



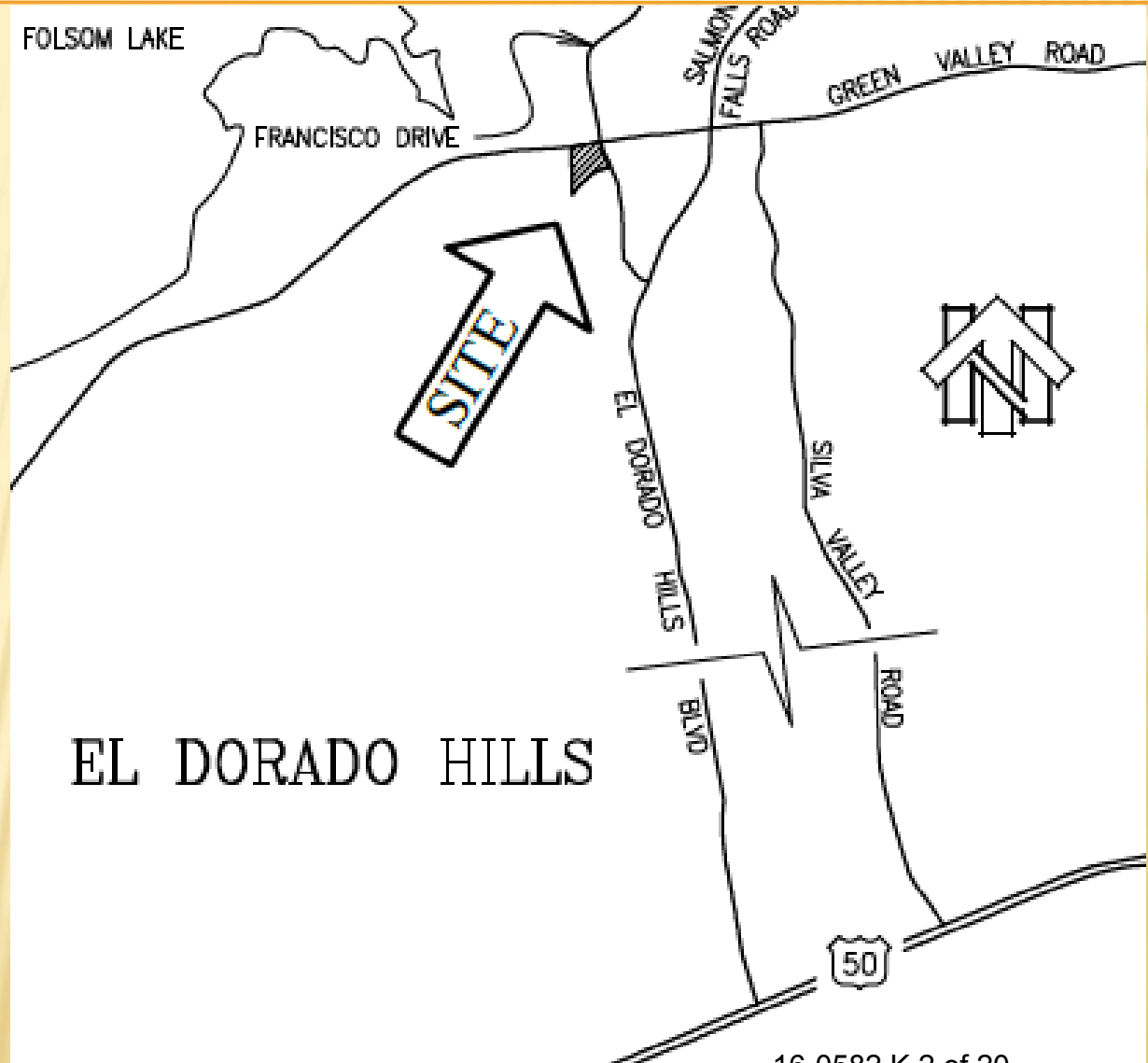
**EL DORADO HILLS MEMORY CARE PHASE 1
PLANNED DEVELOPMENT PERMIT (PD15-0003)
(APPLICANT: JDA ARCHITECTS)**

Planning Commission
June 9, 2015

16-0582 K 1 of 20

PROJECT LOCATION

- Located in El Dorado Hills
- Approximately 4 miles north of U.S. 50
- Southwest corner of Green Valley Road and Francisco Drive



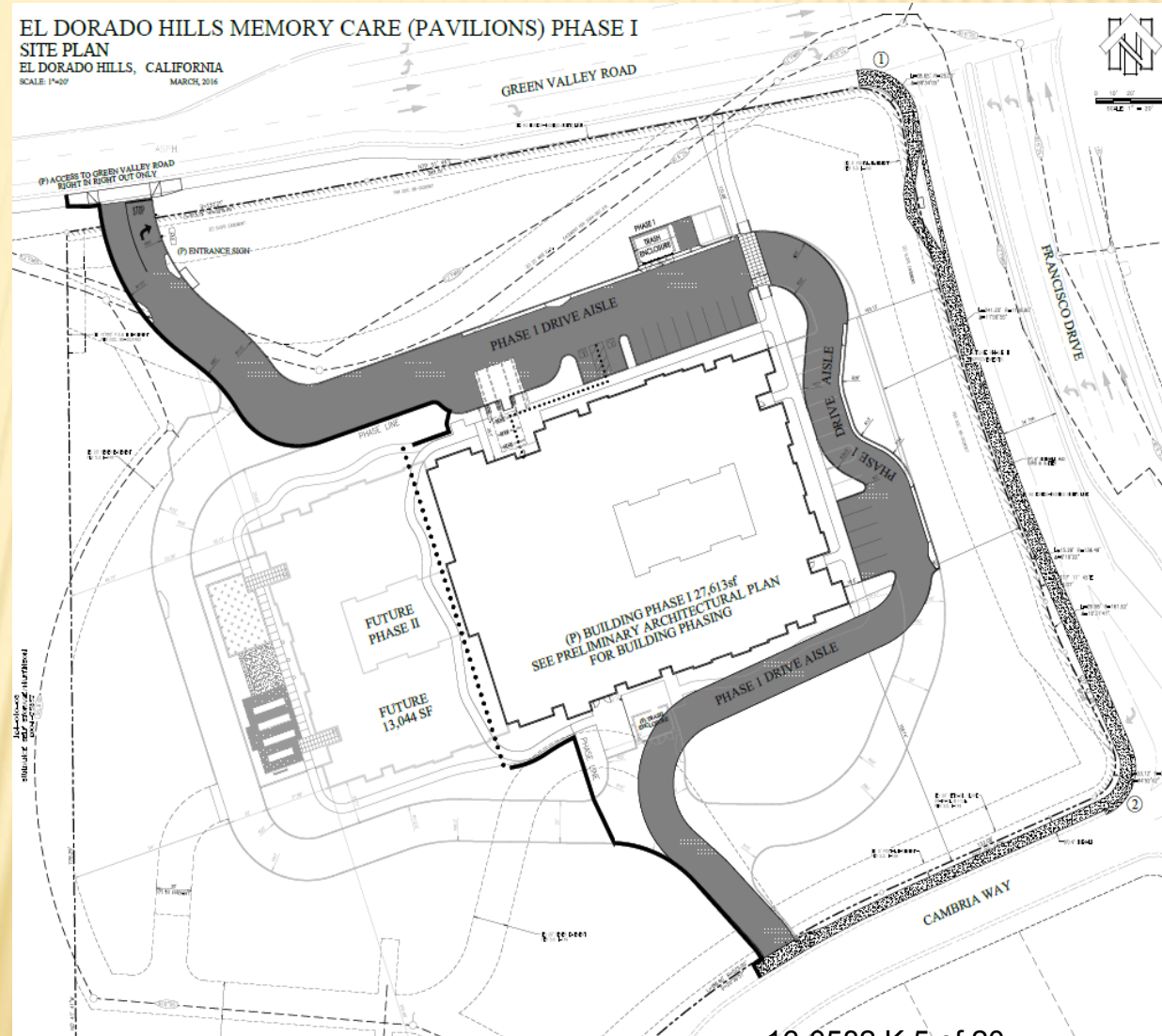
PROJECT LOCATION

- Vacant Site
- 6.85 acres in size
- Surrounded by existing commercial and residential uses
- Land Use Designation: Commercial
- Zoning Designation: Community Commercial-Planned Development



EL DORADO HILLS MEMORY CARE

- Accesses off Green Valley Road and Cambria Way
 - Map Amendment req'd to remove a portion of recorded access restriction on Green Valley Road
- Public Water and Sewer service provided by EID
- 16 on-site parking stalls



EL DORADO HILLS MEMORY CARE

- On-site landscaping
- On-site walking paths connecting to perimeter sidewalks



EL DORADO HILLS MEMORY CARE



Front Elevation



Left Side Elevation



Right Side Elevation



Rear Elevation



Building Section

ANALYSIS

- The project has been verified for consistency with applicable:
 - General Plan Policies (Compatibility, Resource Protection, Land Use Type)
 - Zoning Ordinance standards (Parking, Setbacks, Site Design, Building Coverage)
- Environmental Analysis
 - Initial Study evaluated potential project impacts
 - Mitigation Measures identified and applied- reduce impacts to less than significant
- Conditions of Approval applied to ensure orderly implementation of the project

RECOMMENDATION

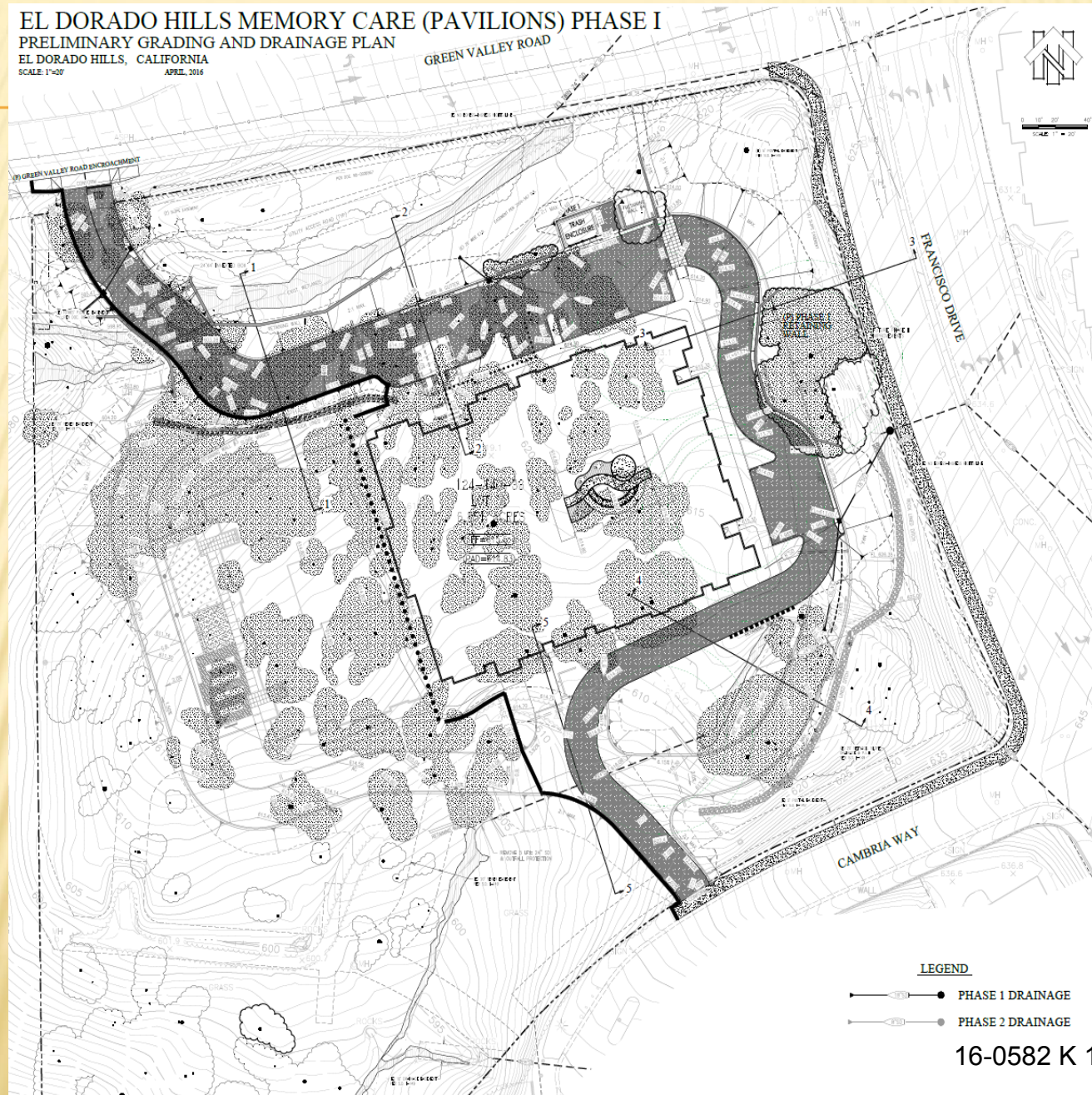
- Planning Commission:
 - Adopt Mitigated Negative Declaration and Mitigation Monitoring Reporting Program
 - Approve Planned Development Permit PD15-0003 based on the Findings and subject to Conditions of Approval
 - Adopt a Map Amendment removing a portion of vehicular access restriction along Green Valley Road

END OF PRESENTATION

SUPPLEMENTAL SLIDES

PRELIMINARY GRADING/DRAINAGE PLAN

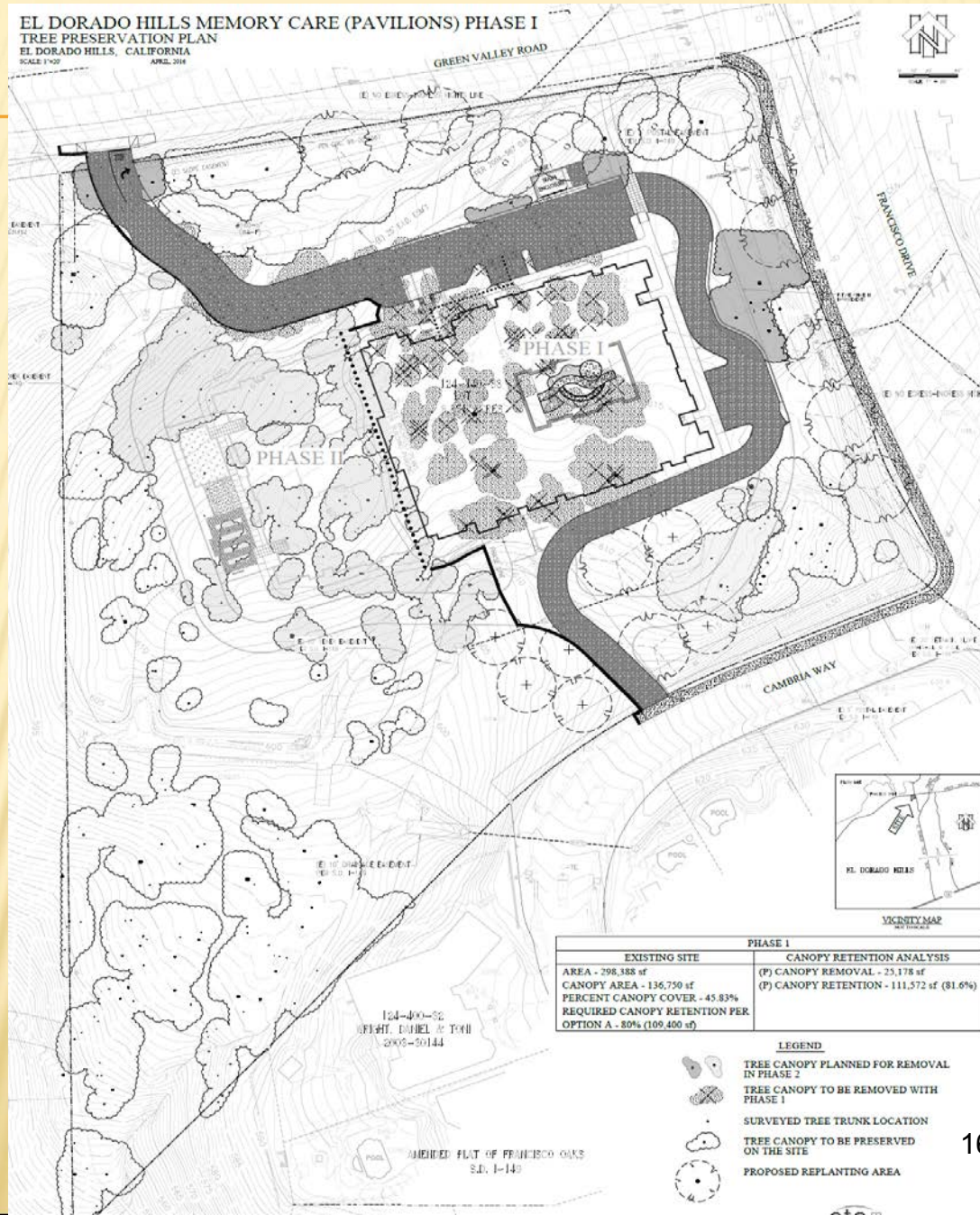
EL DORADO HILLS MEMORY CARE (PAVILIONS) PHASE I
PRELIMINARY GRADING AND DRAINAGE PLAN
EL DORADO HILLS, CALIFORNIA
SCALE: 1"=40' APRIL, 2016



- LEGEND**
- PHASE 1 DRAINAGE
 - PHASE 2 DRAINAGE






OAK TREE PRESERVATION PLAN

EL DORADO HILLS MEMORY CARE (PAVILIONS) PHASE I
 TREE PRESERVATION PLAN
 EL DORADO HILLS, CALIFORNIA
 SCALE 1"=20' APRIL 2011

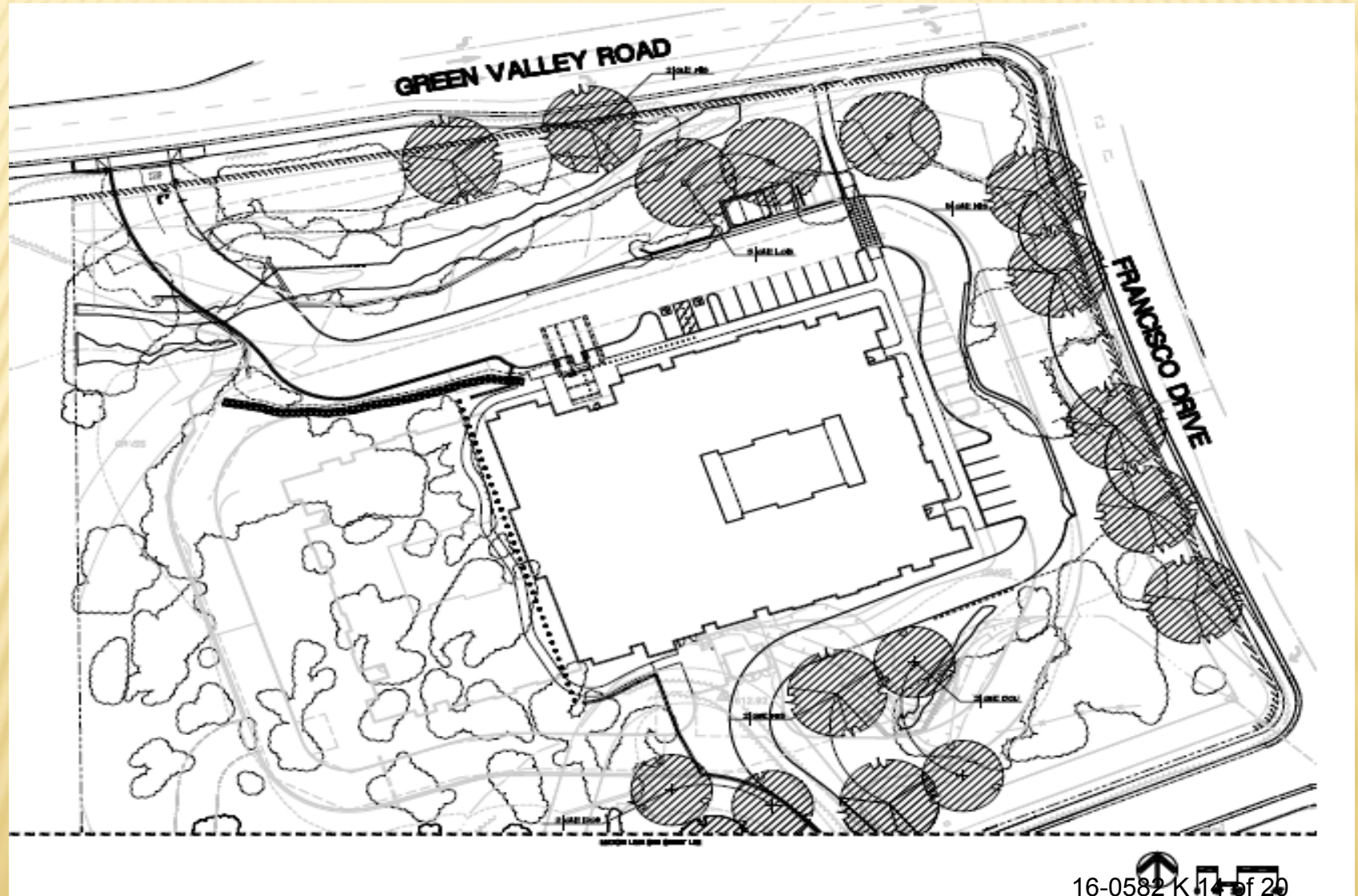


EXISTING SITE	PHASE I CANOPY RETENTION ANALYSIS
AREA - 298,385 sf	(P) CANOPY REMOVAL - 25,178 sf
CANOPY AREA - 136,750 sf	(P) CANOPY RETENTION - 111,572 sf (81.6%)
PERCENT CANOPY COVER - 45.83%	
REQUIRED CANOPY RETENTION PER OPTION A - 80% (109,400 sf)	

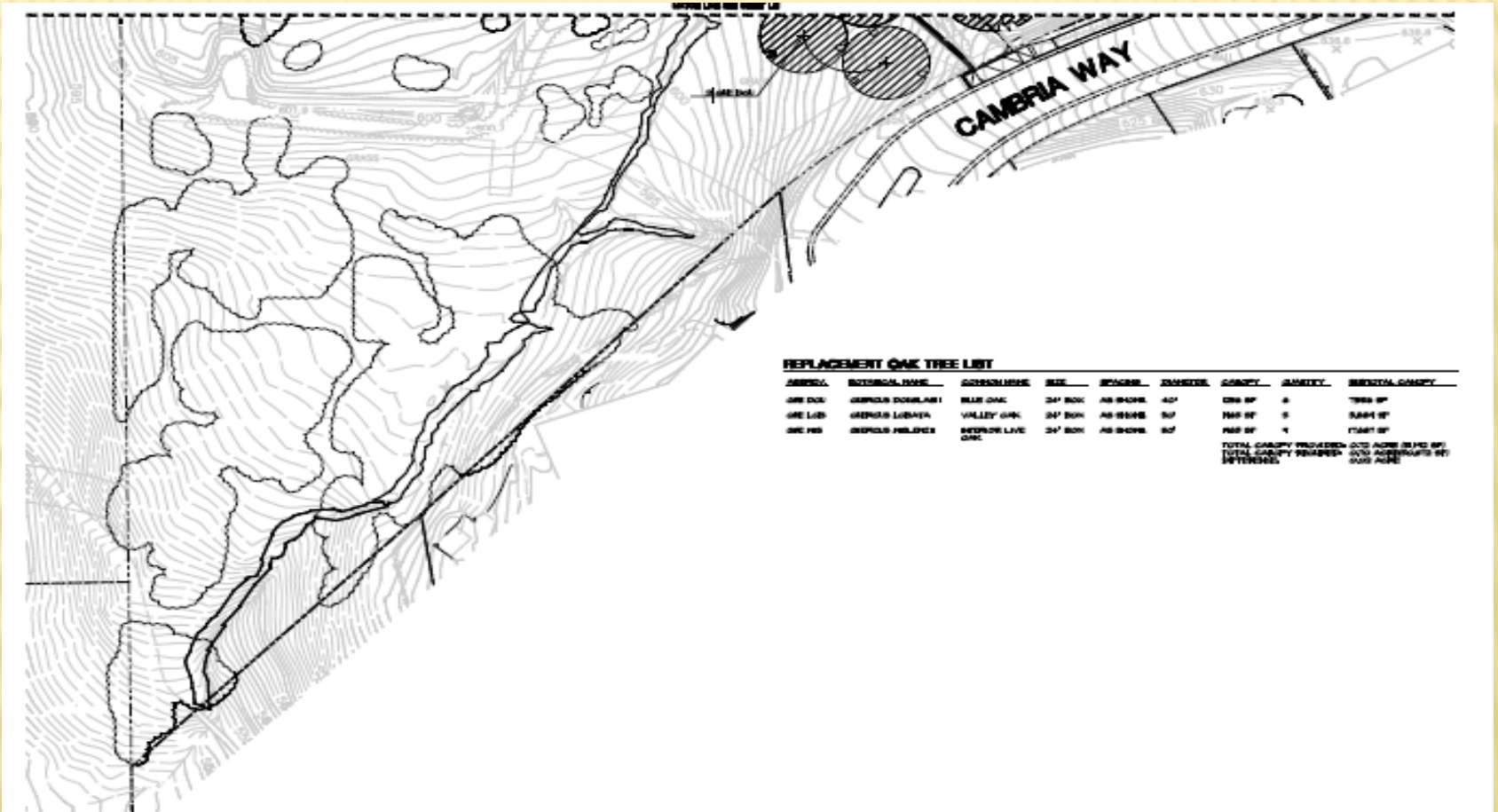
LEGEND

-  TREE CANOPY PLANNED FOR REMOVAL IN PHASE 2
-  TREE CANOPY TO BE REMOVED WITH PHASE 1
-  SURVEYED TREE TRUNK LOCATION
-  TREE CANOPY TO BE PRESERVED ON THE SITE
-  PROPOSED REPLANTING AREA

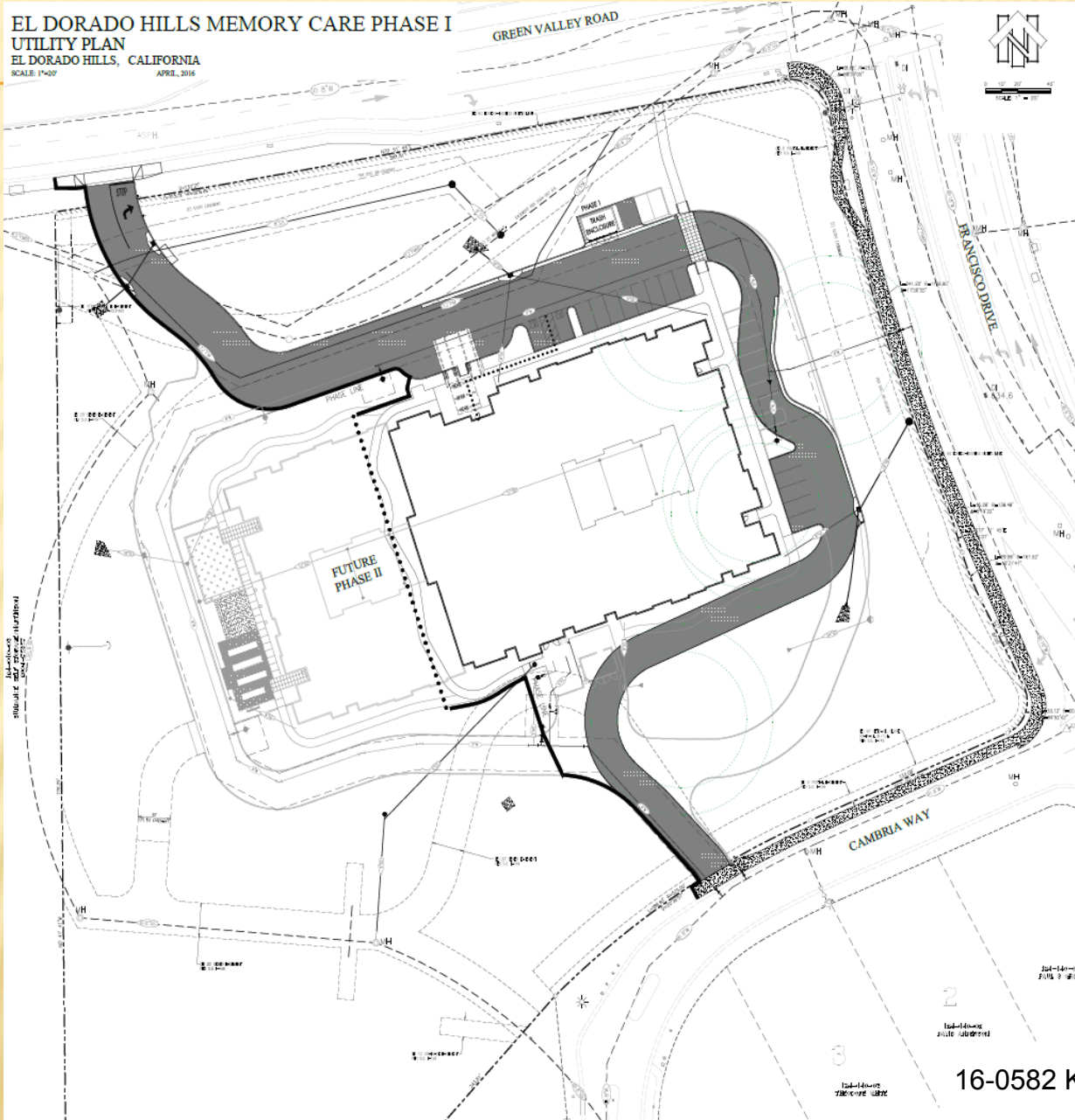
OAK TREE CANOPY RETENTION AND REPLACEMENT EXHIBIT



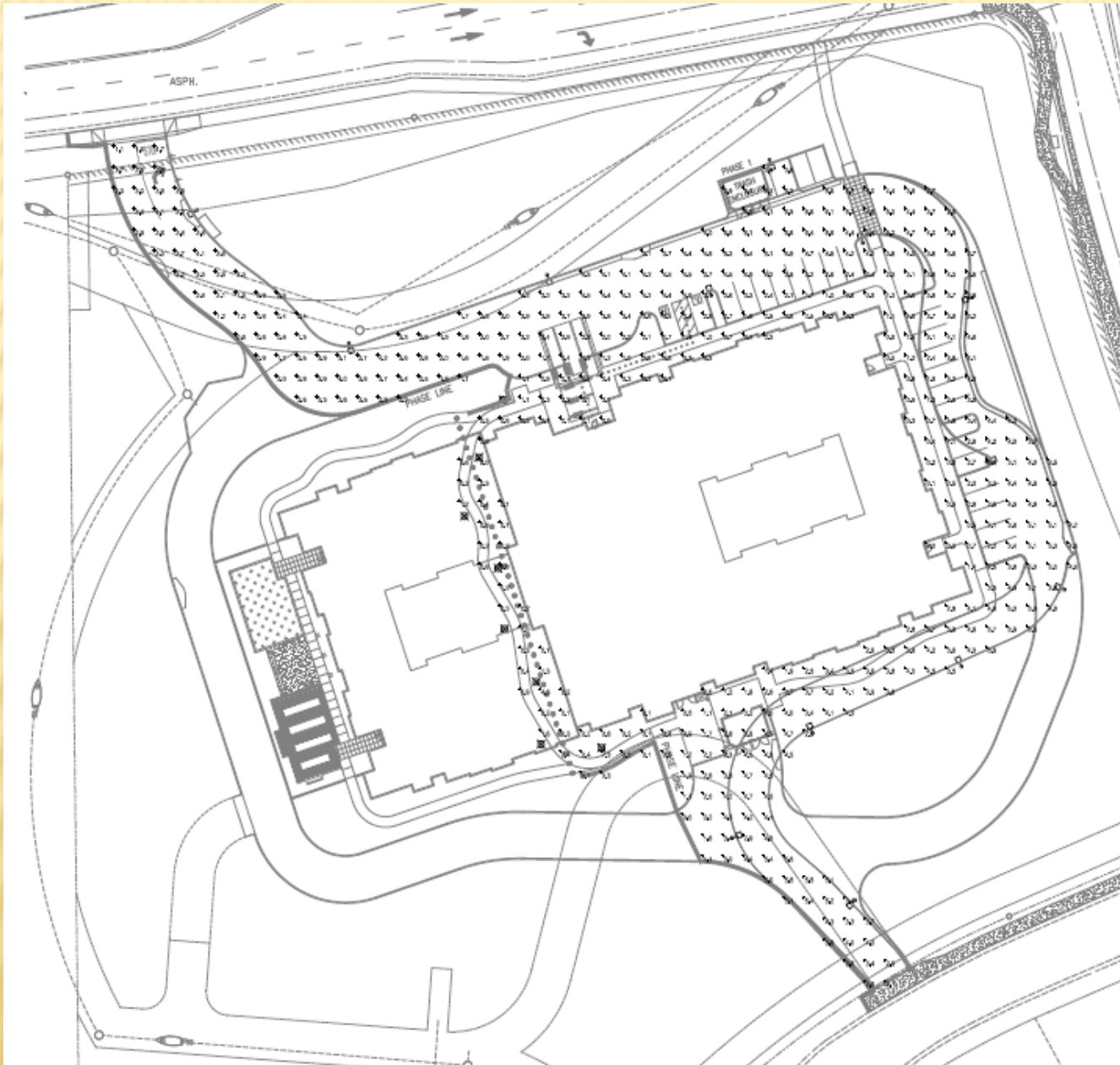
OAK TREE CANOPY RETENTION AND REPLACEMENT EXHIBIT



UTILITY PLAN



PHOTOMETRIC PLAN



Symbol	Code	Qty	Location	Notes	Power	Notes	Notes	Notes
AA	AA	1	Building Entrance	100W LED Area Luminaire	100W	100W	100W	100W
BB	BB	1	Building Entrance	100W LED Area Luminaire	100W	100W	100W	100W

Code	Qty	Notes
AA	1	Building Entrance
BB	1	Building Entrance

ARIETA™ 13
LED Area Luminaire



Elegant Silhouette.
High Performance.
Rightsized.



ARCHITECTURAL

The minimalist profile of the ARIETA 13 provides an appealing and unobtrusive design. The luminaire structure is designed to maximize the performance of LEDs in a sleek profile that transitions effortlessly to the wall.

TECHNOLOGY LEADING

Equipped with innovative optics, ARIETA 13 features best-in-class performance and forward-thinking options.

- Optical Design**
 - 90% Lumen Output at 100,000 Hours
 - Up to 120 Lumens/foot of Throw
 - Precision Micro Lens Optics in Type 1, 2, 4 and 5 Distributors
 - Dark Sky Friendly with a Zero Lighted SAG Rating
- Control Features**
 - DALI2 Control
 - Programmable Power Supply
 - 200 CCTs, 15 Dimming Resolutions



UNRIVALED VALUE

ARIETA 13 value is realized both in low initial cost and lifetime energy savings. Because of Lumina's high volume manufacturing and economies of scale, ARIETA is available at unmatched price levels. A built-in advanced thermal management system amplifies the benefits by not requiring any additional parts, for an unbeatable total cost. With energy savings of up to 70% over HID sources and significantly reduced maintenance costs, ARIETA 13 adds up to another payoff in the industry.

2 Figure "AA" 100W



3 Figure "BB" 100W

EXTERIOR MATERIALS

Trim 2

Trim 1

Main Body

Roofing

Accent Body

Stone

LEGEND			
Roofing	Acacia Weathered Wood	London, Pa	Architectural Composition Shingle
Main Body	Sage Green Light	DW 2531	Horizontal Lap Siding
Accent Body	Red Barn	DW 7591	Board & Batten
Trim 1	Antique Gray	DW 7531	Door & Window Trim
Trim 2	Palisade Brown	DW 2554	Facade, Barge Boards, Wood Brackets
Stone	Sandings	Ruffs Ledge	Masonry

Roofing: Certaineed
 Paint: Sherwin-Williams
 Masonry: Eldorado Stone

EXTERIOR ELEVATION- PHASE 1 AND 2



Front Elevation



Left Side Elevation

Right Side Elevation



Rear Elevation



Building Section

BUILDING ELEVATIONS | PHASE I + II