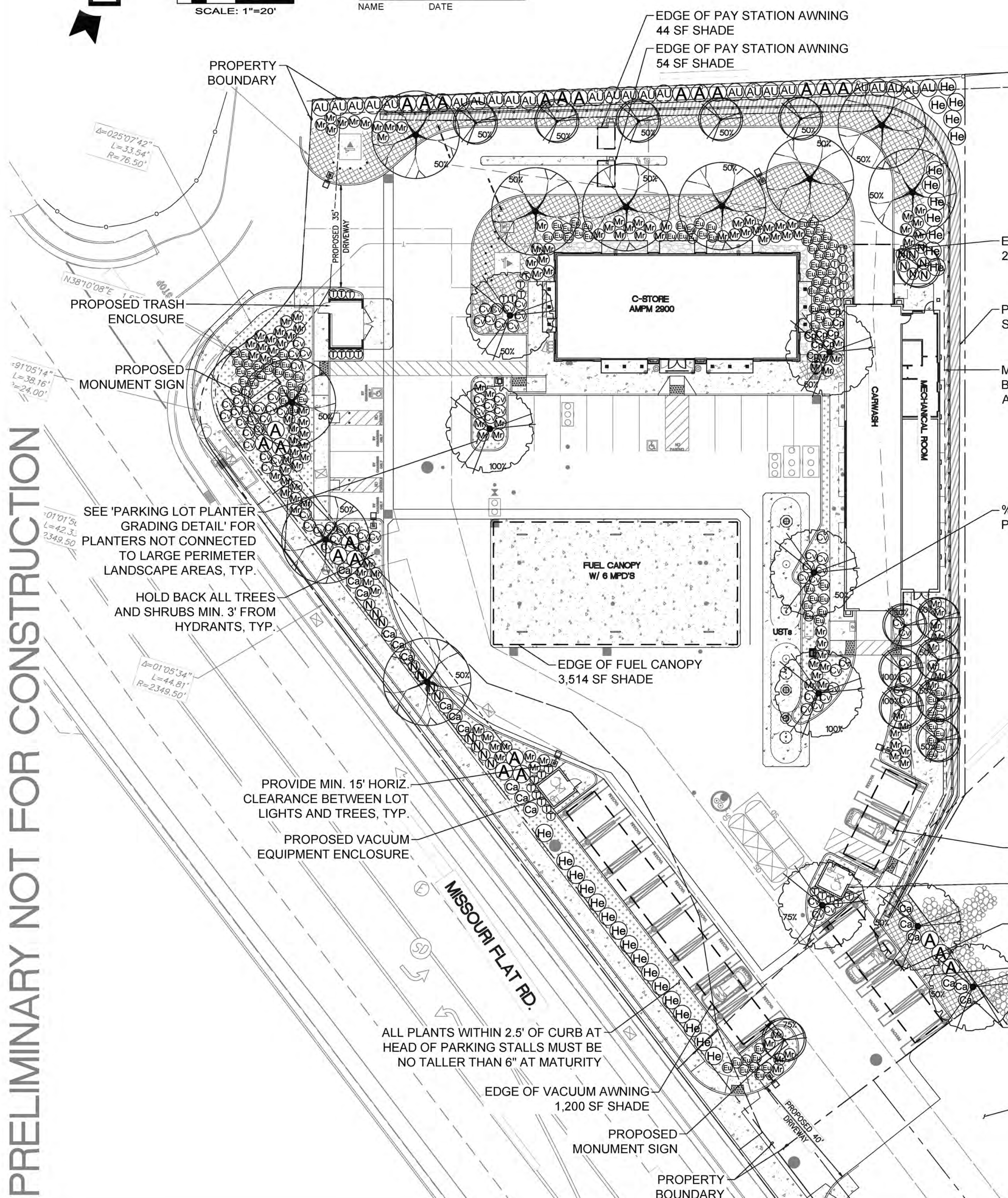
- A. TOTAL QUANTITY OF TREES = 32 / 2 = 16 (50%) REQUIRED TO BE EVERGREEN, 16 EVERGREEN TREES ARE PROVIDED.
- B. 100% SHRUBS REQUIRED TO BE EVERGREEN; 100% EVERGREEN SHRUBS ARE PROVIDED.
- D. BUFFERS REQUIRED: 10 FT WIDE ALONG STREET R.O.W. & 5 FT WIDE INTERIOR PROPERTY BOUNDARY.
- E. A MINIMUM OF 50% OF PROPOSED PLANTS MUST BE DROUGHT TOLERANT. 100% DROUGHT TOLERANT PLANTS PROVIDED.
- F. A MINIMUM OF 4 SPECIES OF TREES ARE REQUIRED WHEN MORE THAN 25 TREES ARE PROPOSED. 4 TREE SPECIES ARE PROVIDED.
- F. A MINIMUM OF 3 SPECIES OF SHRUBS ARE REQUIRED WHEN MORE THAN 25 SHRUBS ARE PROPOSED. 12 SHRUB SPECIES ARE PROVIDED.
- G. A MINIMUM OF 2" DEPTH MULCH IS REQUIRED AND PROVIDED.
- H. NO LANDSCAPE FABRIC IS ALLOWED OR PROPOSED.
- I. A MAXIMUM OF 10% OF LANDSCAPED AREA MAY BE LAWN. NO LAWN IS PROPOSED.
- J. 50% OF VEHICULAR PAVED AREA MUST BE SHADED. SEE TABLE THIS SHEET.

PARKING LOT SHADING REQUIREMENTS

TOTAL NET PARKING LOT SQUARE FOOTAGE: 35,677 SQUARE FEET,
MINIMUM 50% REQUIRED TO BE SHADED: 35,677 SF / 2 = 17,839 SF REQ'D, 17,887 SF SHADE PROVIDED = 51.0%

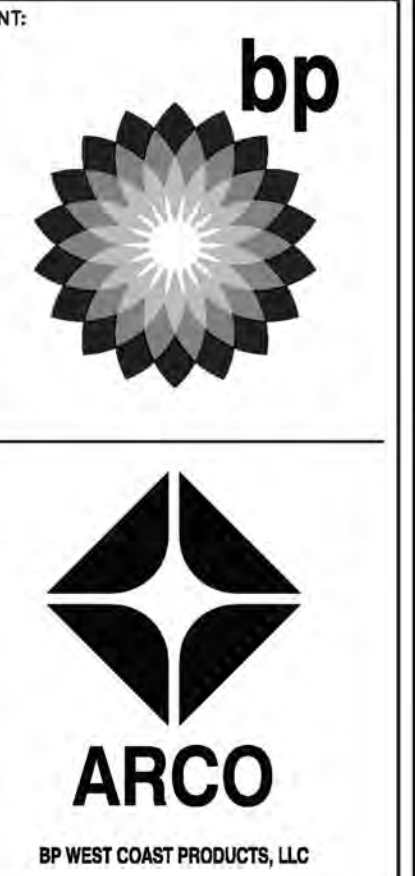
SYMBOL	BOTANICAL/Common NAMES	QTY AT 100%	QTY AT 75%	QTY AT 50%	QTY AT 25%	TOTAL
	LAGERSTROEMIA INDICA "TUSCARORA" / CRAPE MYRTLE (20'-25' SHADE TREE)	3 @ 100% 314 sq ft ea. = 942 SF	1 @ 75% 236 sq ft ea. = 236 SF	9 @ 50% 157 sq ft ea. = 1,413 SF	1 @ 25% 79 sq ft ea. = 0 SF	2,591 SF
	PLATANUS X ACERFOLIA / LONDON PLANE TREE (30'-35' SHADE TREE)	3 @ 100% 962 sq ft ea. = 2,886 SF	1 @ 75% 722 sq ft ea. = 722 SF	4 @ 50% 481 sq ft ea. = 1,924 SF	0 @ 25% 241 sq ft ea. = 0 SF	5,532 SF
	QUERCUS WISLIZENII / INTERIOR LIVE OAK (30'-35' SHADE TREE)	0 @ 100% 962 sq ft ea. = 0 SF	0 @ 75% 722 sq ft ea. = 0 SF	10 @ 50% 481 sq ft ea. = 4,810 SF	0 @ 25% 241 sq ft ea. = 0 SF	4,810 SF
TOTAL TREE SHADE PROVIDED						12,933 SF
TOTAL CANOPY AREA (STRUC.)						6,289 SF
SUBTOTAL: SHADE PROVIDED						19,222 SF
MINUS: TREE OVER CANOPY						-1,239 SF
TOTAL SHADE PROVIDED						17,983 SF
TOTAL SHADE REQUIRED						17,887 SF
PERCENT SHADE PROVIDED						50.4%

PRELIMINARY NOT FOR CONSTRUCTION



GENERAL NOTES:

- A. THIS PLAN SET FOR LANDSCAPE IMPROVEMENTS SHALL BE USED IN CONJUNCTION WITH THE FOLLOWING PLANS ALSO PREPARED FOR THIS PROJECT AND SITE:
 - SITE SURVEY
 - CIVIL ENGINEERING PLANS
 - ARCHITECTURAL PLANS
 - ILLUMINATION PLANS (UNDER SEPARATE PERMIT)
 IF DISCREPANCIES ARE FOUND BETWEEN THIS PLAN SET AND THOSE REFERENCED ABOVE, SUCH DISCREPANCIES SHALL BE COORDINATED WITH BARGHAUSEN CONSULTING ENGINEERS, INC. AND RESOLVED PRIOR TO CONSTRUCTION ACTIVITIES.
- B. GENERAL NOTES ON THE CIVIL ENGINEERING COVER SHEET FOR THIS PROJECT AND SITE ARE APPLICABLE TO THIS LANDSCAPE PLAN SET.
- C. ALL PROPOSED PLANTINGS WILL BE IRRIGATED WITH A WATER-WISE AUTOMATIC IRRIGATION SYSTEM.
- D. ALL PLANT BEDS SHALL HAVE MINIMUM 2" DEPTH OF BARK MULCH OR STONE MULCH PER SPECIFICATIONS ON SHEET L2.



B
Barghausen Consulting Engineers, Inc.
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NO.	DATE	REVISION DESCRIPTION
1	9/18/25	PER SHADING REQ'S
2		
3		
4		
5		
6		
7		
8		
9		
10		



DEVELOPMENT INFORMATION:
ARCO NTI
2900 am/pm
FUEL CANOPY w/ 6 MPD'S
105' CAR WASH

SITE ADDRESS:
4221 MISSOURI FLAT RD
@ FORN ROAD
PLACERVILLE, CALIFORNIA

FACILITY #TBD
DESIGNED BY: TCR
CHECKED BY: JMV
DRAWN BY: TCR
VERSION: 1
PROJECT NO: 21517
ALLIANCE ZONE: BP REP:
ALLIANCE PM:

PRELIMINARY LANDSCAPE PLAN

SHEET NO:
L1 of 4

PLANT SCHEDULE AND LANDSCAPE NOTES



PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT.	SIZE	WATER USE	
DECIDUOUS TREES						
	14	LAGERSTROEMIA INDICA 'TUSCARORA' / CRAPE MYRTLE NURSERY GROWN FOR STREET TREE USE, BRANCHING AT 5'. STAKE AND GUY ONE GROWING SEASON.	24" BOX		LOW	
	8	PLATANUS X ACERIFOLIA / LONDON PLANE TREE NURSERY GROWN FOR STREET TREE USE, BRANCHING AT 5'. STAKE AND GUY ONE GROWING SEASON.	24" BOX		MEDIUM	
EVERGREEN TREES						
	10	QUERCUS WISLIZENII / INTERIOR LIVE OAK NURSERY GROWN FOR STREET TREE USE, BRANCHING AT 5'. STAKE AND GUY ONE GROWING SEASON.	24" BOX		VERY LOW	
SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT.	WATER USE	ORIGIN	
SHRUBS						
	24	ARBUTUS UNEDO 'COMPACTA' / DWARF STRAWBERRY TREE	5 GAL.	LOW		
	24	ARCTOSTAPHYLOS DENSIFLORA 'HOWARD MCMINN' / HOWARD MCMINN VINE HILL MANZANITA	5 GAL.	LOW		
	73	CALLISTEMON VIMINALIS 'LITTLE JOHN' / DWARF BOTTLEBRUSH	5 GAL.	LOW		
	18	CARPENTERIA CALIFORNICA 'ELIZABETH' / BUSH ANEMONE	2 GAL.	LOW		
	8	CISTUS X PURPUREUS / ORCHID ROCKROSE	5 GAL.	LOW		
	97	EURYOPS PECTINATUS 'MUNCHKIN' / DWARF EURYOPS	5 GAL.	LOW		
	28	HETEROMELES ARBUTIFOLIA / TOYON	5 GAL.	VERY LOW		
	18	NERIUM OLEANDER 'PETITE PINK' / OLEANDER	5 GAL.	LOW		
	10	TEUCRIUM X LUCIDRYS / HEDGE GERMANDER	5 GAL.	LOW		
	25	THUJA OCCIDENTALIS 'SMARAGD' / ARBORVITAE SYN. 'EMERALD GREEN'	4" MIN. HT.	LOW		
GRASSES						
	130	MUHLENBERGIA RIGENS / DEER GRASS	1 GAL.	LOW		
SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT.	WATER USE	ORIGIN	SPACING
GROUND COVERS						
	428	BACCHARIS PILULARIS 'TWIN PEAKS' / COYOTE BRUSH	1 GAL.	LOW		36" o.c.
	395	CEANOTHUS GRISEUS HORIZONTALIS 'YANKEE POINT' / CARMEL CREEPER	1 GAL.	LOW		36" o.c.

LANDSCAPE LEGEND:

	WASHED COBBLE ROCK MULCH 3" - 4" DEPTH OF APPROXIMATELY 2" DIAMETER WASHED DRAIN ROCK.	3,431 SF
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LANDSCAPE PLANTING NOTES AND MATERIALS

SCOPE OF WORK

FURNISH ALL MATERIALS, LABOR, EQUIPMENT AND RELATED ITEMS NECESSARY TO ACCOMPLISH TOPSOIL, TREATMENT AND PREPARATION OF SOIL, FINISH GRADING, PLACEMENT OF SPECIFIED PLANT MATERIALS, FERTILIZER, STAKING, MULCH, CLEAN-UP, DEBRIS REMOVAL, AND 30-DAY MAINTENANCE.

QUALIFICATIONS:
LANDSCAPE CONTRACTOR TO BE SKILLED AND KNOWLEDGEABLE IN THE FIELD OF WORK AND HAVE A MINIMUM OF FIVE (5) YEAR'S EXPERIENCE INSTALLING SIMILAR WORK. CONTRACTOR TO BE LICENSED TO PERFORM THE WORK SPECIFIED WITHIN THE PRESIDING JURISDICTION.

JOB CONDITIONS:
IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE SITE AND REPORT ANY DISCREPANCIES TO THE OWNER OR THE OWNER'S REPRESENTATIVES. ALL PLANT MATERIAL AND FINISH GRADES ARE SUBJECT TO APPROVAL BY THE OWNER.

PROTECTION:
SAVE AND PROTECT ALL EXISTING PLANTINGS SHOWN TO REMAIN. DO NOT PLANT UNTIL OTHER CONSTRUCTION OPERATIONS WHICH CONFLICT HAVE BEEN COMPLETED. IF AN IRRIGATION SYSTEM IS TO BE INSTALLED DO NOT PLANT UNTIL THE SYSTEM HAS BEEN INSTALLED, TESTED, AND APPROVED BY THE OWNER. HANDLE PLANTS WITH CARE - DO NOT DAMAGE OR BREAK ROOT SYSTEM, BARK, OR BRANCHES. REPAIR AND/OR REPLACE ITEMS DAMAGED AS A RESULT OF WORK, OR WORK NOT IN COMPLIANCE WITH PLANS AND SPECIFICATIONS, AS DIRECTED BY OWNER AT NO ADDITIONAL COST TO THE OWNER.

REPAIR OF EXISTING PLANTINGS:
DURING THE COURSE OF WORK, REPAIR ALL EXISTING PLANTING AREAS BY PRUNING DEAD GROWTH, RE-ESTABLISHING FINISH GRADE AND RE-MULCHING TO SPECIFIED DEPTH.

GUARANTEE:
GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE OF THE JOB BY OWNER.

30-DAY MAINTENANCE:
CONTRACTOR TO PROVIDE OWNER WITH A SCOPE OF WORK AT TIME OF INITIAL PROJECT BID TO PROVIDE LANDSCAPE AND IRRIGATION MAINTENANCE FOR 30 DAYS FOLLOWING STORE OPENING. WORK TO INCLUDE MAINTENANCE AS DESCRIBED BELOW, IN PLANTING AND IRRIGATION MAINTENANCE.

SUBMITTALS:
SUBMIT THE FOLLOWING TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE START OF ANY WORK:

- DOCUMENTATION THAT ALL PLANT MATERIAL HAS BEEN ORDERED.
- TOPSOIL ANALYSIS AND RECOMMENDED AMENDMENTS.
- TREE STAKING AND GUYING MATERIALS.
- ONE (1) QUARTY SIZE OF TOPSOIL AND MULCH.
- PLANTING SCHEDULE INCLUDING DATES AND TIMES.
- MAINTENANCE INSTRUCTIONS FOR ONE (1) FULL YEAR.

MATERIALS:

PLANT MATERIALS:
PLANT MATERIALS TO BE GRADE NO. 1, SIZED IN ACCORDANCE WITH (AAN) AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1-2004). PRUNE PLANTS RECEIVED FROM THE NURSERY ONLY UPON AUTHORIZATION BY THE LANDSCAPE ARCHITECT. "B & B" INDICATES BALLED AND BURLAPPED; "CONT." INDICATES CONTAINER; "BR" INDICATES BARE ROOT; "CAL" INDICATES CALIPER AT 6" ABOVE SOIL LINE; "GAL" INDICATES GALLON.

A) SPECIFIED PLANT CANOPY SIZE OR CALIPER IS THE MINIMUM ACCEPTABLE CONTAINER OR BALL SIZE AND ESTABLISHES MINIMUM PLANT CONDITION TO BE PROVIDED.

B) QUALITY:
PLANT MATERIAL TO COMPLY WITH STATE AND FEDERAL LAWS FOR DISEASE INSPECTION, PLANTS TO BE FULLY LIVE, VIGOROUS, WELL FORMED, WITH WELL DEVELOPED FIBROUS ROOT SYSTEMS. ROOT BALLS OF PLANTS TO BE SOLID AND FIRMLY HELD TOGETHER, SECURELY CONTAINED AND PROTECTED FROM INJURY AND DESICCATION. PLANTS DETERMINED BY LANDSCAPE ARCHITECT TO HAVE BEEN DAMAGED; HAVE DEFORMITIES OF STEM, BRANCHES, OR ROOTS; LACK SYMMETRY, HAVE MULTIPLE LEADERS OR "Y" CROTCHES LESS THAN 30 DEGREES IN TREES, OR DO NOT MEET SIZE OR ANSI STANDARDS WILL BE REJECTED. PLANT MATERIAL TO BE FROM A SINGLE NURSERY SOURCE FOR EACH SPECIFIED SPECIES/HYBRID. NURSERY SOURCES TO BE THOSE LOCATED IN THE SAME REGION AS THE JOB SITE.

C) NO SUBSTITUTION OF PLANT MATERIAL, SPECIES OR VARIETY, WILL BE PERMITTED UNLESS WRITTEN EVIDENCE IS SUBMITTED TO THE OWNER FROM TWO QUALIFIED PLANT BROKERAGE OFFICES. SUBSTITUTIONS WHICH ARE PERMITTED TO BE IN WRITING FROM THE OWNER AND LANDSCAPE ARCHITECT. THE SPECIFIED SIZE, SPECIES AND NEAREST VARIETY, AS APPROVED, TO BE FURNISHED. SUBSTITUTIONS MAY REQUIRE SUBMITTAL TO REVISED LANDSCAPE PLAN TO CITY FOR APPROVAL.

D) LABEL AT LEAST ONE (1) TREE, SHRUB, AND GROUNDCOVER OF EACH VARIETY WITH A SECURELY ATTACHED WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTANICAL AND COMMON NAMES.

E) DELIVER PLANT MATERIAL AFTER PREPARATION OF PLANTING AREAS HAVE BEEN COMPLETED AND PLANT IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN SIX (6) HOURS AFTER DELIVERY, SET MATERIAL IN SHADE, PROTECT FOR WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOT BALLS MOIST BY COVERING WITH MULCH, BURLAP OR OTHER ACCEPTABLE MEANS OF RETAINING MOISTURE.

SOIL PREPARATION:
TOPSOIL, AMENDMENT, AND BACKFILL, ARE GENERAL REQUIREMENTS FOR ALL LANDSCAPE AREAS, UNLESS NOTED OTHERWISE ON THE PLANS. SOIL AMENDMENTS AND FERTILIZER NOTED BELOW ARE TO BE USED FOR BID PRICE BASIS ONLY. SPECIFIC AMENDMENTS AND FERTILIZERS WILL BE MADE AFTER SOIL SAMPLES ARE LABORATORY TESTED BY THE CONTRACTOR. PROVIDE CHANGE ORDER FOR ADDITIONAL OR REDUCTION OF MATERIALS REQUIRED OR NOT REQUIRED BY THE SOILS REPORT.

SOIL FERTILITY AND AGRICULTURAL SUITABILITY ANALYSIS:
AFTER ROUGH GRADING AND PRIOR TO SOIL PREPARATION, CONTRACTOR TO OBTAIN TWO REPRESENTATIVE SOIL SAMPLES, FROM LOCATIONS AS DIRECTED BY THE LANDSCAPE ARCHITECT, TO A SOIL TESTING LABORATORY. SUBMIT RESULTS TO LANDSCAPE ARCHITECT FOR REVIEW. TESTS TO INCLUDE FERTILITY AND SUITABILITY ANALYSIS WITH WRITTEN RECOMMENDATIONS FOR SOIL AMENDMENT, FERTILIZER, CONDITIONERS, APPLICATION RATES, AND POST-CONSTRUCTION MAINTENANCE PROGRAM. TESTS TO BE CONTRACTED WITH AND PAID FOR BY THE CONTRACTOR.

- TOPSOIL:
CONTRACTOR IS RESPONSIBLE FOR SUPPLYING ALL TOPSOIL AND FOR DETERMINING THE VOLUME OF TOPSOIL REQUIRED PER THE INFORMATION ON PLANS AND NOTED HERE-IN. CONTRACTOR IS RESPONSIBLE FOR ANY NECESSARY WEED CONTROL RESULTING FROM CONTAMINATED OFF-SITE SOURCES.
- TOPSOIL TO CONSIST OF 1/3 BY VOLUME SANDY LOAM, 1/3 BY VOLUME COMPOSTED GARDEN MULCH, AND 1/3 BY VOLUME COARSE WASHED SAND OR EQUIVALENT.

- TOPSOIL PREPARATION AND INSTALLATION:
1. VERIFY SUBGRADES TO -9 INCHES IN LANDSCAPE AREAS OR AS INDICATED ON PLANS. THIS ACCOMMODATES, TOPSOIL, AMENDMENTS, AND MULCH. 6" IMPORTED TOPSOIL FOR LANDSCAPE BEDS.
2. ERADICATE ANY SURFACE VEGETATION ROOTED IN THE SUB-GRADE PRIOR TO SUB-GRADE PREPARATION.
3. REMOVE SOIL LUMPS, ROCK, VEGETATION AND/OR DEBRIS LARGER THAN 2 INCHES FROM ALL SUB-GRADE PRIOR TO PLACEMENT OF SPECIFIED TOPSOIL.
4. REMOVE ANY ASPHALT EXTENDING BEYOND 6 INCHES FROM CURBS INTO ADJACENT LANDSCAPE AREAS.

- TOPSOIL PLACEMENT:
1. PROVIDE A TOTAL FINISH COURSE OF 4 INCHES OF TOPSOIL FOR LANDSCAPE AREAS.
2. PLACE ADDITIONAL TOPSOIL AND SOIL MIX AS REQUIRED TO MEET FINISH ELEVATIONS.

MULCH (TOPDRESSING):
ONE-HALF-INCH (1/2") SIZE, TO ONE-QUARTER (1/4"), HEMLOCK/FIR BARK, FINE TEXTURED AND DARK BROWN IN COLOR.

STAKES:
2-INCH DIAMETER BY 8-FOOT MINIMUM LODGEPOLE PINE STAKES.

GUY MATERIAL:
1-INCH WIDE POLYETHYLENE CHAIN LOCK TYPE TIES; OR, 3/8" DIAMETER RUBBER. NO WIRE.

EXECUTION:

CONTAMINANTS:
VERIFY THAT ALL SOIL CONTAMINANTS (E.G., PAINT, SEALANTS, SOLVENTS, OILS, GREASES, CONCRETE/ASPHALT SPOILS, ETC.) HAVE BEEN SATISFACTORY REMOVED FROM ALL PLANTING AREAS. DO NOT BEGIN WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.

FINISH GRADES:
VERIFY THAT ALL SOIL CONTAMINANTS (E.G., PAINT, SEALANTS, SOLVENTS, OILS, GREASES, CONCRETE/ASPHALT SPOILS, ETC.) HAVE BEEN SATISFACTORY REMOVED FROM ALL PLANTING AREAS. DO NOT BEGIN WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.

TREES AND SHRUBS:
ARRANGE TREES AND SHRUBS ON SITE IN PROPOSED LOCATIONS PER DRAWINGS. EXCAVATE PIT, PLANT AND STAKE OR GUY, AS CALLED OUT AND DETAILED. ALL TREES, SHRUBS, AND SUPPORTS TO STAND VERTICAL. BACKFILL SHALL BE PIT SPOILS. SETTLE BACKFILL USING WATER ONLY. NO MECHANICAL COMPACTION.

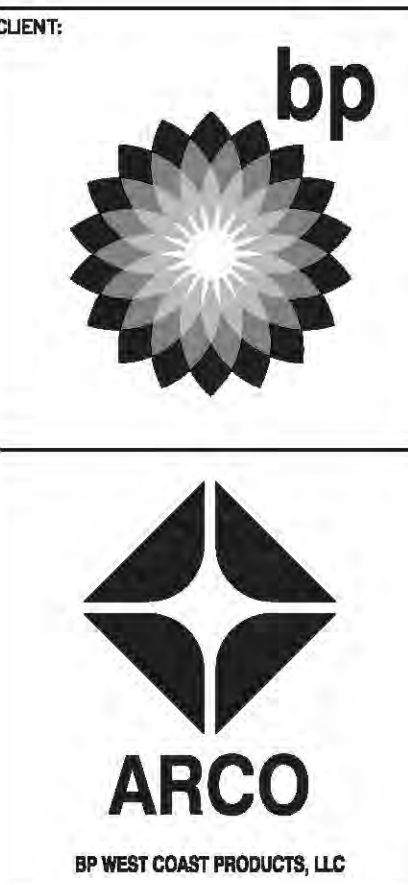
GROUNDCOVERS:
EXCAVATE PITS TO A MINIMUM OF 3 INCHES BELOW, AND TWICE THE ROOT BALL DIAMETER. WATER THOROUGHLY AND TAKE CARE TO ENSURE THAT ROOT CROWN IS AT PROPER GRADE, AS DETAILED.

MULCH:
MULCH ALL LANDSCAPE AREAS. MATCH DEPTH OF EXISTING MULCH. AT A MINIMUM, APPLY SUFFICIENT QUANTITY TO PROVIDE A 4-INCH DEPTH.

UTILITY CLEARANCES:
FIELD ADJUST PLANT LOCATIONS FOR 8-FOOT SEPARATION OF TREES/SHRUBS AND 2-FOOT SEPARATION FOR GROUNDCOVER FROM FIRE HYDRANTS AND UTILITY VAULTS.

CLEANUP AND PROTECTION:
DURING LANDSCAPE WORK, KEEP ALL PAVEMENT CLEAN AND WORK AREAS IN AN ORDERLY CONDITION. PROTECT LANDSCAPE WORK AND MATERIALS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS AND TRESPASSERS. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIOD. TREAT, REPAIR, OR REPLACE DAMAGE LANDSCAPE WORK AS DIRECTED BY THE OWNER.

PLANTING MAINTENANCE:
PROVIDE FULL MAINTENANCE BY SKILLED EMPLOYEES OF LANDSCAPE INSTALLERS. CONTRACTOR TO MAINTAIN PLANTINGS THROUGH COMPLETED INSTALLATION, AND UNTIL ACCEPTANCE OF LANDSCAPE INSTALLATION. PLANTING MAINTENANCE TO INCLUDE WATERING, WEEDING, CULTIVATING, TIGHTENING AND REPAIRING OF TREE CLIPS, RESETTling PLANTS TO PROPER GRADES OR POSITION, RE-ESTABLISHING SETTLED GRADES; AND MOWING LAWNS WEEKLY AFTER LAWN ESTABLISHMENT. HERBICIDE IS NOT RECOMMENDED FOR ONE YEAR FOLLOWING LANDSCAPE INSTALLATION. INCLUDED IS REPLACEMENT OF DEAD PLANTS AND PLANTS SHOWING LOSS OF 40 PERCENT OR MORE OF CANOPY.



Borghausen
Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
borghausen.com

NO.	DATE	REVISION DESCRIPTION
1	9/18/25	PER SHADING REQ'S
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DEVELOPMENT INFORMATION:
ARCO NTI
2900 am/pm
FUEL CANOPY w/ 6 MPD'S
105' CAR WASH

SITE ADDRESS:
4221 MISSOURI FLAT RD
@ FORNI ROAD
PLACERVILLE, CALIFORNIA

FACILITY #TBD
DESIGNED BY: TCR ALLIANCE TADM:
CHECKED BY: JMV BP REP:
DRAWN BY: TCR ALLIANCE PM:
VERSION: PROJECT NO:
21517

DRAWING TITLE:
**PLANT SCHEDULE AND
LANDSCAPE NOTES**

SHEET NO:
L2 of 4

PRELIMINARY NOT FOR CONSTRUCTION

PLACERVILLE, CA ARCO - NW SITE
PROJECTS - West: 21517-NW
Scale: 1" = 1'

LANDSCAPE DETAILS



APPROVED
EL DORADO COUNTY
PLANNING COMMISSION
DATE: October 9, 2025
EXECUTIVE SECRETARY: Karen L. Garner

PRUNE DAMAGED TWIGS AFTER PLANTING
PLACE IN VERT. POSITION: DOUBLE LEADERS WILL BE REJECTED

NOTE:
KEEP ROOTBALL MOIST AND PROTECTED AT ALL TIMES.
HOLD CROWN OF ROOTBALL AT OR JUST ABOVE FINISH GRADE.
PROTECT TRUNK AND LIMBS FROM INJURY.
BACKFILL TO BE SETTLED USING WATER ONLY - NO MECHANICAL COMPACTION.
REMOVE ALL WRAP, TIES & CONTAINERS, REGARDLESS OF MATERIAL.

(2) LODGEPOLE STAKES, PLUMB WITH ELASTIC CHAIN-LOCK TYPE OR RUBBER GUYS TIED IN FIGURE EIGHT; REMOVE AFTER ONE GROWING SEASON

PROTECTIVE WRAPPING DURING SHIPMENT TO SITE AND INSTALLATION REMOVE AT COMPLETION OF PLANTING

LAWN PLANTING: PROVIDE 3" Ø "NO GRASS" TREE RING AND 2" DEEP MULCH LAYER IN WELL. HOLD BACK FROM TRUNK 8" TO 10"

FINISH GRADE

PREPARE PLANTING BED PER SPEC'S; AT MIN., LOOSEN AND MIX SOIL TO 18" OR DEPTH OF ROOTBALL AND 2 TIMES BALL DIAMETER

REMOVE ALL WRAP, TIES, AND CONTAINERS
SCORE ROOTBALL AND WORK NURSERY SOIL AWAY FROM PERIMETER ROOTS

SET BALL ON UNDISTURBED BASE OR COMPACTED MOUND UNDER BALL

PENETRATION TO SUBBASE (+) 24"

DECIDUOUS TREE PLANTING/STAKING DETAIL

NOT TO SCALE

(2) LODGEPOLE STAKES; TIE AT APPROX. 1/3 TO 1/2 HEIGHT OF TREE WITH FLEXIBLE RUBBER TIE IN FIGURE EIGHT PATTERN. STAKES AND TREE TO BE PLUMB

3" DEEP SAUCER FOR WATER
MULCH LAYER

REMOVE ALL TIES, WRAP & CONTAINERS.
FREE PERIMETER ROOTS FROM NURSERY BALL

EXCAVATE TREE PIT AT A MIN. OF 2 TIMES DIA. OF ROOTBALL AT BALL CENTER, TAPERING PIT GRADE TO FINISH GRADE

PIT SPOILS, NURSERY BALL WASTE BACKFILL

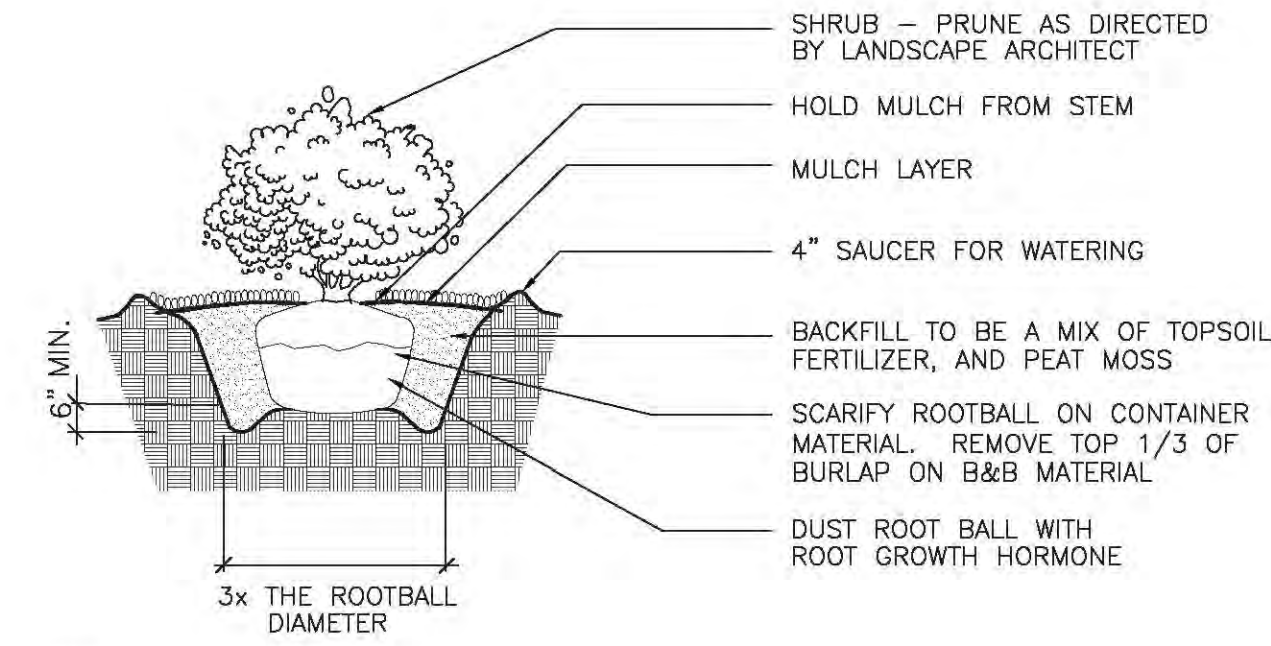
SET BALL ON UNDISTURBED SUBGRADE, OR COMPACTED SOIL.

NOTE:
LIGHT FERTILIZER OVER PLANTING BED AFTER BACKFILL ONLY; NO FERTILIZER IN PLANTING PIT.
WORK PERIMETER ROOTS FREE OF NURSERY BALL. BALL & PIT TO BE COURSELY SCARIFIED.

NOTE:
KEEP ROOTBALL MOIST AND PROTECTED AT ALL TIMES.
HOLD CROWN OF ROOTBALL AT OR JUST ABOVE FINISH GRADE.
PROTECT TRUNK AND LIMBS FROM INJURY.
BACKFILL TO BE SETTLED USING WATER ONLY - NO MECHANICAL COMPACTION.
REMOVE ALL WRAP, TIES & CONTAINERS, REGARDLESS OF MATERIAL.

EVERGREEN TREE PLANTING/STAKING DETAIL

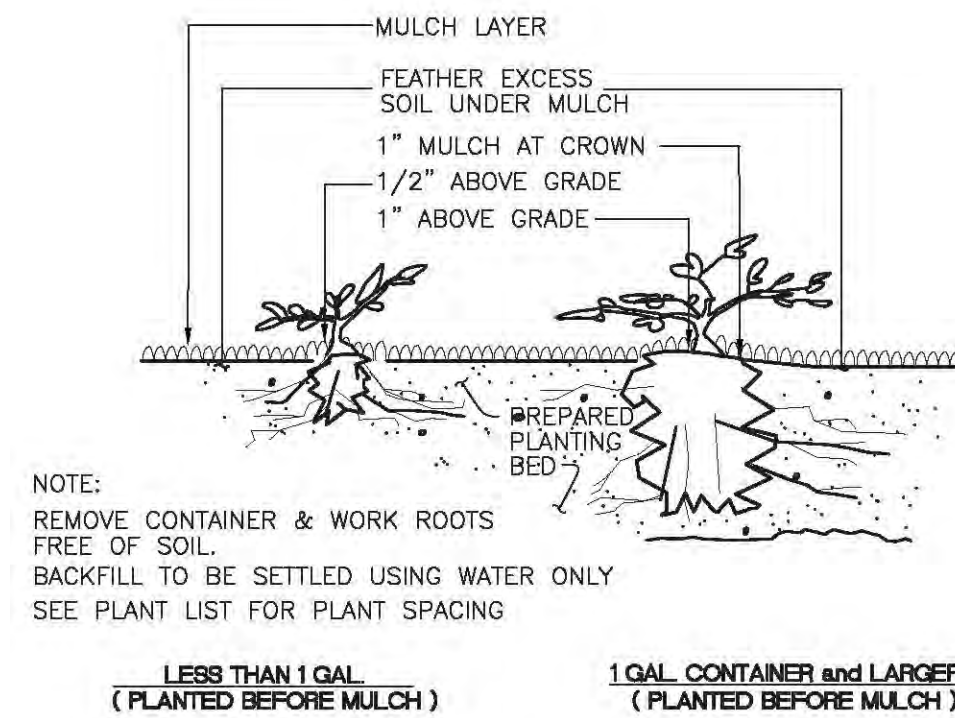
NOT TO SCALE



NOTE:
APPLY ADDITIONAL 4 OZ. 8-32-16 FERTILIZER INTO TOP 2" OF PLANTING MIX.
PLANT SHRUB HIGH ENOUGH TO ALLOW POSITIVE DRAINAGE AWAY FROM ROOTBALL. ROUGHEN ALL SURFACES OF PIT.
CUT AND REMOVE BURLAP FROM ROOT BALL

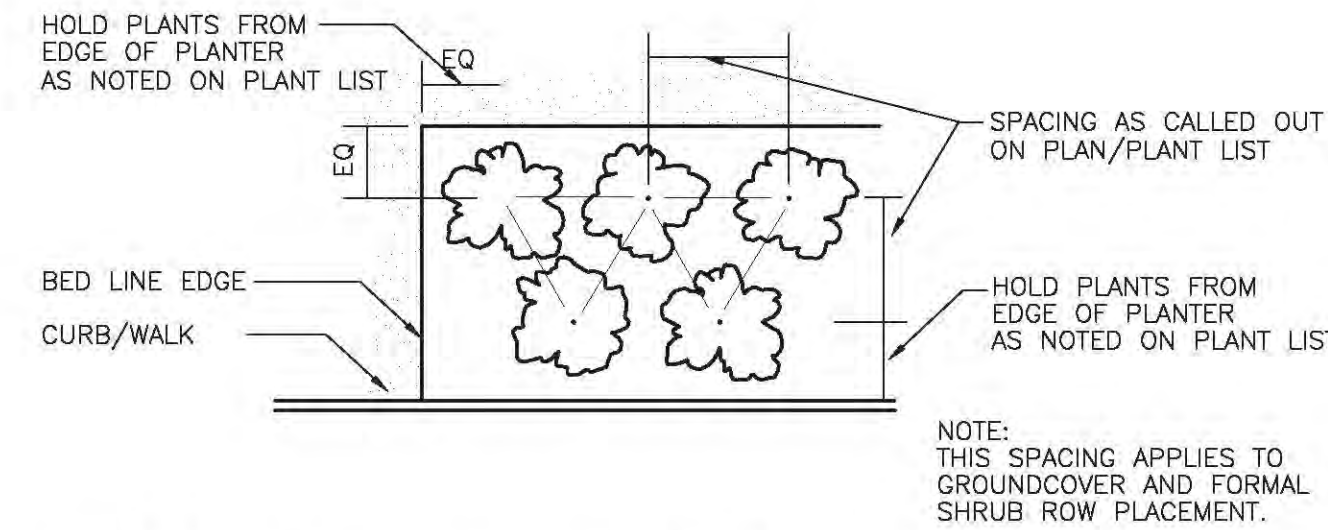
SHRUB PLANTING DETAIL

NOT TO SCALE



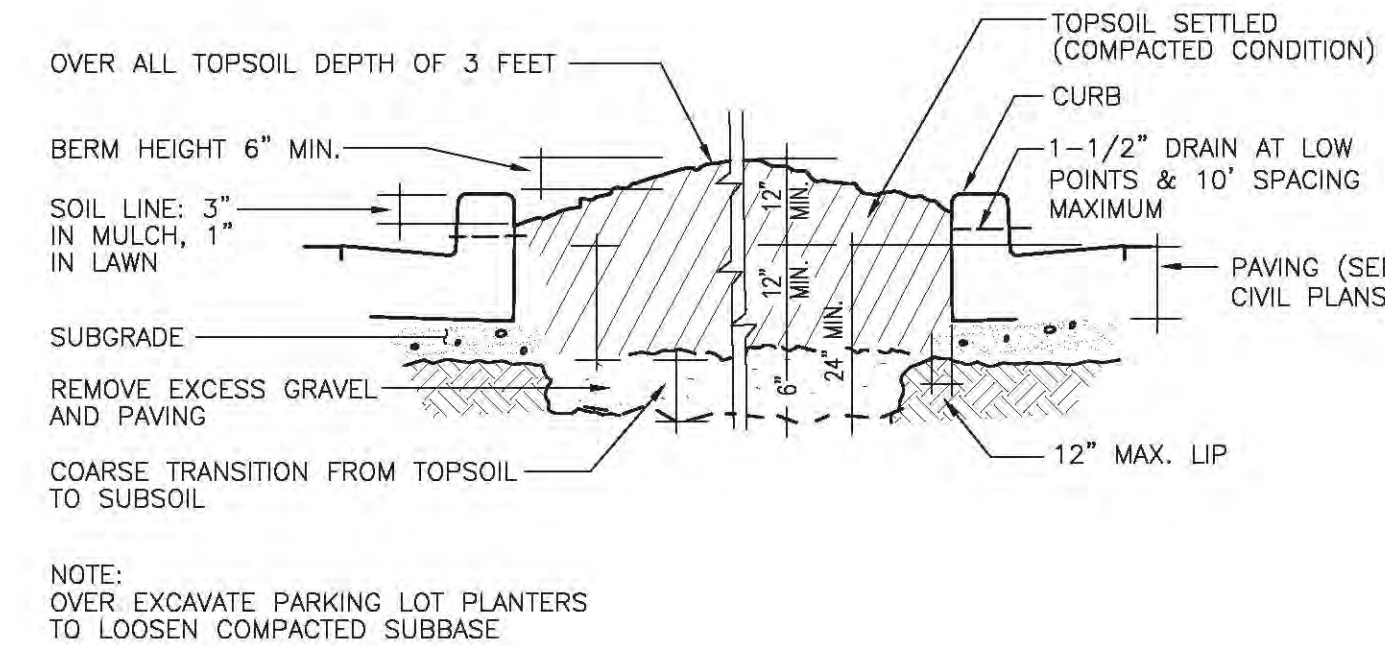
GROUNDCOVER PLANTING DETAIL

NOT TO SCALE



PLANT MATERIAL SPACING DETAIL

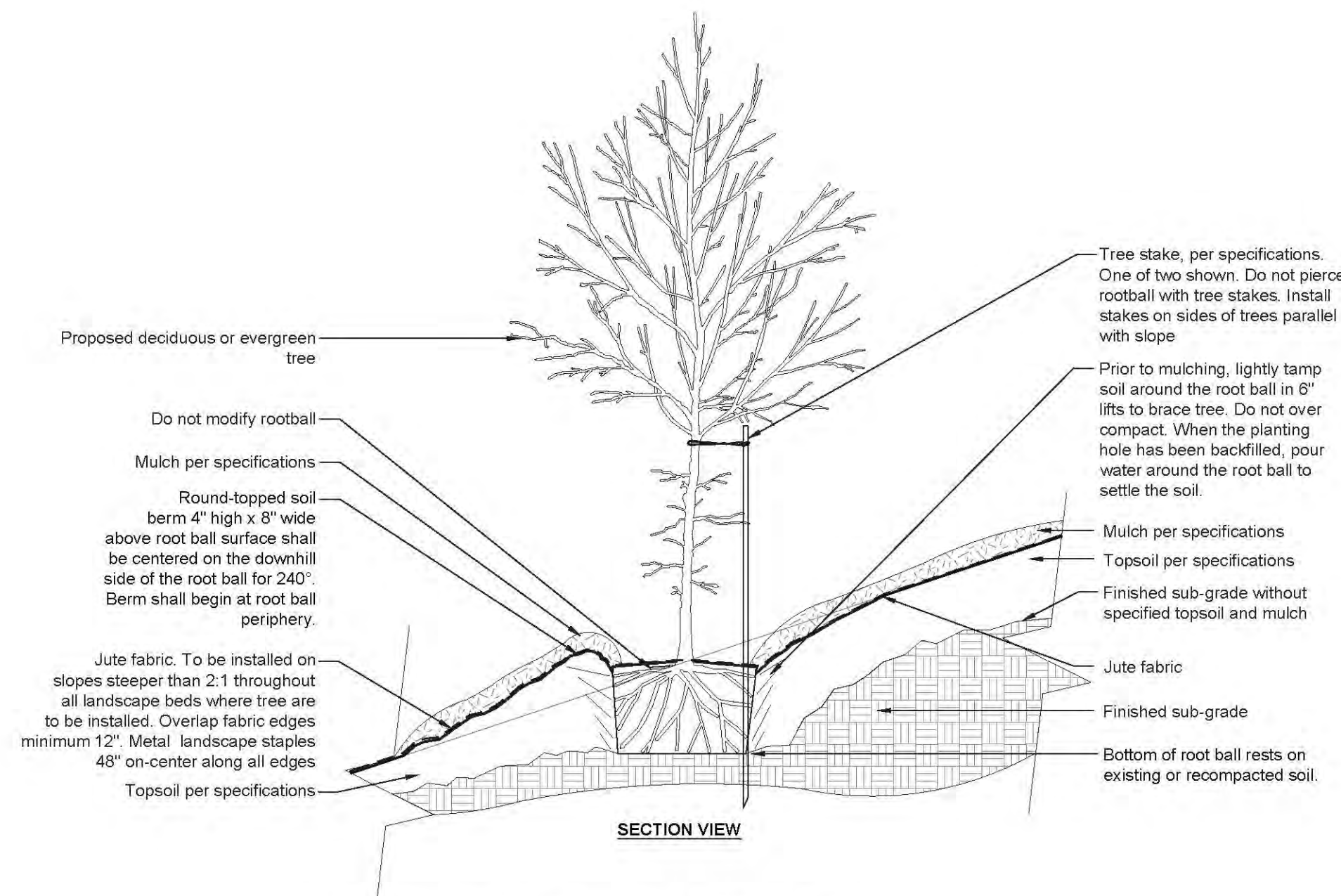
NOT TO SCALE



PARKING LOT PLANTER GRADING DETAIL

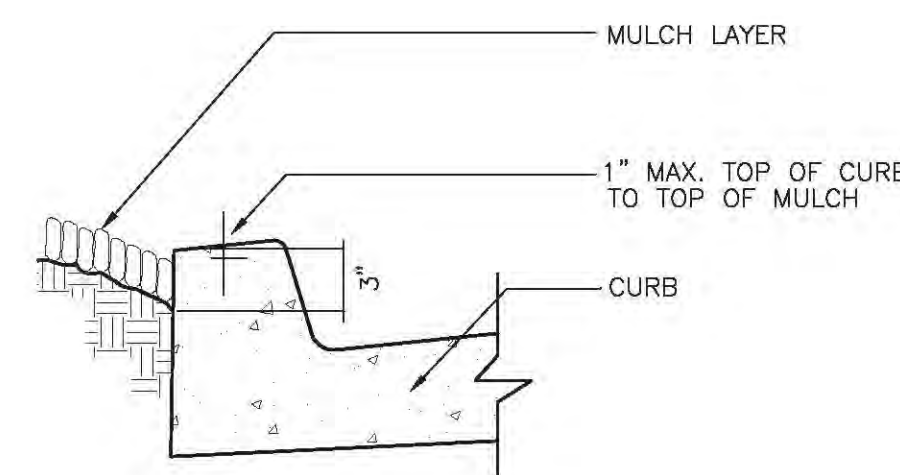
NOT TO SCALE

DUCT ALT #1: IF LANDSCAPE CONTRACTOR CAN DEMONSTRATE THAT PLANTER ISLANDS ARE NOT FULL OF NON-SOIL MATERIALS (CONCRETE WASTE, LUMBER, ROAD BASE, GRAVEL), FULL EXCAVATION AND REPLACE WITH 18"-21" OF TOPSOIL CAN BE ELIMINATED AND IN ITS PLACE, 6" OF COMPOST CAN BE PLACED ON SUB-GRADE AND CULTIVATED INTO TOP 12" OF EXISTING SOIL. TOP OF FINISH GRADE AND DEPTH OF MULCH STILL APPLIES



TREE PLANTING ON HILLSIDE DETAIL

NOT TO SCALE



MULCH AT CURB DETAIL

NOT TO SCALE



Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com

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DEVELOPMENT INFORMATION:
ARCO NTI
2900 am/pm
FUEL CANOPY w/ 6 MPD'S
105' CAR WASH

SITE ADDRESS:
4221 MISSOURI FLAT RD
@ FORNI ROAD
PLACERVILLE, CALIFORNIA

FACILITY #TBD
DESIGNED BY: TCR ALLIANCE ZADN:
CHECKED BY: JMV BP REP:
DRAWN BY: TCR ALLIANCE PM:
VERSION: PROJECT NO:
21517

DRAWING TITLE:
LANDSCAPE DETAILS

SHEET NO:
L3 of 4

PRELIMINARY NOT FOR CONSTRUCTION

PLACERVILLE, CA ARCO - NW SITE
PROBENTS: Xref: 21517-NW
Scale: 1" = 1'

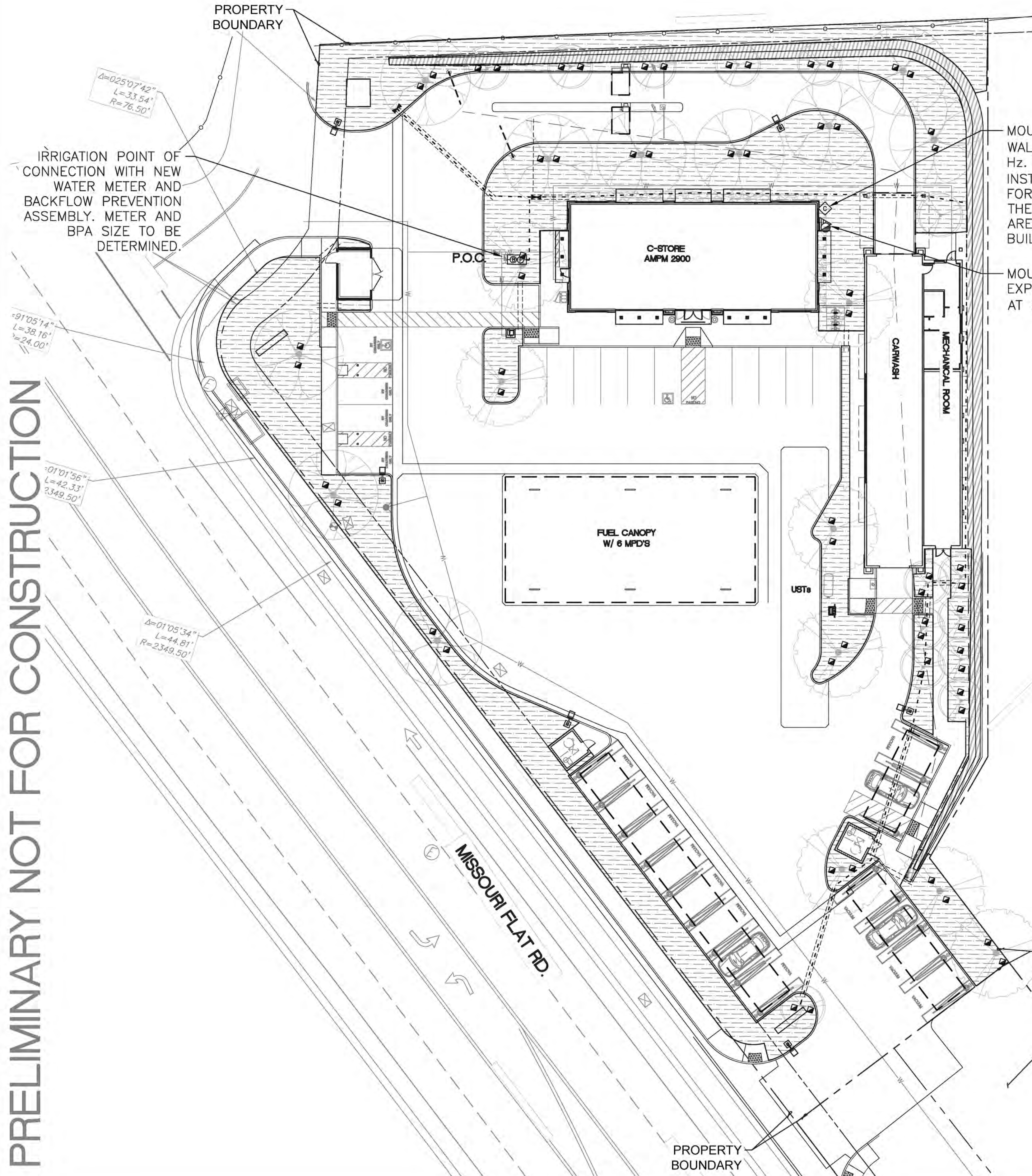
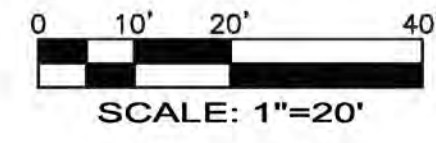
PRELIMINARY IRRIGATION PLAN

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE.



APPROVED
EL DORADO COUNTY
PLANNING COMMISSION
DATE: October 9, 2025
EXECUTIVE SECRETARY: Karen L. Garner

JWJ
NAME DATE
9.18.2025



PRELIMINARY NOT FOR CONSTRUCTION

MOUNT CONTROLLER ON EXTERIOR WALL. INPUT: 117VAC +/-10%, 60 Hz. OUTPUT: 26.5 VAC, 1.5 A. INSTALL 1" DIAMETER PVC CONDUIT FOR 24V ELECTRICAL WIRING FROM THE CONTROLLER TO LANDSCAPE AREA. PAINT CONDUIT TO MATCH BUILDING COLOR.

MOUNT RAIN SENSOR ON WEATHER EXPOSED PORTION OF EXTERIOR WALL AT 8' - 9' HEIGHT.

PRELIMINARY IRRIGATION SCHEDULE

SYMBOL	DESCRIPTION	MIN. PSI	EMITTER SPACING	EMITTER GPM
	RAINBIRD RWS-B-C-1402 .36" ROOT ZONE WATERING SYSTEM 2 EMITTERS PER TREE. SEE DETAIL THIS SET	20	AS SHOWN ON PLAN	.50

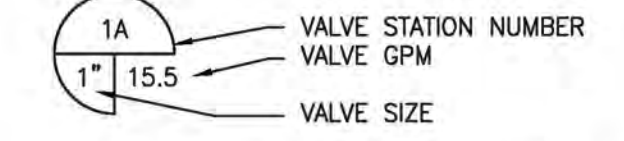
SYMBOL	DESCRIPTION	MIN. PSI	EMITTER SPACING	EMITTER GPM
	RAINBIRD XFS-CV-06-9 SUB-SURFACE DRIPLINE COMPONENTS: TO BE USED WITH RAINBIRD XF DRIPLINE INSERT FITTINGS OR TWIST LOCK FITTINGS			
	XFS-CV SUB-SURFACE DRIP IRRIGATION FOR PLANTING AREAS WITH GROUND COVER, SHRUBS AND TREES. ABOVE NOTED DRIPLINE IS DESIGNED WITH 40 GPH EMITTERS SPACED AT 12 INCHES APART AND A ROW SPACING OF 12" INCHES	20	12"	.40

NOTE: XFS-CV HAS A CHECK VALVE INTEGRATED

NO SYMBOL	RAINBIRD 'OPERIND'	DRIP SYSTEM OPERATION/PRESSURE INDICATOR STAKES, PROVIDE FOR EACH ZONE		
NO SYMBOL	RAINBIRD	SOIL STAPLES, AT 5 FEET ON CENTER		
NO SYMBOL	RAINBIRD	DRIPLINE FLUSH VALVE: 1 PER IRRIGATION ZONE. LOCATE AT LOWEST ELEVATION WITHIN EACH ZONE, INSTALL IN 10" VALVE BOX		

SYMBOL	DESCRIPTION
	VALVE FOR TREE BUBBLER IRRIGATION, RAINBIRD XCZ-100-PRF 1" MEDIUM FLOW ELECTRIC REMOTE CONTROL VALVE. INSTALL IN CARSON TRUST BLACK COLORED FOR TREE, SHRUB, AND GROUND COVER VALVES
	VALVES FOR DRIP IRRIGATION: RAINBIRD XCZ-150-LCS 1.5" MEDIUM FLOW ELECTRIC REMOTE CONTROL VALVE (15-62 GPM), RAINBIRD XCZ-100-PRF 1" MEDIUM FLOW ELECTRIC REMOTE CONTROL VALVE (3-15 GPM) INSTALL THE XCZ-100-PRF ON HYDROZONES #8 AND #14. ALL OTHERS TO BE XCZ-150-LCS INSTALL IN CARSON TRUST BLACK COLORED FOR TREE, SHRUB, AND GROUND COVER VALVES

TYPICAL VALVE CALL-OUT



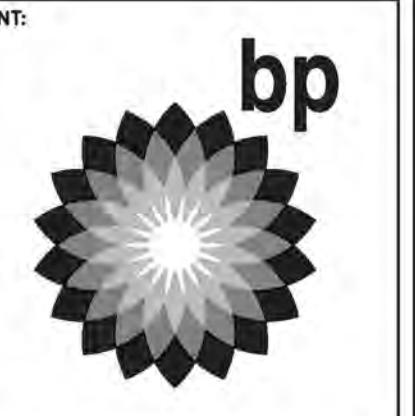
- HUNTER: I-CORE IRRIGATION CONTROLLER, (HARDWIRE CONNECTION); PROVIDE GROUND AND BATTERIES PER MFR. SPECS. MOUNT IRRIGATION CONTROLLER INSIDE LOCKABLE STEEL CABINET. SEE DETAIL THIS SET
- HUNTER SOLAR SYNC RAIN FREEZE SENSOR COMBO, MOUNT TO EXTERIOR OF STEEL IRRIGATION CONTROLLER ENCLOSURE. WIRE DIRECTLY TO CONTROLLER.
- RAINBIRD EFB-CP 1" MASTER VALVE (NORMALLY CLOSED) AND FS100B 1" FLOW SENSOR. SEE DETAIL THIS SET. WIRE FLOW SENSOR BACK TO CONTROLLER WITH PE-39 DATA CABLE (ON CONTROLLER, SET UP MASTER VALVE WATER-WINDOW DURING DAYTIME HOURS SO MAINLINE IS PRESSURIZED FOR USE OF QUICK COUPLERS)
- RAINBIRD 44-LRC 1" QUICK COUPLER, WITH LOCKING RUBBER COVER, 2-PIECE BODY. PROVIDE KEYS TO OWNER
- P.O.C. IRRIGATION POINT OF CONNECTION WITH NEW 1" WATER METER AND 1" BACKFLOW PREVENTION DEVICE. SEE DETAILS THIS SET. SEE CIVIL SET FOR WATER METER DETAIL

- MAINLINE - SCH 40 PVC (18" COVER); 1-1/2" SIZE MINIMUM
- LATERAL - SCH 40 PVC (12" COVER); SIZE PER TABLE, 3/4" SIZE MINIMUM
- NEW IRRIGATION SLEEVE - CLASS 200 PVC; 24" MINIMUM COVER AT VEHICLE CROSSINGS; TWICE THE SIZE OF INSERT PIPE AND/OR WIRES, 4" SIZE MINIMUM, COORDINATE WITH GENERAL AND PAVING CONTRACTORS. COORDINATE ASPHALT AND CONCRETE CUTTING WITH GENERAL CONTRACTOR

PIPE SIZING SCHEDULE

TYPE OF PIPE	3/4"	1"	1 1/4"	1 1/2"	2"	2 1/2"	
SCHEDULE 40 PVC: MAINLINE AND LATERALS	8	12	22	30	50	75	FLOW GPM

PORTION OF SITE APPROVED BY BOARD OF SUPERVISORS ON DECEMBER 17, 2019 UNDER CREEKSIDE PLAZA PROJECT (Z10-0009/P10-0012/PD10-0005) PLANS UNDER SEPARATE SUBMITTAL



Barghausen Consulting Engineers, Inc.

18215 72nd Avenue South
Kent, WA 98032
425.251.6222
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NO.	DATE	REVISION DESCRIPTION
1	9/18/25	PER SHADING REQ'S
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DEVELOPMENT INFORMATION:
ARCO NTI
2900 am/pm
FUEL CANOPY w/ 6 MPD'S
105' CAR WASH

SITE ADDRESS:
4221 MISSOURI FLAT RD
@ FORNI ROAD
PLACERVILLE, CALIFORNIA

FACILITY #TBD

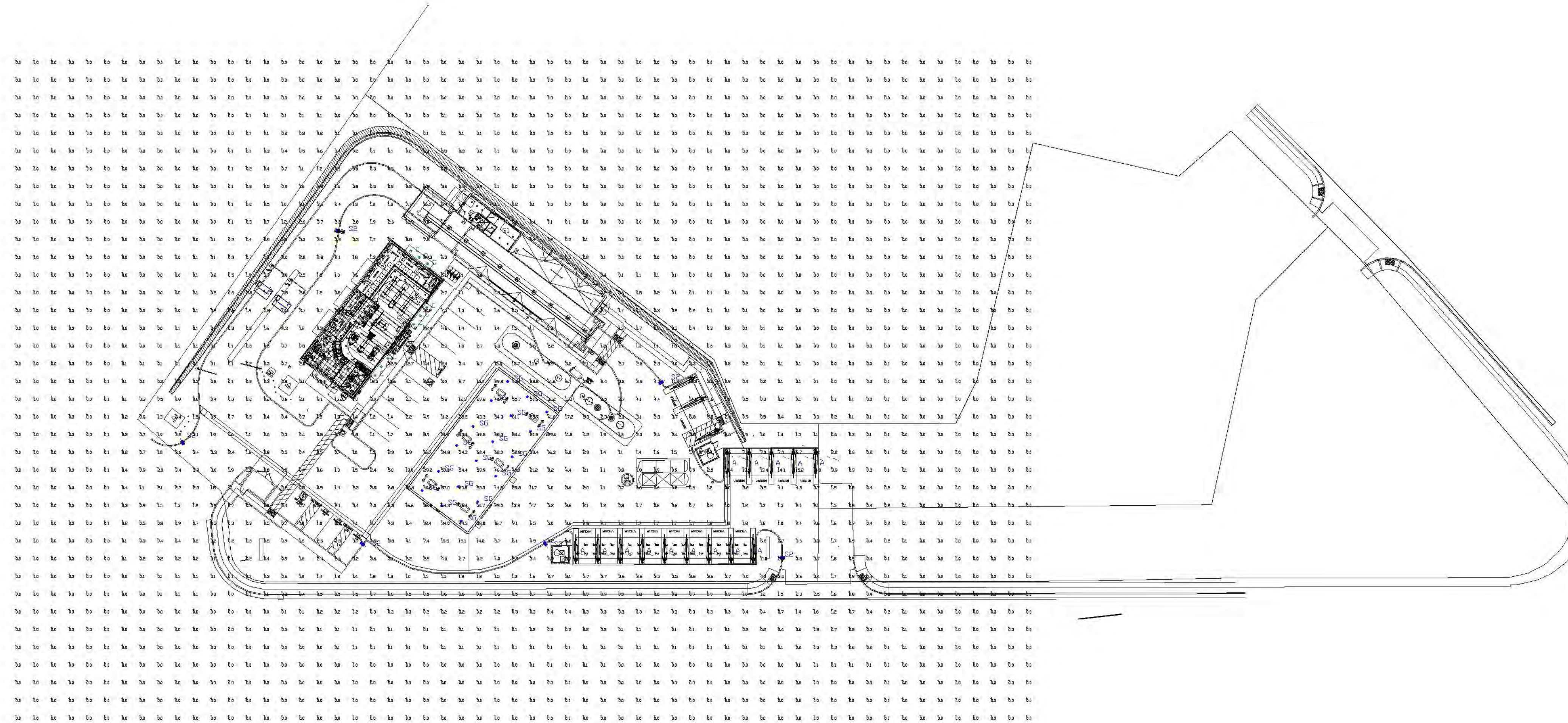
DESIGNED BY: TCR ALLIANCE ZADM:
CHECKED BY: JMV BP REPA:
DRAWN BY: TCR ALLIANCE PM:
VERSION: PROJECT NO:
21517

DRAWING TITLE:
PRELIMINARY IRRIGATION PLAN

SHEET NO:
L4 of 4

PD-R21-0002/CUP21-0004/P-E26-0001 CREEKSIDE PLAZA ARCO
EXHIBIT J - PHOTOMETRIC PLAN & LIGHTING INVENTORY

APPROVED
EL DORADO COUNTY
PLANNING COMMISSION
DATE: October 9, 2025
EXECUTIVE SECRETARY: Karen L. Garner



Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL_CALC_POINTS	Illuminance	Fc	1.97	62.4	0.0	N.A.	N.A.
VACUUM	Illuminance	Fc	13.48	16.9	10.7	1.26	1.58
CANDPY	Illuminance	Fc	48.45	62.4	29.2	1.66	2.14
INSIDE_CURB	Illuminance	Fc	4.58	36.9	0.1	45.80	369.00

TOTAL SITE LUMENS
 FIXTURE A 19 X 3,600 = 68,400
 FIXTURE C 17 X 3,966 = 67,422
 FIXTURE G 1 X 10,568 = 10,568
 FIXTURE M 2 X 6,557 = 13,114
 FIXTURE S2 6 X 9,657 = 57,942
 FIXTURE SG EXEMPT
 TOTAL SITE LUMENS = 217,466

Photometric data for fixture type "A" is based upon another manufacturer's test data and as a result can not be verified by LSI Industries for this calculation.

Symbol	Qty	Label	Arrangement	Description	Mounting Height	LLD	LLF	Arr. Lum. Lumens	Arr. Watts
	19	A	SINGLE	GPX6-S0-50K-UVD-120V FIXTURE BY OTHERS	10'	1.000	1.000	3600	27
	14	C	SINGLE	XSPS-S-LED-SS-CW-DFL	10'	1.000	1.000	3966	311
	3	G	SINGLE	XSPS-S-LED-SS-CW-DFL DIMMED 90%	10'	1.000	0.100	3966	311
	1	M	SINGLE	3RWM-B-LED-13-LF-50	10'	1.000	1.000	10568	96.06
	2	S2	SINGLE	XWM-FT-LED-06L-50 MTD @ 10' DIMMED 80%	10'	1.000	0.200	6557	47
	6	SG	SINGLE	SLM-LED-09L-SIL-FT-50-70CRI-SINGLE	16'/POLE+2'BASE	1.000	1.000	9657	63
	18	SG	SINGLE	SCV-LED-15L-SC-50	15'	1.000	1.000	15383	104

PHOTOMETRIC EVALUATION
NOT FOR CONSTRUCTION

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LEDs and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering products.

Total Project Watts
Total Watts = 3481.76

ARCO
MISSOURI FLAT RD & FORNE RD
PLACERVILLE, CA

LIGHTING PROPOSAL LO-154192-4

BY/DATE: DATE: 12-19-23 REV: 09-27-25 SHEET 1 OF 1

SCALE: 1"=40'

**PD-R21-0002/CUP21-0004/P-E25-0001 CREEKSIDE PLAZA ARCO
EXHIBIT J - PHOTOMETRIC PLAN & LIGHTING INVENTORY**

APPENDIX A

**EL DORADO COUNTY
Lighting Inventory**

Section A Project Information:

Project Name & File No: Creekside Plaza
 Site Address or Location: NWC Missouri Flat Road and Forni Road
Placerville, CA 95667
 APN: 327-211-025 Building Permit # TBD

Section B.1 Lighting Allowance

As a reference source, please review the Outdoor Lighting Ordinance, Chapter 130.34 (Outdoor Lighting) of Title 130 of the County Code of Ordinances.

$$\begin{array}{r}
 100,000 \text{ Maximum lumens (CR, RC, or RR)} \\
 \times 2.64 \text{ Total project area (Acres or net acres)} \\
 \hline
 = 264,000 \text{ Maximum Lumen Output Allowed}
 \end{array}$$

Section B.2 Preliminary Lighting Use

(A) Lamp Type	(B) Watts per lamp	(C) Lighting Plan Key (ID#)	(D) Number of lamps/ Length in feet (Neon only)	(E) Initial Lumen Output	(D x E) Total Unit Lumen Output
See photometric	27	A	19	3,600	68,400
See photometric	31.1	C	14	3,966	55,524
See photometric	31.1	C1	3	3,966	11,898
See photometric	96.06	G	1	10,568	10,568
See photometric	47	M	2	6,557	13,114
See photometric	63	S2	6	9,657	57,942
				Total Lumen Output	See next pg

**PD-R21-0002/CUP21-0004/P-E25-0001 CREEKSIDE PLAZA ARCO
EXHIBIT J - PHOTOMETRIC PLAN & LIGHTING INVENTORY**

APPENDIX A

**EL DORADO COUNTY
Lighting Inventory**

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 \times \underline{2.64} \quad \text{Total project area (Acres or net acres)} \\
 \hline
 = \underline{264,000} \quad \text{Maximum Lumen Output Allowed}
 \end{array}$$

Section B.2 Preliminary Lighting Use

(A) Lamp Type	(B) Watts per lamp	(C) Lighting Plan Key (ID#)	(D) Number of lamps/ Length in feet (Neon only)	(E) Initial Lumen Output	(D x E) Total Unit Lumen Output
See photometric	104	SG	18	15,383	EXEMPT
				Total Lumen Output	217,446


**PD-R21-0002/CUP21-0004/P-E25-0001 CREEKSIDE PLAZA ARCO
EXHIBIT J - PHOTOMETRIC PLAN & LIGHTING INVENTORY**

APPENDIX A

Design Certification:

This form must be completed and signed by the design professional, as defined under Subsection 3.2 (Definitions) of the Community Design Standards (Outdoor Lighting).

“I/we certify that the design and technical specifications are compliant with the requirements in Community Design Standards (Outdoor Lighting).”

Signature 	Date 08/27/2025
Name (Print) Daniel Goalwin	Title Licensed Architect
Telephone No. 425-656-7441	E-mail Address dgoalwin@barghausen.com
License or Certification No. 18885	
Company Barghausen Consulting Engineers, Inc	Street Address 18215 72nd Avenue South
City Kant	State and Zip Code WA 98032

Section C Construction and Installation Certificate of Completion

This form must be completed and signed by the design professional or the licensed contractor who installed the system.

“I/we certify that based upon periodic site observations, the work has been completed in accordance with the Community Design Standards (Outdoor Lighting) and that the lighting system was built and installed according to the design specifications certified above.”

Signature	Date
Name (Print)	Title
Telephone No.	E-mail Address
License or Certification No.	
Company	Street Address
City	State and Zip Code

PD-R21-0002/CUP21-0004/P-E25-0001 CREEKSIDE PLAZA ARCO
EXHIBIT K - ELEVATIONS & COLOR CONCEPT PLANS

APPROVED
EL DORADO COUNTY
PLANNING COMMISSION
DATE: October 9, 2025
EXECUTIVE SECRETARY: Karen L. Garner

NOTE:
ALL WALLS TO BE CMU
TO A PLATE HEIGHTS-
MIN 9'-0" IN HEIGHT

GENERAL NOTES

- A. REVEAL LOCATIONS IN FINISH SYSTEM SHOWN ARE TO ALIGN AS CLOSELY AS POSSIBLE TO ELEVATIONS.
- B. SEE SHEET A4.3 FOR ACM PANEL JOINT DETAILS

KEYED NOTES

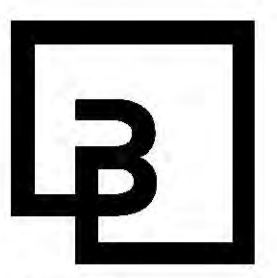
- 1 ALUMINUM ENTRANCE AND STOREFRONT SYSTEM, REFER TO SHEET A5.3 & SPECIFICATION.
- 2 STEEL ROOF AWNING
- 3 OVERFLOW DRAIN
- 4 MITL TRELLIS FIXTURE
- 5 SMALL INTERNALLY ILLUMINATED SURFACE MOUNTED WALL SIGN
- 6 WALL MOUNTED LED FIXTURE

COLOR LEGEND

- P-1 BENJAMIN MOORE, 1077 "GREAT PLAINS GOLD", SATIN FINISH
- P-2 BENJAMIN MOORE, 1030 "BRANDY CREAM", SATIN FINISH
- P-3 BENJAMIN MOORE, 2121-30 "PEWTER", HIGH GLOSS FINISH
- P-15 BENJAMIN MOORE, 2121-30 "PEWTER", HIGH GLOSS FINISH
- P-16 BENJAMIN MOORE, 2121-30 "PEWTER", HIGH GLOSS FINISH

MATERIAL LEGEND

- STONE PANELIZED STONE VENEER MER: CORONADO, SERIES: PRO-LEDGE COLOR: "ALASKAN SUNSET"
- STUCCO 3/8" CEMENT PLASTER, INSTALLED PER MFG. SPECIFICATIONS; TEXTURE: FINE SAND FINISH
- ALUM CLEAR ANODIZED ALUMINUM
- ROOF STANDING SEAM METAL ROOF
- STL-1 STEEL AWNING
- WOOD WOOD TRIM
- SIDING HORIZ WOOD SIDING



**Barghausen
Consulting Engineers, Inc.**
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com

NO.	DATE	REVISION DESCRIPTION

*Not for
Construction*

DEVELOPMENT INFORMATION:
ARCO NTI
2900 am/pm
FUEL CANOPY w/ 8 MPD's
105' LONG CAR WASH

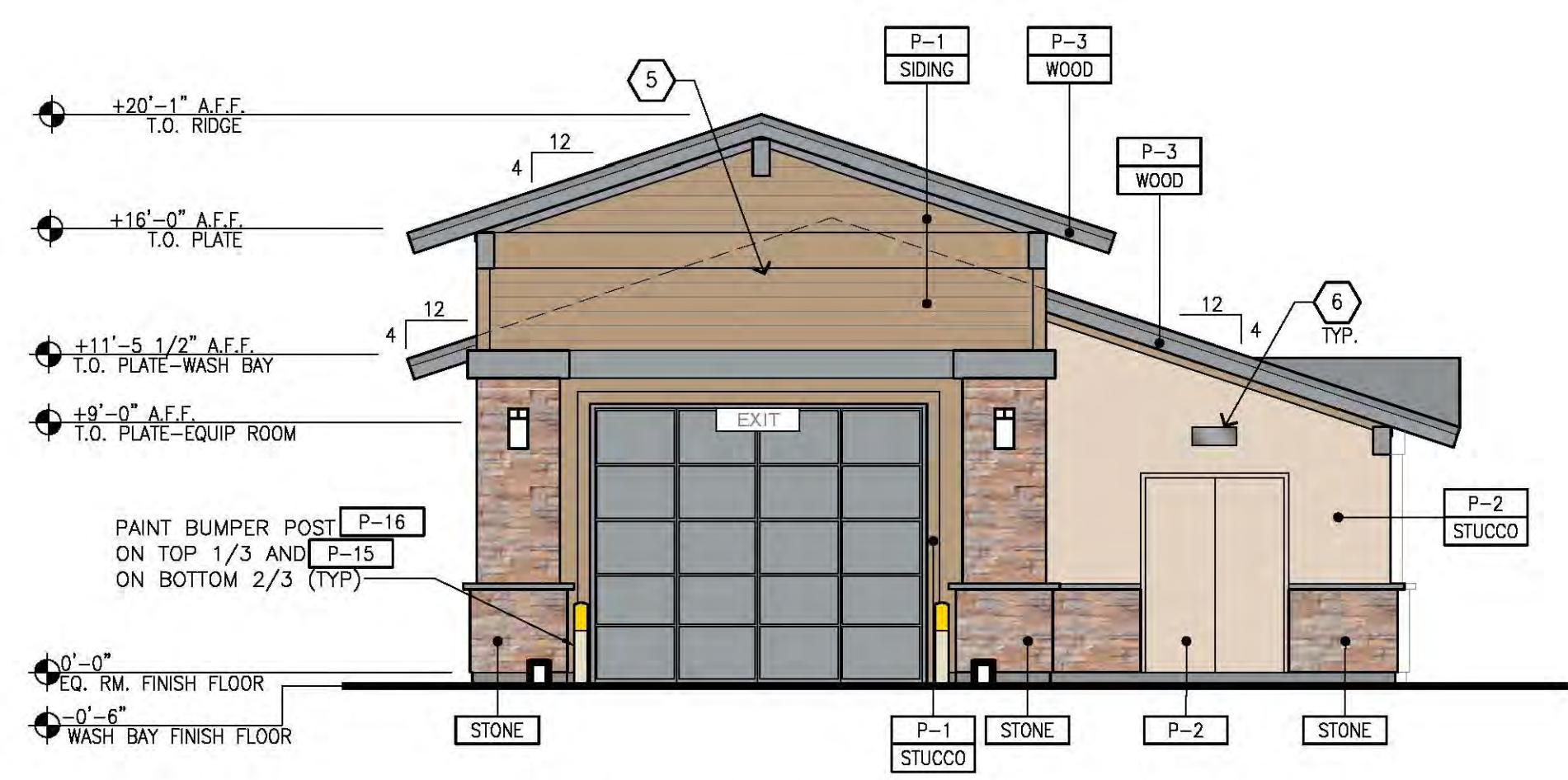
SITE ADDRESS:
NWC MISSOURI FLAT RD
@ FORNI ROAD
PLACERVILLE, CALIFORNIA

FACILITY #TBD

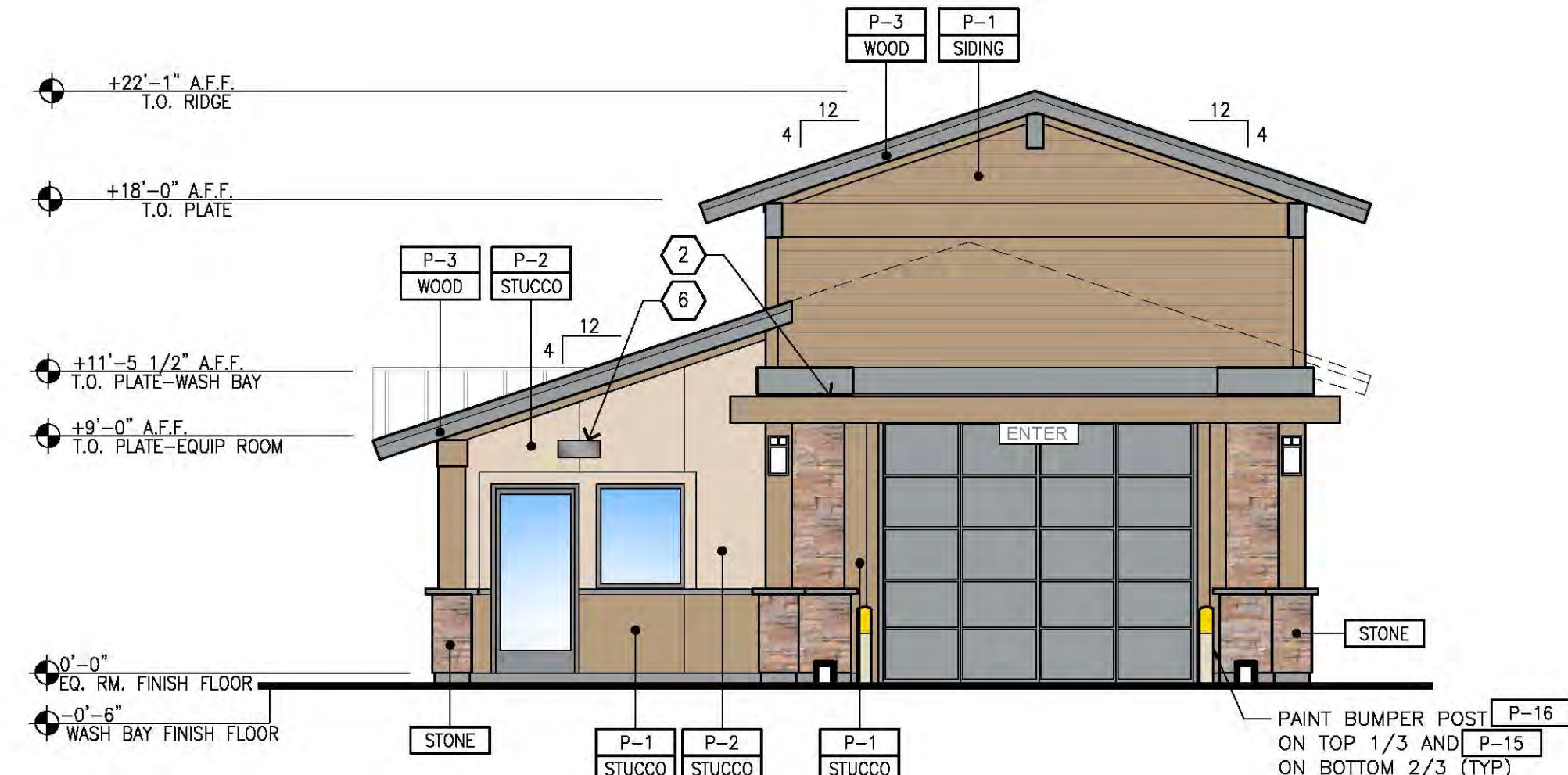
DESIGNED BY: ALLIANCE ZAGAL
CHECKED BY: BP ROMA
DRAWN BY: ALLIANCE PM
VERSION: PROJECT NO: 21517

**CARWASH
ELEVATIONS**

SHEET NO:
CWA2.1



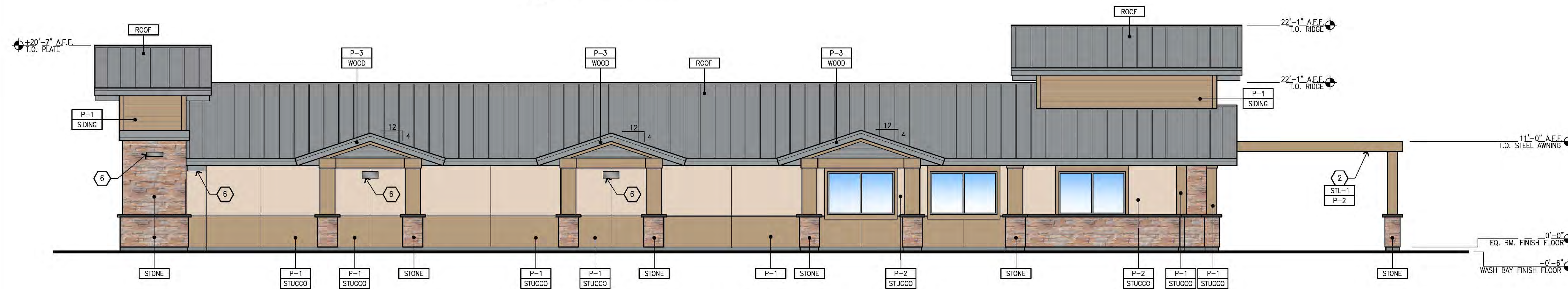
1 LEFT ELEVATION-WEST SIDE
SCALE: 3/16"=1'-0"



2 RIGHT ELEVATION-EAST SIDE
SCALE: 3/16"=1'-0"



3 FRONT ELEVATION-SOUTH SIDE
SCALE: 3/16"=1'-0"



4 REAR ELEVATION-NORTH SIDE
SCALE: 3/16"=1'-0"



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EL DORADO COUNTY
PLANNING COMMISSION

PD-R21-0002/CUP21-0004/P-E25-0001 CREEKSIDE PLAZA ARCO
EXHIBIT M - REVISED UNIFORM SIGN PROGRAM

DATE: October 9, 2025

EXECUTIVE SECRETARY: Karen L. Garner *KLG*

SIGN CRITERIA



Creekside Plaza

CONTENTS

<u>Subject</u>	<u>Page</u>
Contents	1
Introduction	2
Landlord/Tenant Requirements	2
Pad Tenant Specifications	3
Sign Construction	4
Prohibited signs	5
Abandonment of Signs	5
Inspection	5
Maintenance	5
Shop Tenant Signage	6
Monument Signage	7
General Sign Construction Requirements	8
Sign Plan Summary	9

ORIGINAL MSP PAGES 1-9

For further information, please contact:



COMSTOCK
SIGN COMPANY

SIGNS ✦ LIGHTING ✦ SERVICE ✦ MAINTENANCE
DIGITAL READER BOARDS ✦ ELECTRICAL

PLACERVILLE, CA (530) 903-6785

REVISION TO MSP
SEE REVISION PAGES
PAGE 10- REVISED SITE PLAN

PAGE 11- ARCO AMPM ATTACHED
SIGNS TO PAD 1 NORTH & SOUTH ELEVATIONS
AND MONUMENT SIGNS A1,A2
WITH SIGNAGE TABLE FOR PAGES 11,12,13.

PAGE 12- ATTACHED SIGNS TO DRIVE THRU
CAR WASH PAD 2

PAGE 13
ATTACHED SIGNS TO FUEL PUMP CANOPY

THE INTENT OF THIS
REVISION IS TO ACCOMMODATE
*THE SINGLE USE OF ARCO AMPM
(PAD 1)
*THE FUEL PUMP CANOPY
*THE CARWASH(PAD 2)

IF THE USE CONVERTS BACK TO
A MULTIPLE TENANT PROPERTY
THE MSP WILL REVERT TO ITS
ORIGINAL APPROVALS



AlphaArchitectural
Signs & Lighting

8410 WAREHOUSE WAY
SACRAMENTO, CA 95826
916-378-0225

REVISED PAGE 9



DATE: October 9, 2025

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SIGN CRITERIA



Introduction to sign Criteria *Creekside Plaza*

INTRODUCTION

The purpose of this sign criteria is to provide the guidelines necessary to achieve a visually coordinated, balanced and appealing sign environment, harmonious with the architecture of the project, while maintaining provisions for individual graphic expression.

Performance of this sign criteria shall be strictly enforced and any nonconforming sign shall be removed by the tenant or his sign contractor at their expense, upon demand by the Landlord.

Exceptions to these standards shall not be permitted without approval from the Landlord and will require approval of a modification to the sign program application by the County.

Accordingly, the Landlord will retain full rights of approval for any sign used in the center.

No sign shall be installed without the written Landlord approval and the required County permits.

LANDLORD/TENANT REQUIREMENTS

1. Each Tenant shall submit to for written approval, three (3) copies of the detailed shop drawings of this proposed sign, indicating conformance with the sign criteria herein outlined.
2. The Landlord shall determine and approve the availability and position of a Tenant name on any monument or pylon signs. Tenant will be responsible for lettering of designated monument face.
3. The Tenant shall pay for all signs, related materials and installation fees (including final inspection costs).
4. The Tenant shall obtain all necessary permits.
5. The Tenant shall be responsible for fulfillment of all requirements of this sign criteria.
6. It is the responsibility of the Tenant's sign company to verify all conduit and transformer locations and service access prior to fabrication.
7. Should a sign be removed, it is the Tenant's responsibility for such removal and to patch and paint surface to match the existing color, and restore surface to original condition.



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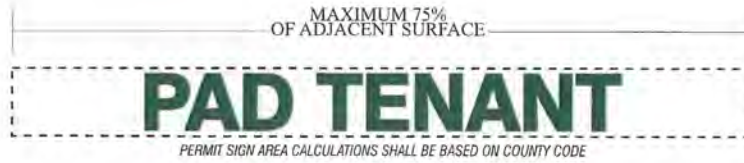
PD-R21-0002/CUP21-0004/P-E25-0001 CREEKSIDE PLAZA ARCO
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SIGN CRITERIA

PAD TENANT



SPECIFICATIONS

CONSTRUCTION: Plex faced channels allowed. Raceway-mounted ONLY.

ILLUMINATION: No 'halo' lit letters. Day-Night letters acceptable. LED acceptable.(see page 6)

COPY: Tenant name and/or logo

HEIGHT: 18" Maximum

LENGTH: 75% of adjacent surface

TYPEFACE: Custom logo and type OK.

COLORS: Custom Colors OK

(county codes will prevail if more restrictive than this criteria)





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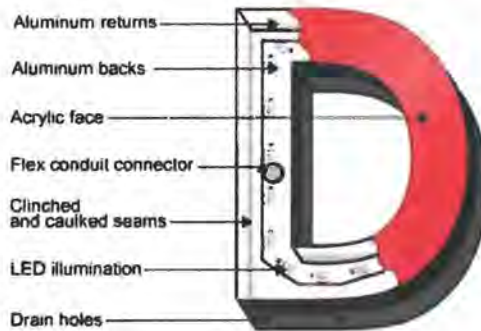
PD-R21-0002/CUP21-0004/P-E25-0001 CREEKSIDE PLAZA ARCO
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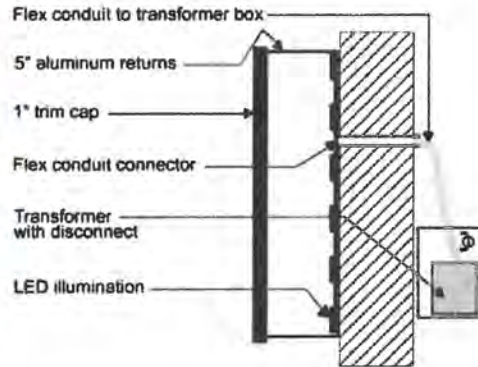
EXECUTIVE SECRETARY: Karen L. Garner

SIGN CRITERIA

SIGN CONSTRUCTION



FRONT VIEW



SIDE VIEW

Illuminated ACRYLIC FACED CHANNELS with THROUGH FACE ILLUMINATION.

Use standard aluminum construction with Matthews (or equivalent) satin acrylic polyurethane finish.

Faces: Use any color translucent acrylic with black trim cap, unless approved otherwise.

LED Illumination.

Paint aluminum channel any color, as per landlord approval.



DATE: October 9, 2025

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SIGN CRITERIA



PROHIBITED SIGNS:

1. Signs constituting a Traffic Hazard:
No person shall install or maintain, or cause to be installed or maintained, any sign which simulates or imitates in size, color, lettering or design any traffic sign or signal, or which makes use of the words "STOP", "LOOK", "DANGER" or any words, phrases, symbols, or characters in such a manner as to interfere with, mislead or confuse traffic.
2. Signs painted directly on a building surface will not be permitted.
3. Signs in Proximity to Utility Lines:
Signs which have less horizontal or vertical clearance from authorized communication or energized electrical power lines that are prescribed by the laws of the State of California are prohibited.
4. Wall signs may not project above the top of a parapet, the roof line at the wall, or roof line.
5. There shall be no signs that are flashing, moving or audible.
6. No sign shall project above or below the sign-able area. The sign-able area is defined in the attached exhibit for tenants.
7. Vehicle Signs:
Signs on or affixed to trucks, automobiles, trailers, or other vehicles which are used for advertising, identity, or provide direction to a specific use or activity not related to its lawful activity are prohibited. (i.e. Delivery trucks with tenant signage is OK)
8. Light Bulb Strings:
External displays, other than temporary decorative holiday lighting which consists of unshielded light bulbs are prohibited. An exception may be granted by the Landlord when the display is an integral part of the design character the activity to which it relates.

9. Banners, Pennants & Balloons Used for Advertising Purposes:
temporary flags, banners, or pennants, or a combination of some constituting an architectural feature which is an integral part of the design character of a project may be permitted subject to Municipal Code requirements, Landlord's, and County approval.
10. Billboard Signs are not permitted.
11. The use of permanent "sale" signs are prohibited. The temporary use of these signs are limited to a thirty-day period and is restricted to signs affixed to the interior of windows which do not occupy more than 20% of the window area. Each business is permitted a total of not more than ninety (90) days of temporary window sale signs per calendar year.
12. No standard plex faced cabinet construction allowed.

ABANDONMENT OF SIGNS:

Any tenant sign left after thirty (30) days from vacating premises shall become the property of Landlord. Removal at tenants expense.

INSPECTION:

Landlord reserves the right to hire an independent electrical engineer at the Tenant's sole expense to inspect the installation of all Tenant's signs and to require the Tenant to have any discrepancies and/or code violations corrected at the Tenant's expense.

MAINTENANCE:

It is the Tenant's responsibility to maintain their signs in proper working and clean conditions at all times. Otherwise, landlord reserves the right to hire his own contractor, make the necessary corrections, and bill tenant should it be deemed necessary.



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SIGN CRITERIA



SHOP TENANT SIGNAGE SPECIFICATIONS:

The intent of this criteria is to insure a standardized uniform style throughout the center while encouraging the creativity of typographical and iconic elements to develop interest and style. Signs must be architecturally compatible with the entire center.

In order to allow creativity and artistic designs, ascending and descending shapes will be allowed to extend beyond the envelope limits provided that the overall allocated square footage is not exceeded. In other words, these areas shall be calculated individually and added to the "boxed" area for the main sign body. (See Diagram below)

STOREFRONT SIGNAGE

The following types of construction will be allowed:

- * Acrylic face channels
- * Acrylic face icons and logos



Irregular shaped icons & logos should be considered in sign design for increased visual impact.

Descender: (The part of the lowercase letters, as g,p, and y which extends below the other lowercase letters)





PD-R21-0002/CUP21-0004/P-E25-0001 CREEKSIDE PLAZA ARCO EXHIBIT M - REVISED UNIFORM SIGN PROGRAM

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PLANNING COMMISSION

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PRCA

SIGN CRITERIA



MONUMENT SIGNS **A & B**:

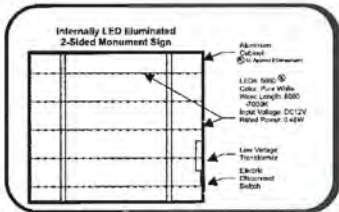
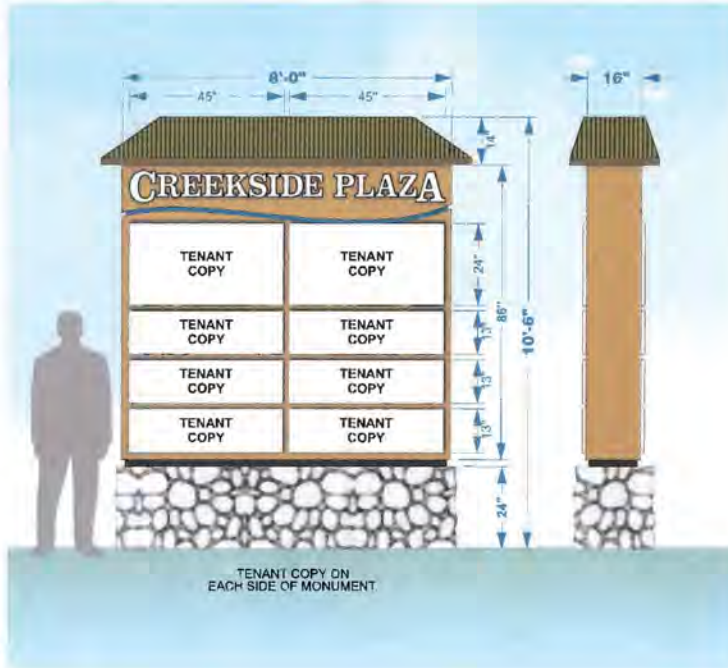
The design of the double-sided monument signs shall be commensurate with architecture of existing buildings in the Creekside Plaza.

Owner, at Owner's sole discretion, will determine which tenants will have signage on these signs.

Each sign shall be located at least one foot away from all utilities and the public right-of-way; and shall not restrict sight distances of motorists using the main driveway.

LED Internal illumination.

The color of the lettering shall match the Tenant's on building signage. Sign faces must have Owner's approval prior to manufacture or installation.



MANUFACTURE & INSTALL ONE (1) ILLUMINATED MONUMENT SIGN

CONSTRUCTION:

- 20G ALUMINUM CABINET; ROOF STRUCTURE
- POLYESTER ALUMINUM FACES; PUGH-THEW ACRYLIC TENANT COPY
- STUCCO COATED; PAINTED TO MATCH BUILDINGS
- STONE VENEER BASE
- LED ILLUMINATION



DATE: October 9, 2025

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SIGN CRITERIA

GENERAL SIGN CONSTRUCTION REQUIREMENTS:

1. All signs and their installation shall comply with all local building and electrical codes.
2. All electrical will be fabricated by U.L. approved sign company, according to U.L. specifications and bear U.L. Label.
3. Sign company to be fully licensed with the City and State and shall have full Workman's Compensation and General Liability Insurance.
4. All penetrations of building exterior surfaces are to be sealed waterproof in color and finish to match existing exterior.
5. Internal illumination to be LED, installed and labeled in accordance with the "National Board of Fire Underwriters Specifications".
6. Painted surfaces to have a satin finish. Only paint containing acrylic polyurethane products may be used.
7. Logo and letter heights shall be as specified and shall be determined by measuring the normal capital letter of a type front exclusive of swashes, ascenders, and descenders.
8. All sign fabrication work shall be of excellent quality. All logo images and type-styles shall be accurately reproduced. Lettering that approximates type-styles will not be acceptable. The Landlord reserves the right to reject any fabrication work deemed to below standard.
9. All lighting must match the exact specification of the approved working drawings. No exposed conduits or raceways will be allowed.

10. Signs must be made of durable rust-inhibiting materials that are appropriate and complimentary to the building.
11. Color coatings shall exactly match the colors specified on the approved plans.
12. Joining of materials (e.g., seams) shall be finished in way as to be unnoticeable. Visible welds shall be continuous and ground smooth. Rivets, screws, and other fasteners that extend to visible surfaces shall be flush, filled, and finished so as to be unnoticeable.
13. Finished surfaces of metal shall be free from oil canning and warping. All sign finishes shall be free from dust, orange peel, drips, and runs and shall have a uniform surface conforming to the highest standards of the industry.
14. In no case shall any manufacturer's label be visible from the street from normal viewing angles.
15. Exposed junction boxes, lamps, tubing or LED crossovers of any type are not permitted.
16. All conduits, etc....installed on wall, corrugated metal and/or back of parapets to be painted a specific color to be obtained from the architect.



For further information, please contact:

COMSTOCK
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PK

SIGN CRITERIA



Creekside Plaza
SIGN PLAN SUMMARY

Monument Sign A1 (Missouri Flat Road)

Primary Sign measuring 8 x 10.5 feet; 84.0 sf sign area; 10.5 ft tall; Internal Illumination.
Double-Sided Signage.

Monument Sign A2 (Missouri Flat Road)

Primary Sign measuring 8 x 10.5 feet; 84.0 sf sign area; 10.5 ft tall; Internal Illumination.
Double-Sided Signage.

Tenant Wall Signs C

Carwash Wall Signs D

Landscape Wall Center I.D. Lettering E

1 Set Internally Illuminated Channel Letters with Acrylic Day/Night Faces (White/Black).
Two 14" letters, and twelve 12" Letters.
Returns to be 3", Durotonic Finish. Black Trim-Cap, 3/4".

Total Freestanding Signs

2 Signs



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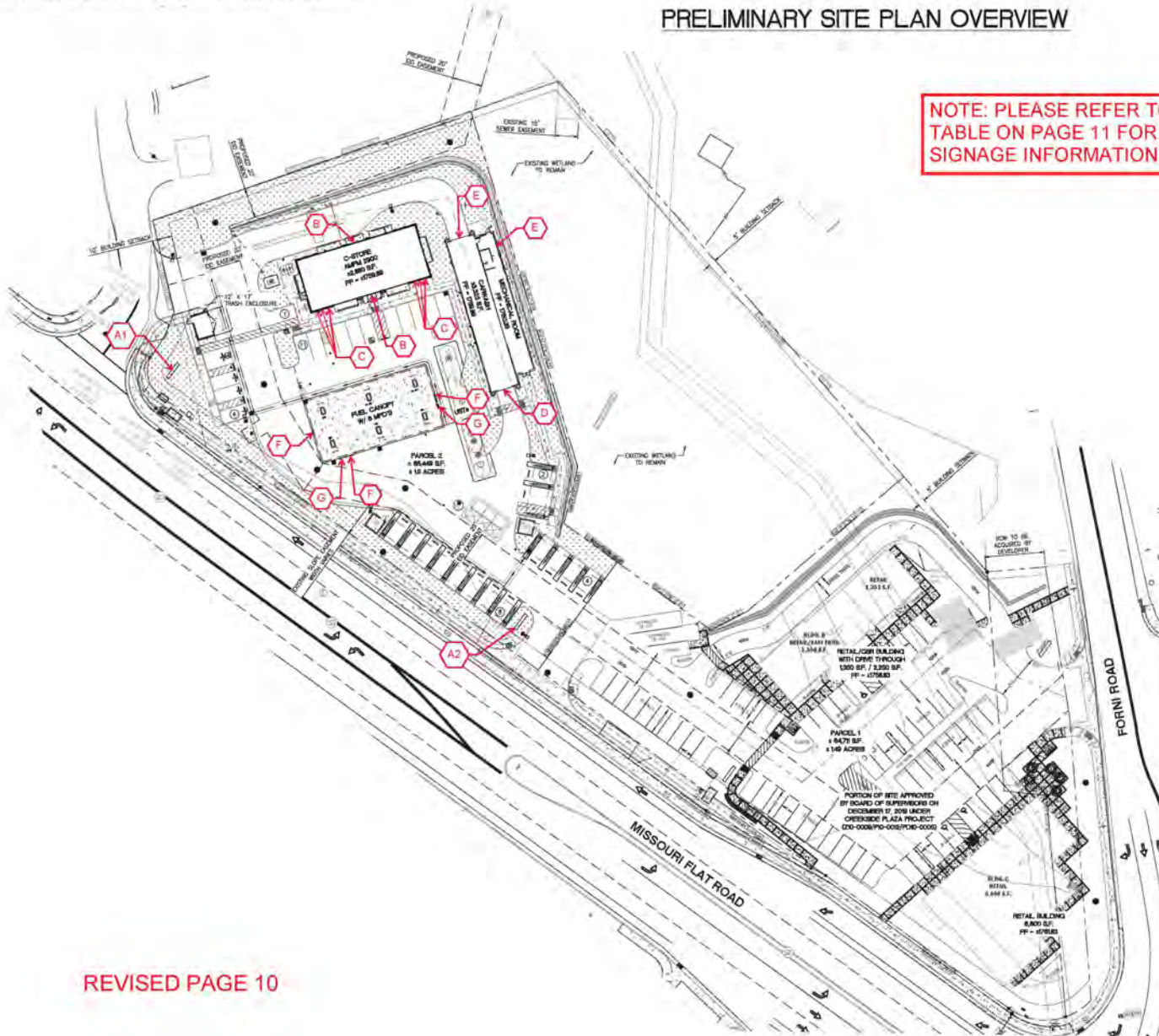
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PRELIMINARY SITE PLAN OVERVIEW

NOTE: PLEASE REFER TO
TABLE ON PAGE 11 FOR
SIGNAGE INFORMATION.



REVISED PAGE 10



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1 PROPOSED SOUTH ELEVATION
SCALE: 3/16"=1'-0"



2 PROPOSED NORTH ELEVATION
SCALE: 3/16"=1'-0"



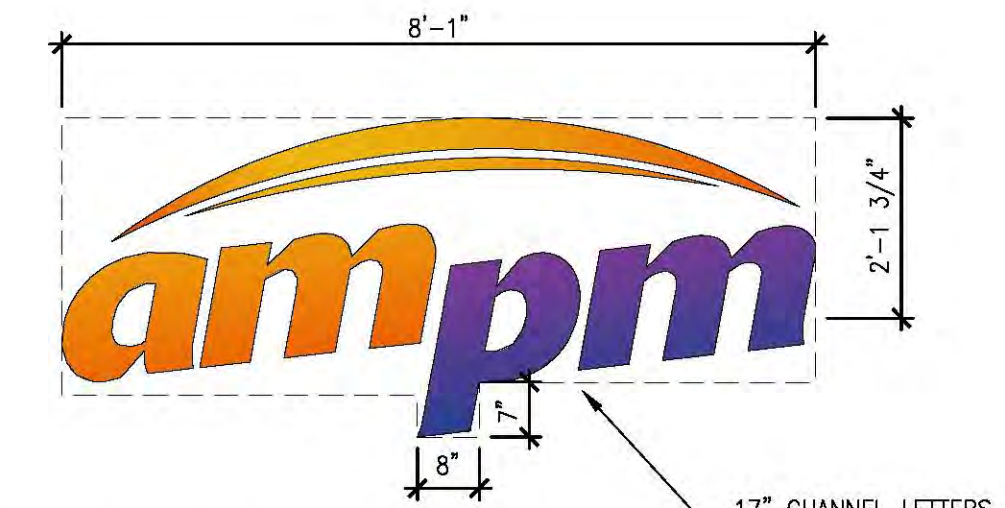
A1 MAIN ID/PRICE SIGN- 50 S.F.
SCALE: NTS



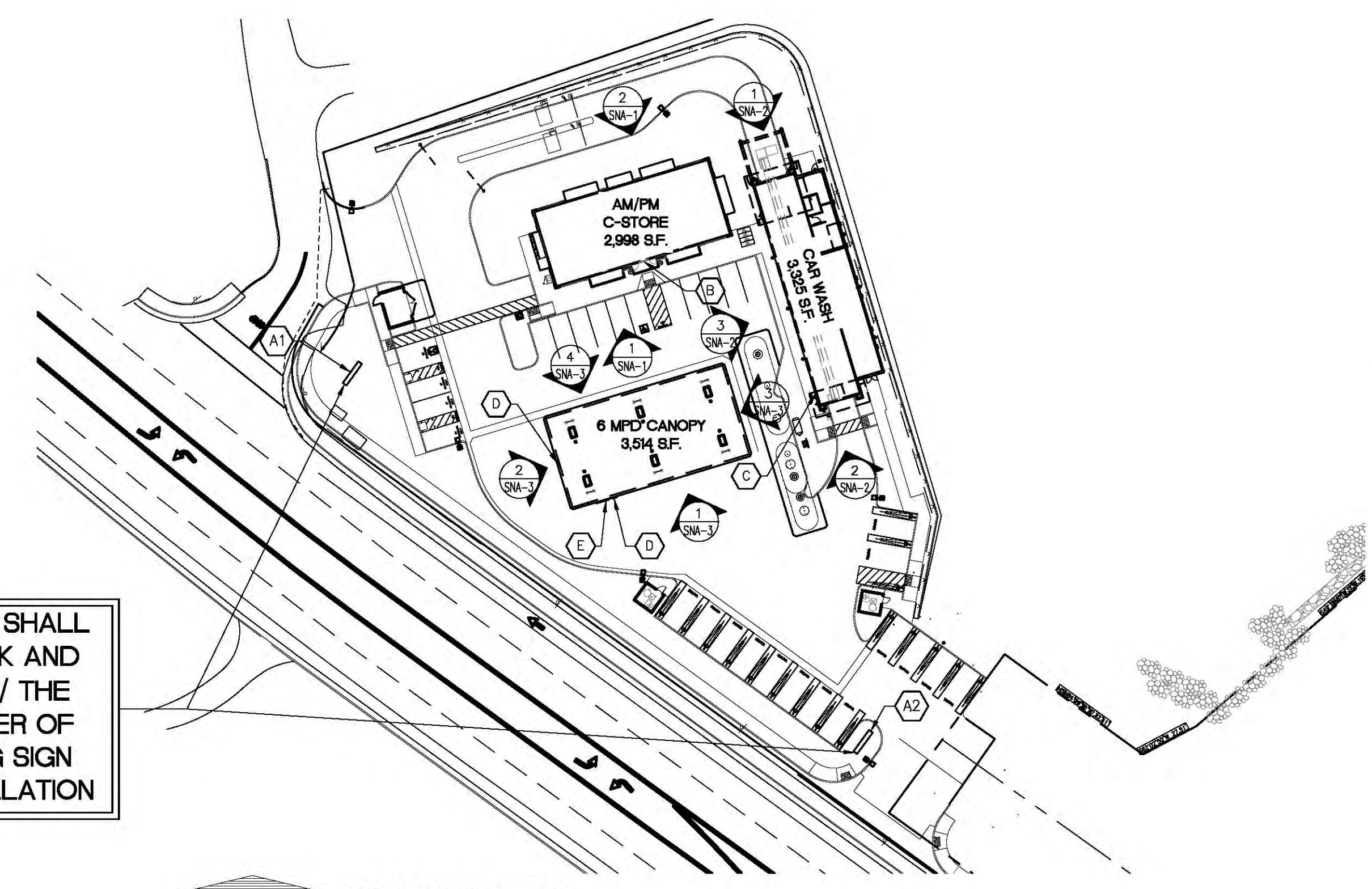
A2 PRICE SIGN- 25 S.F.
SCALE: NTS

NOT FOR
CONSTRUCTION
CONCEPTUAL ONLY
NOT APPROVED BY
CITY

SITE SIGNAGE TABLE					
KEY	SIGN	ALLOWED AREA	QTY.	PROPOSED AREA	TOTAL AREA
A1	MULTI-TENANT MAIN I.D. SIGN/PRICE SIGN		1	50.0 sf	50.0 sf
A2	MAIN I.D. SIGN/PRICE SIGN		1	25.0 sf	25.0 sf
B	17" AM/PM CHANNEL LETTERS (23.78 sf ea.)	<10,000 sf FLOOR AREA = 50 sf x 20% = 60 sf MAX. SIGN AREA	1	23.78 sf	9,837 sf FLOOR AREA
C	SMALL CAR WASH SIGNAGE CABINET (16 sf ea.)		1	16.0 sf	
D	CANOPY SIGN (SPARK) (4.91 sf ea.)		2	9.82 sf	59.60 sf SIGN AREA
E	CANOPY "ARCO" CHANNEL LETTERS (10 sf ea.)		1	10.0 sf	

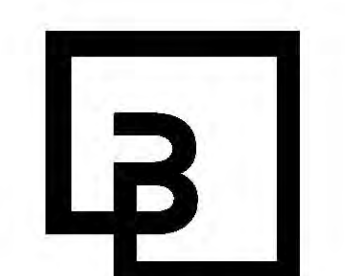
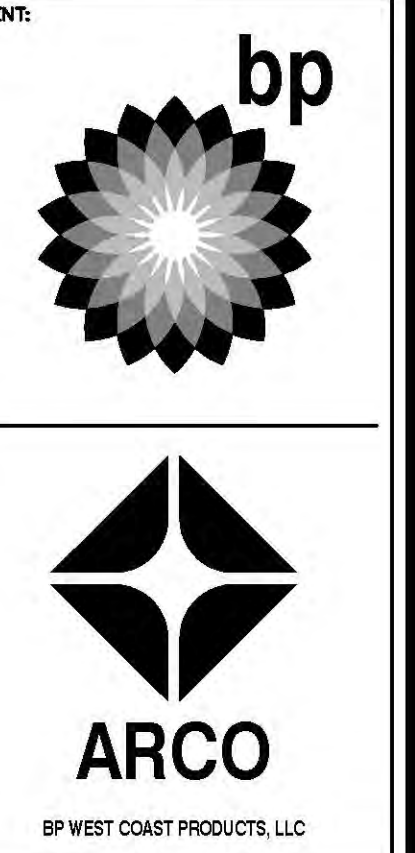


B AM/PM CHANNEL LETTERS - 17 INCH
SCALE: 1/2"=1'-0" 23.78 S.F.



SIGN INSTALLER SHALL VERIFY SETBACK AND ORIENTATION W/ THE CITY AND OWNER OF FREESTANDING SIGN PRIOR TO INSTALLATION

SIGN SITE PLAN
SCALE: N.T.S.



Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com

NO.	DATE	REVISION DESCRIPTION

Not for Construction

DEVELOPMENT INFORMATION:
ARCO NTI
2900 am/pm
FUEL CANOPY w/ 8 MPD's
105' CAR WASH

SITE ADDRESS:
NWC MISSOURI FLAT RD
@ FORNI ROAD
PLACERVILLE, CALIFORNIA

FACILITY # TBD
DESIGNED BY: ALLIANCE ZACH
CHECKED BY: BP REPM
DRAWN BY: ALLIANCE PM
PROJECT NO: 21517

DRAWING TITLE:
SIGN PLAN

SHEET NO:

SNA-1

