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No representation is made as to the accuracy of this information.
Parcel boundaries are particularly unreliable.
Users make use of this depiction at their own risk.

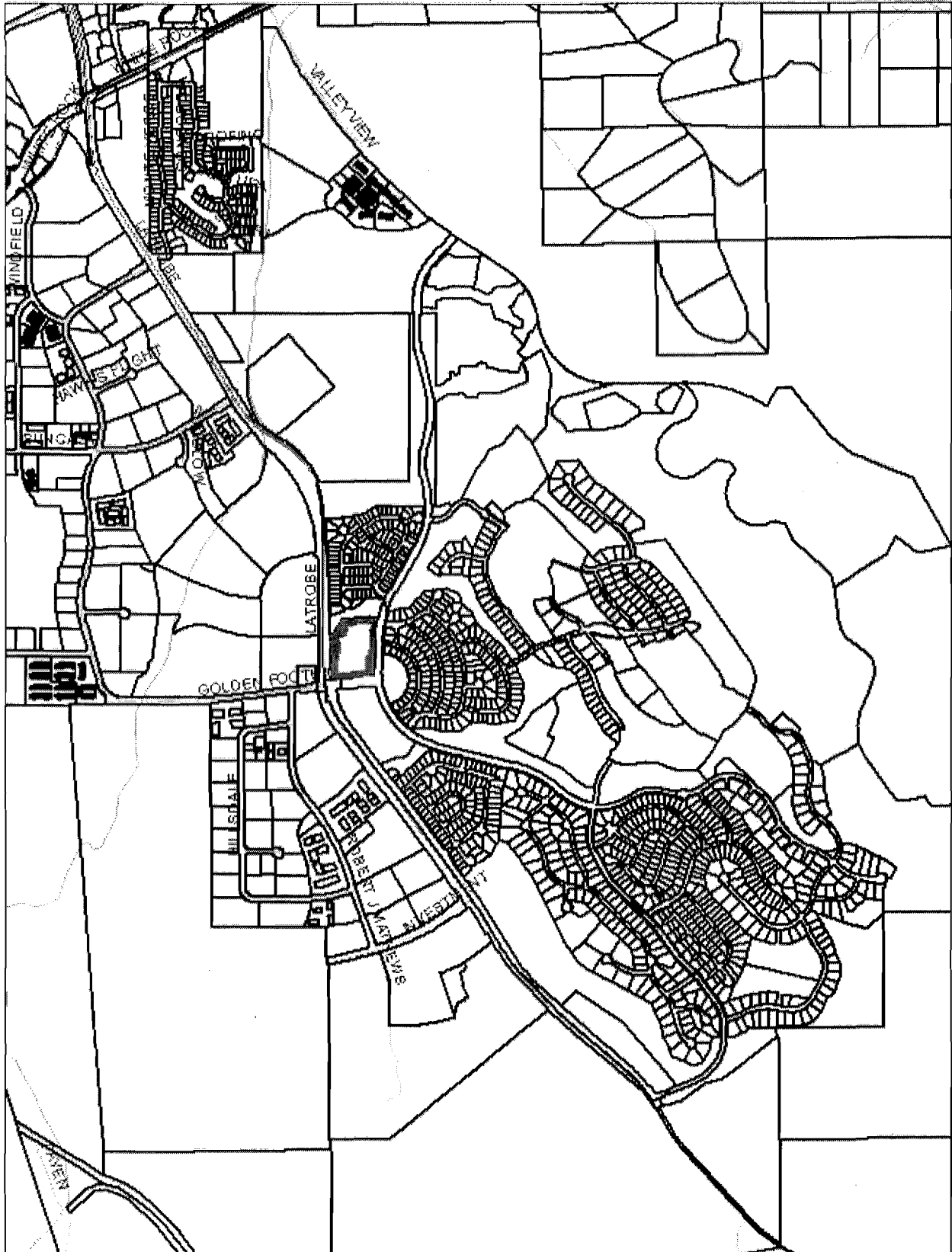


EXHIBIT A

POR. SECS. 13 & 24, T.9N., R.8E., & SECS. 18 & 19, T.9N., R.9E., M.D.M.
WEST VALLEY VILLAGE
J-43

118:14

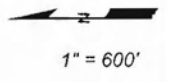
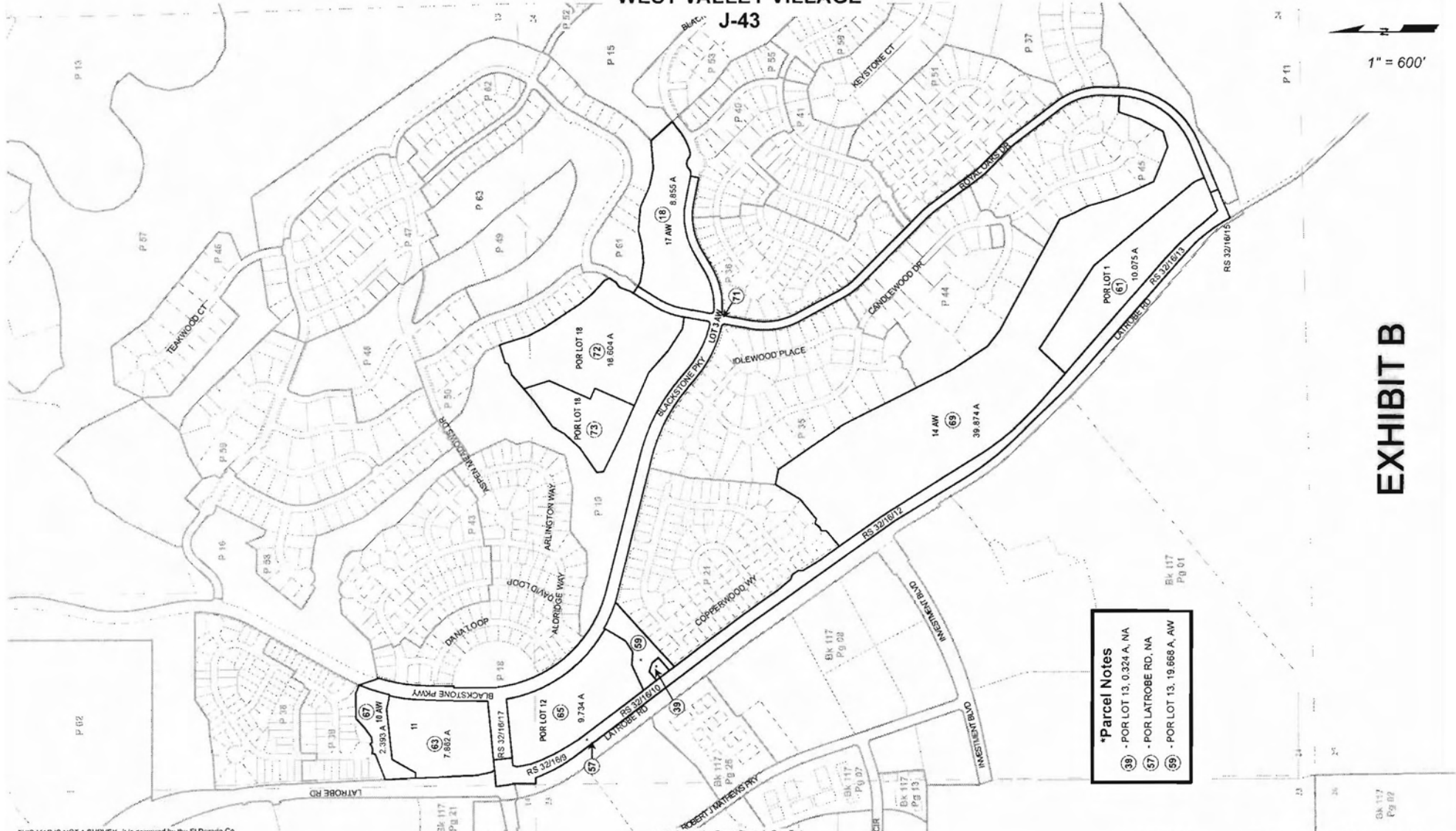


EXHIBIT B

***Parcel Notes**
 39 - POR LOT 13, 0.324 A, NA
 57 - POR LATROBE RD, NA
 59 - POR LOT 13, 19.668 A, AW

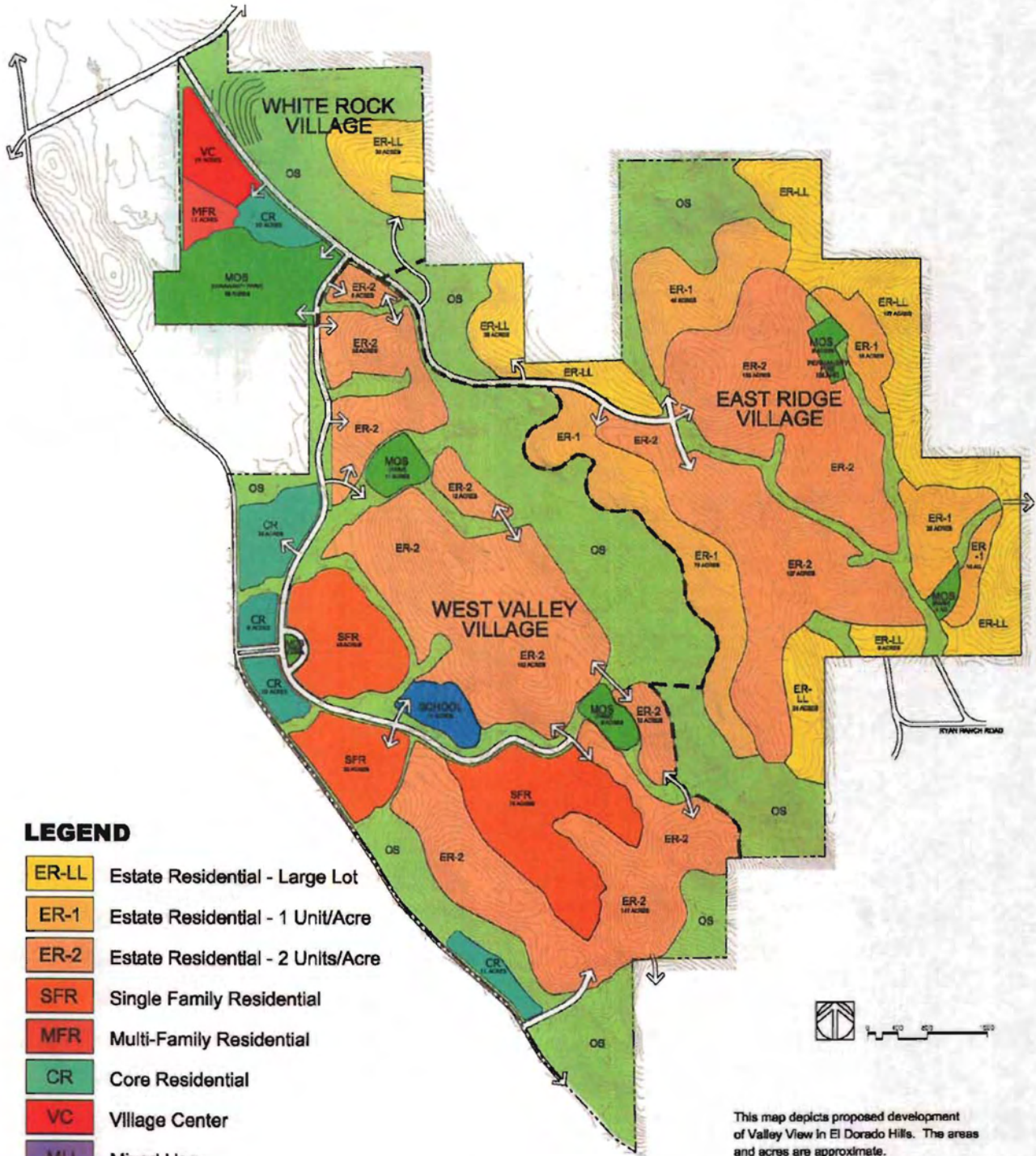
THIS MAP IS NOT A SURVEY. It is prepared by the El Dorado Co. Assessor's office for assessment purposes only. Area calculations and characteristics are not guaranteed. Users should verify items such as dimensions and acreage.

Acreages Are Estimates

Adjacent Map Pages Shown in Grey Text
 Assessor's Block Numbers Shown in Ellipses
 Assessor's Parcel Numbers Shown in Circles

Rev. Nov 7, 2013

Assessor's Map Bk 118, Pg. 14
 County of El Dorado, CA



REVISED
 Figure 4.2
Land Use Plan
Valley View
 NOVEMBER, 2013

EXHIBIT C

OWNERS OF RECORD

LENNAR HOMES OF CALIFORNIA, INC
1420 ROCKY RIDGE DRIVE, #320
ROSEVILLE, CA 95661

APPLICANT

LENNAR HOMES OF CALIFORNIA, INC
1420 ROCKY RIDGE DRIVE, #320
ROSEVILLE, CA 95661

ENGINEER

cta Engineering & Surveying

Civil Engineering • Land Surveying • Land Planning
2750 Sutter Drive, Suite 200, Colton, CA 95711
708-944-4444 • www.cta-engineering.com

MAP SCALE

1" = 40'

CONTOUR INTERVAL

CONTOUR INTERVAL = 1 FOOT

SOURCE OF TOPOGRAPHY

(AERIAL PHOTOGRAPHY/TOPOGRAPHIC SURVEY)

SECTION, TOWNSHIP and RANGE

POR. SECTIONS 13 & 24, T.9N., R.9E. M.D.M.

ASSESSOR'S PARCEL NUMBERS

A.P.N. 118-140-63

PROPOSED SPECIFIC PLAN

VALLEY VIEW SPECIFIC PLAN: CR

PRESENT SPECIFIC PLAN

VALLEY VIEW SPECIFIC PLAN: VC

TOTAL AREA

7.85 ACRES

TOTAL NUMBER OF PARCELS

RESIDENTIAL LOTS (61) 5.12 AC
LOT A (OPEN SPACE) 0.92 AC
LOT B (INTERNAL ROADWAY) 1.81 AC
63 LOTS TOTAL 7.85 AC

MINIMUM LOT AREA

2,993 SQUARE FEET

WATER, RECYCLED WATER and SEWAGE DISPOSAL

EL DORADO IRRIGATION DISTRICT

PROPOSED STRUCTURAL FIRE PROTECTION

EL DORADO HILLS COUNTY WATER DISTRICT (FIRE DEPT.)

DATE OF PREPARATION

NOVEMBER, 2013

ENGINEER'S CERTIFICATE

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THE LAND DEVELOPMENT KNOWN AS "WEST VALLEY VILLAGE LOT 11" OF THE VALLEY VIEW SPECIFIC PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE SPECIFICATIONS AND GUIDELINES ESTABLISHED BY THE COUNTY OF EL DORADO.

Olga Scirelli
OLGA SCIRELLI, R.C.E. 71204
11/21/13

TENTATIVE MAP

WEST VALLEY VILLAGE LOT 11

**LOT 11 OF "VALLEY VIEW SPECIFIC PLAN"
POR. SECTIONS 13 & 24, T.9N., R.9E. M.D.M.**

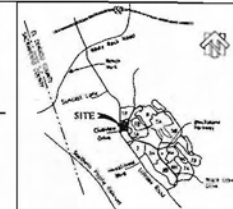
COUNTY OF EL DORADO

NOVEMBER, 2013

STATE OF CALIFORNIA



SCALE 1" = 40'



VICINITY MAP
NOT TO SCALE



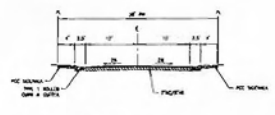
LEGEND:

- PROPOSED FIRE HYDRANT
- EXISTING FIRE HYDRANT
- EXISTING WETLANDS

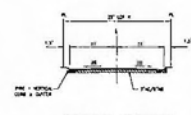
TABLED COMMENT: _____
APPROVAL/SCALE DATE: _____
DRAWN BY: _____
APPROVAL/SCALE DATE: _____



BUILDING ENVELOPE DETAIL
TYPICAL LOT SETBACK UNLESS OTHERWISE NOTED
SCALE 1" = 16'



TYPICAL SECTION ROAD A & B
SCALE 1" = 16'



TYPICAL SECTION ROAD C RIGHT OUT
SCALE 1" = 16'

EXHIBIT D

SLOPE MAP

WEST VALLEY VILLAGE LOT 11

LOT 11 OF "VALLEY VIEW SPECIFIC PLAN"

COUNTY OF EL DORADO NOVEMBER, 2013 STATE OF CALIFORNIA



COLOR LEGEND

COLOR	SLOPE RANGE		AREA	PERCENT OF AREA
	MINIMUM	MAX		
Yellow	10%	20%	6.50 AC.	10.2%
Orange	20%	30%	0.29 AC.	0.4%
Red	30%	40%	0.18 AC.	0.3%
Green	40%	40% +	0.12 AC.	0.2%

PRELIMINARY GRADING PLAN

WEST VALLEY VILLAGE LOT 11

LOT 11 OF "VALLEY VIEW SPECIFIC PLAN"

COUNTY OF EL DORADO

NOVEMBER, 2013

STATE OF CALIFORNIA



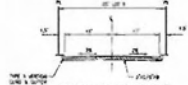
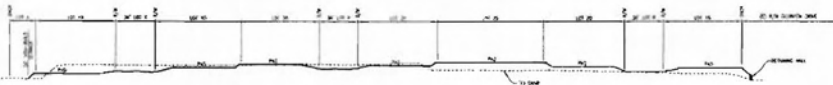
0 30' 45' 60'
Scale: 1" = 40'

LEGEND

- EX. CONTOUR
- PROP. CONTOUR
- GRADE BREAK
- PROP. CURB, GUTTER & SIDEWALK
- PROP. SPOT GRADE
- EX. SPOT GRADE
- PROP. SLOPE
- EX. SEWER
- EX. WATER
- EX. STORM DRAIN
- PROP. STORM DRAIN
- PROP. DRAINAGE INLET
- PROP. SD MANHOLE
- RSP
- CLASS C LOT
- 2:1 SLOPE
- PAD ELEVATION
- DRAINAGE DISCHARGE POINT
- WETLANDS
- OVERLAND RELEASE



EARTHWORK
 EXCAVATION = 12,500 ± CY
 EMBANKMENT = 12,500 ± CY



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EXHIBIT F

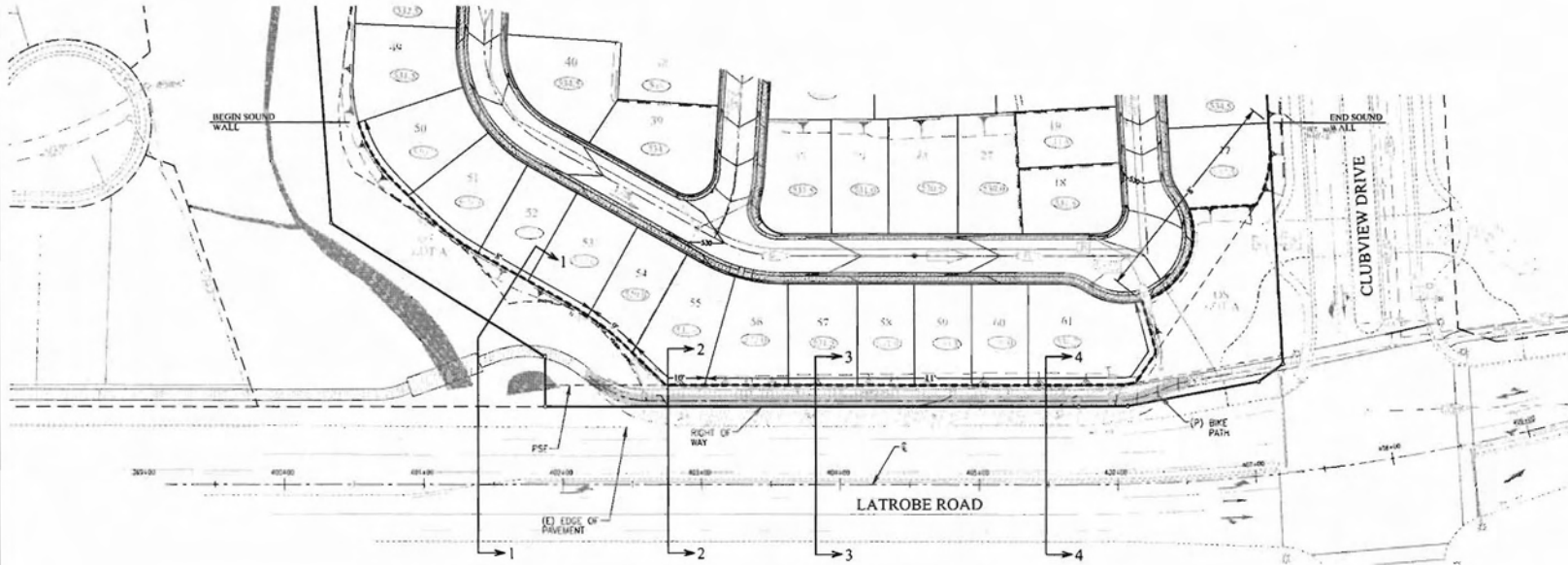
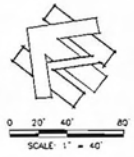
WEST VALLEY VILLAGE LOT 11 TM 12-1508

SOUND WALL/ BERM EXHIBIT; MM N-1 COMPLIANCE

COUNTY OF EL DORADO, CALIFORNIA

SCALE: 1"=40'

JANUARY, 2013



PER TRAFFIC NOISE ANALYSIS BAC REQUIRED
BARRIER HEIGHT RELATIVE TO BACK YARD
ELEVATION, AS SHOWN; FIGURE 5.2 APPLIES

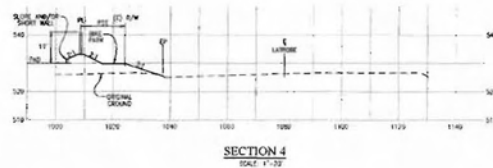
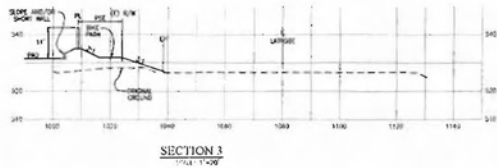
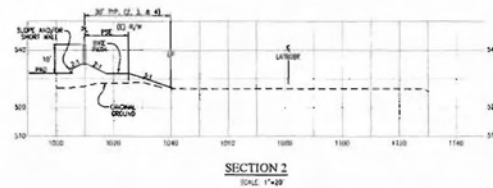
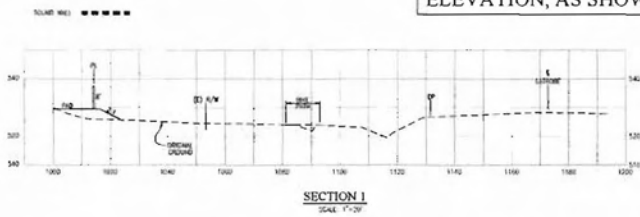
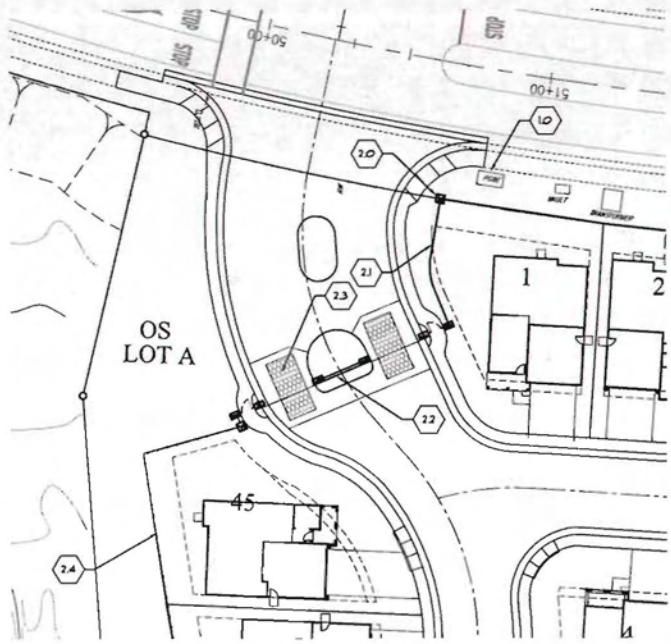


EXHIBIT G



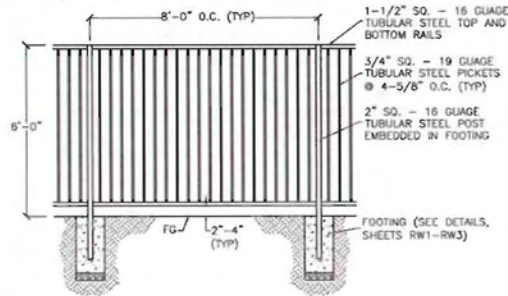
A ENTRY

KEYNOTES

- 1 - GENERAL KEY NOTES
- 1.0 UTILITIES, SEE CIVIL PLANS.
- 2 - SITE KEY NOTES
- 2.0 PROVIDE MASONRY FLAESTERS - MATCH EXISTING.
- 2.1 PROVIDE 6" PROTO B WALL - MATCH EXISTING.
- 2.2 PROVIDE GATED ENTRY - MATCH EXISTING AND SEE B/PL2.
- 2.3 PROVIDE ENHANCED PAVING - MATCH EXISTING.
- 2.4 PROVIDE 6" OPEN SPACE FENCE - SEE DETAIL C/PL2.



B GATED ENTRY DESIGN



C OPEN SPACE FENCE
SCALE: 1/2" = 10"

PRELIMINARY PLANT LIST AND LEGEND

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	WATER USE	DESIGN USE/QUANTITY	SIZE WITH
	ACER R. 'SUNSHINE' RED SUNSET RED MAPLE	15 G	MED	STREET TREE 11	40'X30'
	CEDRUS DEODARA DEODAR CEDAR	15 G	MED	CONIFEROUS SCREEN 5	40'X25'
	CERCIS C. 'FOREST PANSY' FOREST PANSY REDBUD	15 G	MED	NATURALIZED ACCENT 9	20'X25'
	LAGERSTROMIA L. 'TUSCARORA' GRAPE HYDRILE	15 G	LOW	NATURALIZED ACCENT 14	18'X18'
	QUERCUS WISLIZENII INTERIOR LIVE OAK	15 G	LOW	NATURALIZED SCREEN 5	50'X40'
	STREET TREE (BY BUILDER)				
	EXISTING TREES				

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	WATER USE	REMARKS
	FACER/FILLER SHRUBS EVERGREEN OR DECIDUOUS SHRUBS TO 4'-6". USED FOR 'TERRACING' OF PLANT MATERIAL - REGIONAL COLOR AND SOFTENING OF BUILDING EDGES AND FOUNDATION SHRUBS.			
	CISTUS HYBRIDUS WHITE ROCKROSE	5 G	LOW	--
	DIETS BICOLOR FORTNIGHT LILY	5 G	LOW	--
	DANIELLA CAERULEA BLU. FLAX LILY	1 G	LOW	--
	HEMEROCALLIS 'STELLA D'ORO' DAYLILY	5 G	MED	--
	ALEX CRENATA 'COMPACTA' JAPANESE HOLEY	5 G	LOW	--
	LAMINOLA ANGUSTIFOLIA ENGLISH LAVENDER	5 G	LOW	--
	NANDINA DOMESTICA 'COMPACTA' HEAVENLY BAMBOO	5 G	LOW	--
	POLYSTICHUM MAJULUM SWORD FERN	1 G	LOW	--
	RHOODOENDRON SPP. AZALEA	5 G	MED	--
	RHAMPHILEPIS INDICA 'SPP.' RICK HARTHORN	5 G	LOW	--
	VIBURNUM DAVIDII DAVID'S VIBURNUM	5 G	MED	--
	GROUND COVER MATERIAL - SMALL SCALE DUE TO PROJECT TYPE. EVERGREEN OR PERENNIAL SHRUBS TO 24" HIGH. USED AS A FILLER BETWEEN SITE WORK EDGES AND FACER SHRUBS.			
	ARCTOSTAPHYLOS U. LARIS MANZANITA	1 G	LOW	36" O.C.
	ROSA FLOWER CARPET (WHITE AND RED) FLOWER CARPET ROSE	1 G	MED	36" O.C.
	SOLIVA HETEROPHYLLA AUSTRALIAN BLUEBELL CREEPER	1 G	MED	18" O.C.
	TELICTRUM X LUCIDRYS 'PROSTRATUM' PROSTRATE GERANIUM	1 G	LOW	18" O.C.
	VINCA MINOR DWARF PERENNIAL	1 G	MED	12" O.C.
	BUFFER PLANTING ADJACENT TO OPEN SPACE - MIX OF NATIVE PLANT MATERIAL USED AS NATURAL TRANSITION FROM THE EDGES OF SITE WORK AND TRAIL TO THE PROPERTY LINE AT HAMBURG WILLOW CREEK CORRIDOR. PLANT MATERIAL TO BE USED AS A NATURAL FILLER ALONG SLOPE EDGE COMPATIBLE WITH RIPARIAN ENVIRONMENT OF THE CREEK CORRIDOR. THIS MATERIAL WILL BE HYDROSEEDDED AND POINT SOURCE IRRIGATED.			
	ARTEMESIA CALIFORNICA CA. SAGEBRUSH	5 G	LOW	--
	CERCIS OCCIDENTALIS WESTERN REDBUD	5 G	LOW	--
	FILICENTRODENDRON DAPA COLD FLAMEBUSH	5 G	LOW	--
	ESCHSCHOLZIA CALIFORNICA CA. POPPY	SEED	LOW	--
	MIMULUS SPP. MONKEY FLOWER	1 G	LOW	--
	MISCELLA PULCHRA PURPLE NEEDLE GRASS	1 G	LOW	--
	EXISTING PLANT MATERIAL			

EXHIBIT H

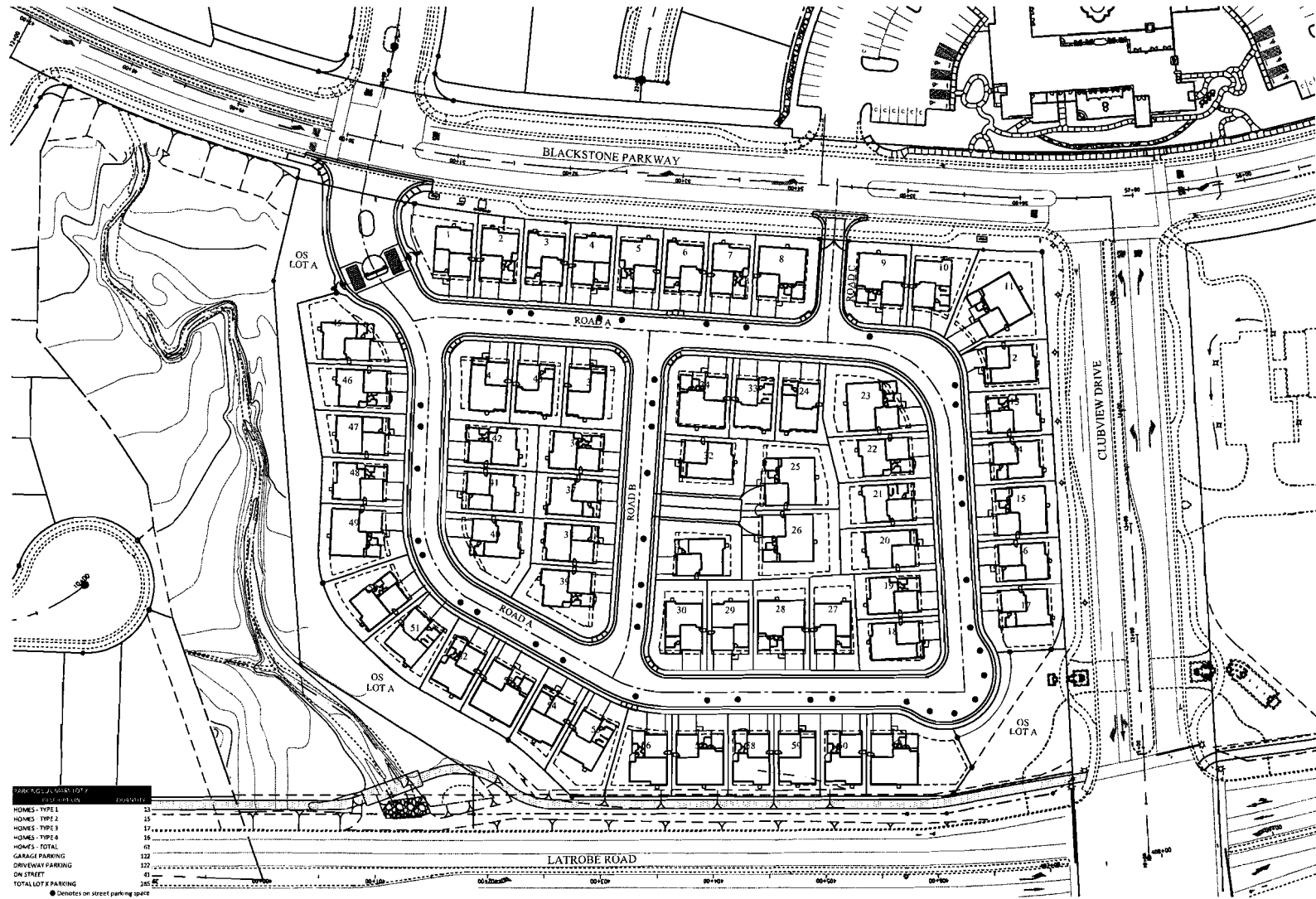


EXHIBIT I

BLACKSTONE LOT X
EL DORADO HILLS, CA

SCHEMATIC SITE PLAN

SCALE: 1" = 400'



PL1

DATE: 11.12.13
PROJECT: LCD: 13035

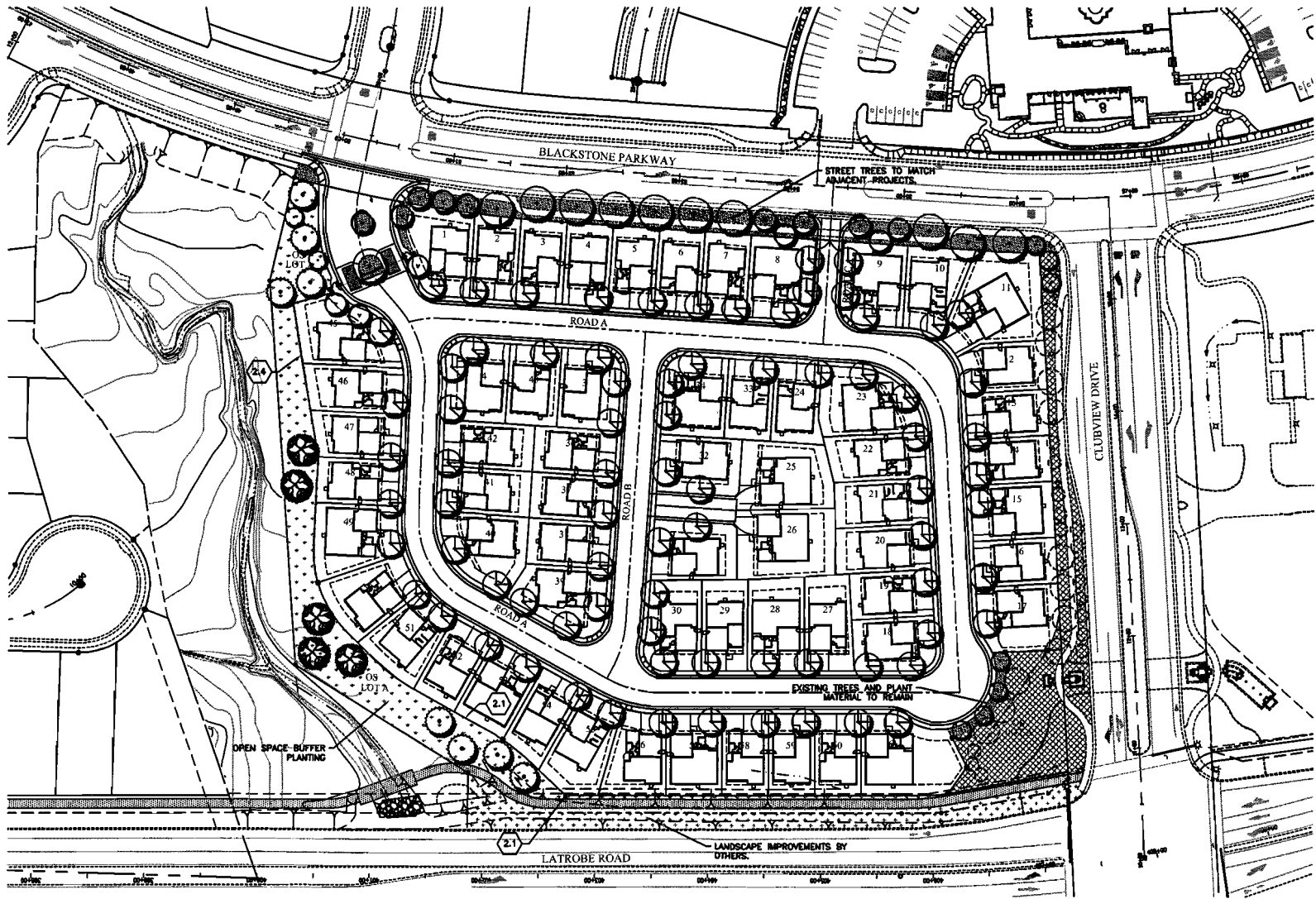


EXHIBIT I-2

BLACKSTONE LOT X
EL DORADO HILLS, CA

PRELIMINARY PLANTING PLAN

SCALE: 1" = 400'



FUHRMAN LEAMY
LAND GROUP

PL2

DATE: 11.12.13
PROJECT: LCD-13035

EXTERIOR MATERIALS

EARLY CALIFORNIAN ELEVATION

- A. Stucco
- B. Concrete "S" Tile Roofing
- C. Stucco Window Trim
- D. Decorative Tile Vents
- E. Stucco Recess w/ W.I. Railing
- F. Metal Potshel
- G. Tile Surround At Porch

FRENCH ELEVATION

- A. Stucco
- B. Concrete "Flat" Tile Roofing
- C. Stucco Recess
- D. Stucco Window Trim
- E. Decorative Shutters
- F. Wood Railing
- G. Stone Veneer

CRAFTSMAN ELEVATION

- A. Stucco
- B. Concrete "Flat" Tile Roofing
- C. Stucco Window Trim
- D. Decorative Shutters
- E. Decorative Wood Gables
- F. Wood Railing
- G. Wood Posts
- H. Stone Veneer



FRONT ELEVATION 'EARLY CALIFORNIAN'



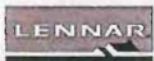
FRONT ELEVATION 'CRAFTSMAN'



FRONT ELEVATION 'FRENCH'



Christopher Highlands
 Daly City, California January 28, 2012



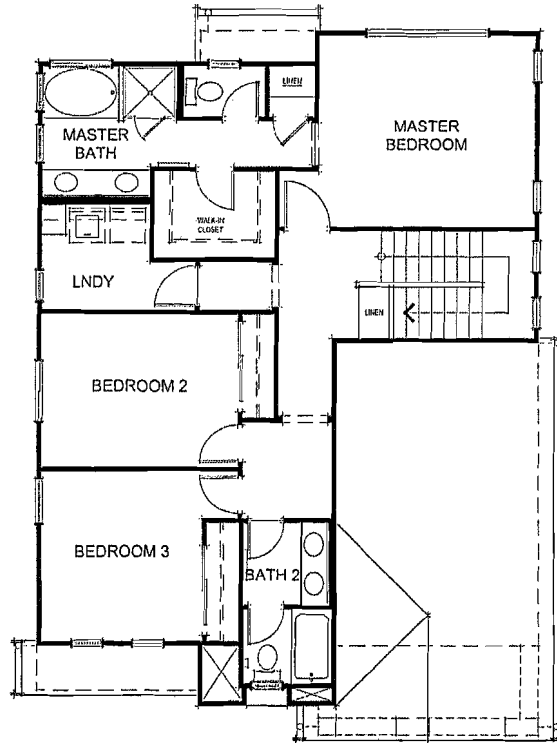
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 925.634.2100
 www.sdgaarchitecture.com

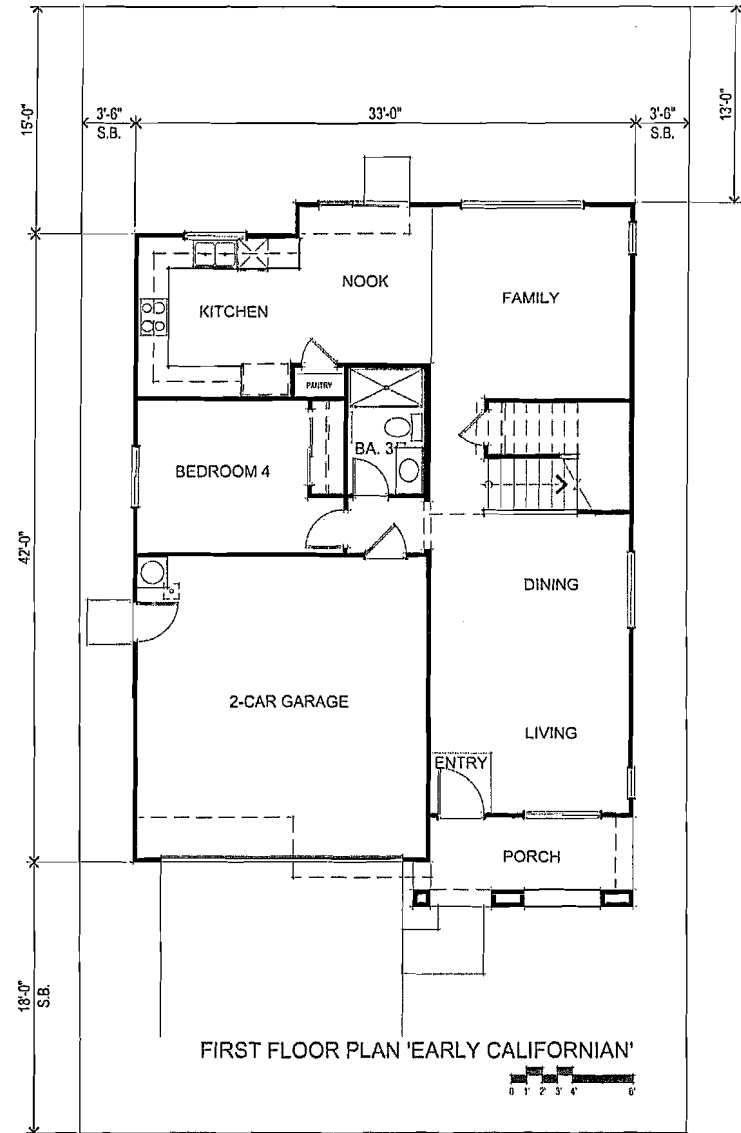


PLAN 1

EXHIBIT J



SECOND FLOOR PLAN 'EARLY CALIFORNIAN'



FIRST FLOOR PLAN 'EARLY CALIFORNIAN'

SQUARE FOOTAGE	
FIRST FLOOR :	995 SQ. FT.
SECOND FLOOR:	991 SQ. FT.
TOTAL:	1986 SQ. FT.
2-CAR GARAGE:	396 SQ. FT.

Christopher Highlands
 Daly City, California January 26, 2012

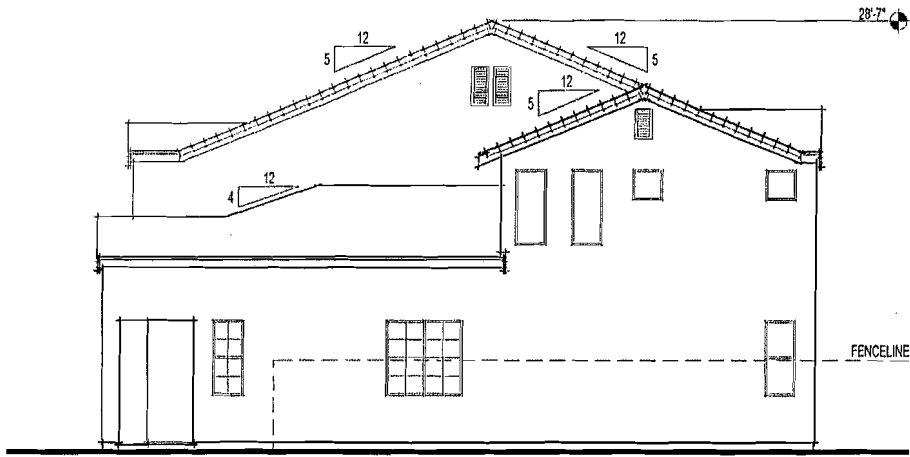


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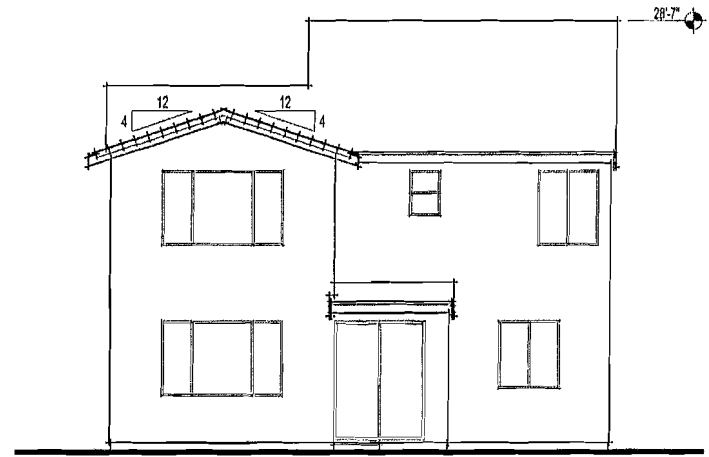
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 www.sdga66491.com



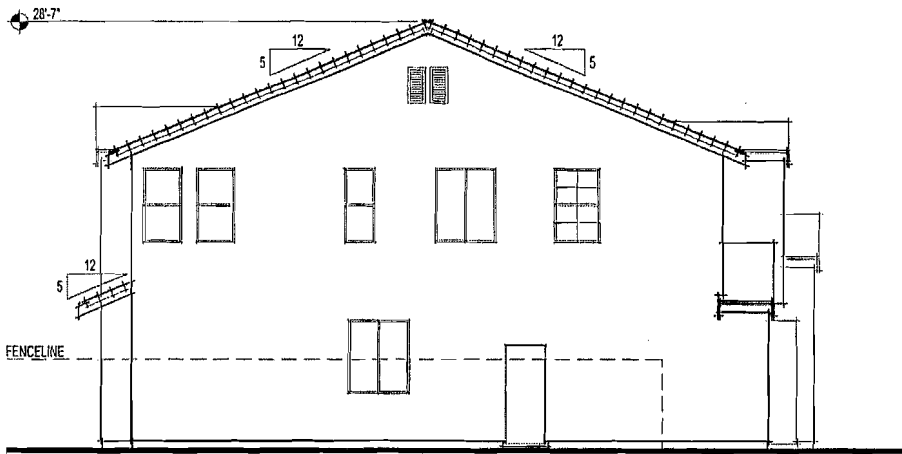
PLAN 1



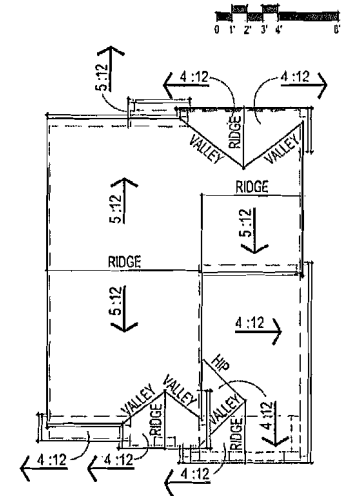
RIGHT ELEVATION 'EARLY CALIFORNIAN'



REAR ELEVATION 'EARLY CALIFORNIAN'



LEFT ELEVATION 'EARLY CALIFORNIAN'



ROOF PLAN 'EARLY CALIFORNIAN'

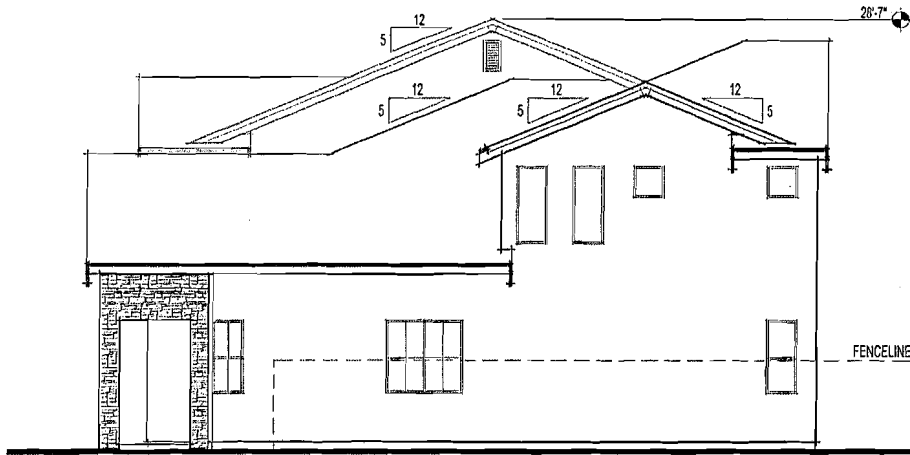
Christopher Highlands
 Daly City, California January 28, 2012



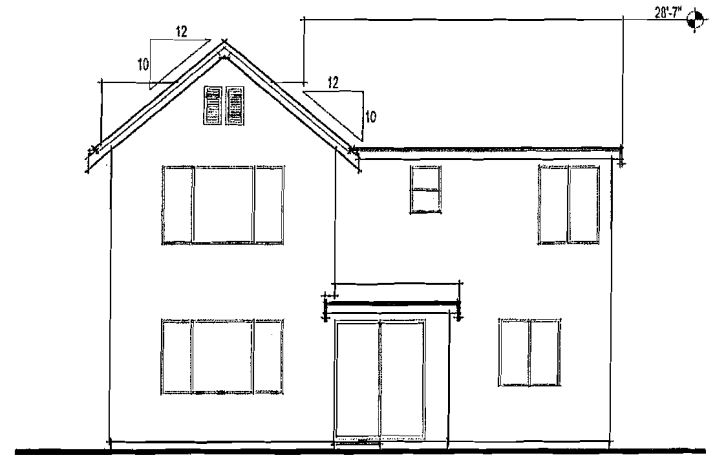
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 www.stausdesign.com



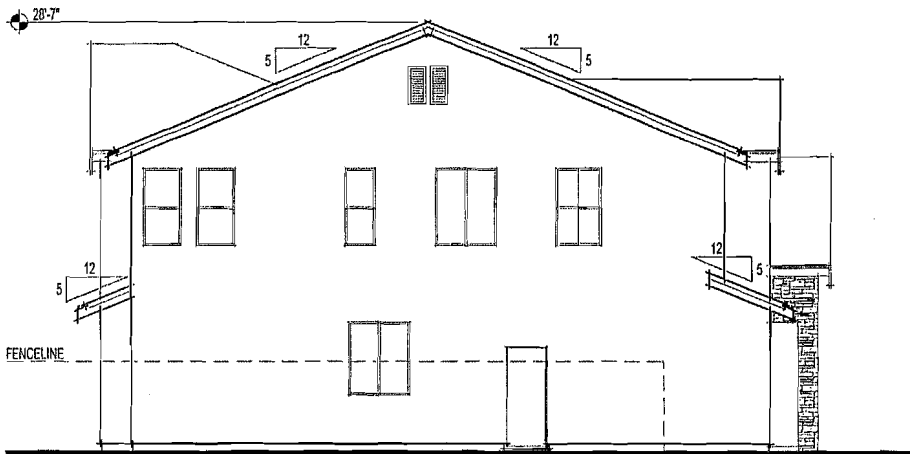
PLAN 1



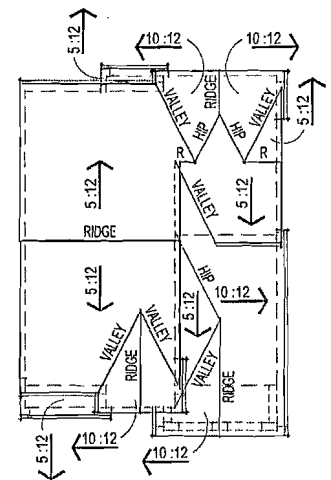
RIGHT ELEVATION 'FRENCH'



REAR ELEVATION 'FRENCH'



LEFT ELEVATION 'FRENCH'



ROOF PLAN 'FRENCH'



PLAN 1

Christopher Highlands

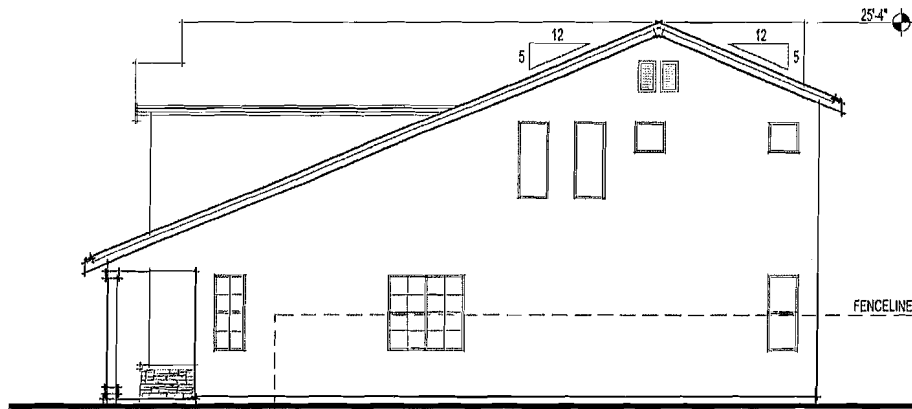
Daly City, California January 28, 2012



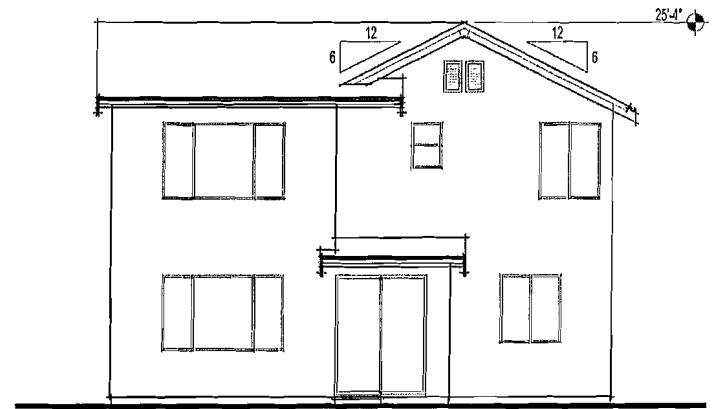
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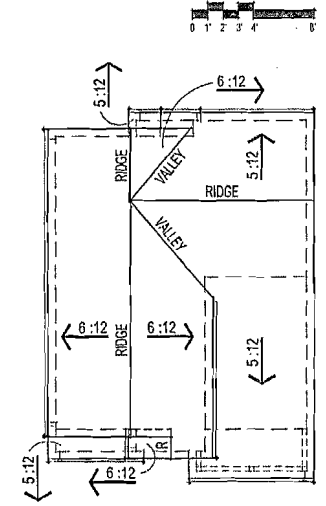
RIGHT ELEVATION 'CRAFTSMAN'



REAR ELEVATION 'CRAFTSMAN'



LEFT ELEVATION 'CRAFTSMAN'



ROOF PLAN 'CRAFTSMAN'

Christopher Highlands
 Daly City, California January 26, 2012



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PLAN 1



EXTERIOR MATERIALS

EARLY CALIFORNIAN ELEVATION

- A. Stucco
- B. Concrete "S" Tile Roofing
- C. Stucco Window Trim
- D. Decorative Tile Vents
- E. W.I. Railing

FRENCH ELEVATION

- A. Stucco
- B. Concrete "Flat" Tile Roofing
- C. Stucco Recess
- D. Stucco Window Trim
- E. Decorative Shutters
- F. Wood Railing
- G. Stone Veneer

CRAFTSMAN ELEVATION

- A. Stucco
- B. Concrete "Flat" Tile Roofing
- C. Stucco Window Trim
- D. Decorative Shutters
- E. Decorative Wood Gables
- F. Stone Veneer



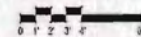
FRONT ELEVATION 'EARLY CALIFORNIAN'



FRONT ELEVATION 'CRAFTSMAN'



FRONT ELEVATION 'FRENCH'



Christopher Highlands
 Daly City, California January 22, 2012

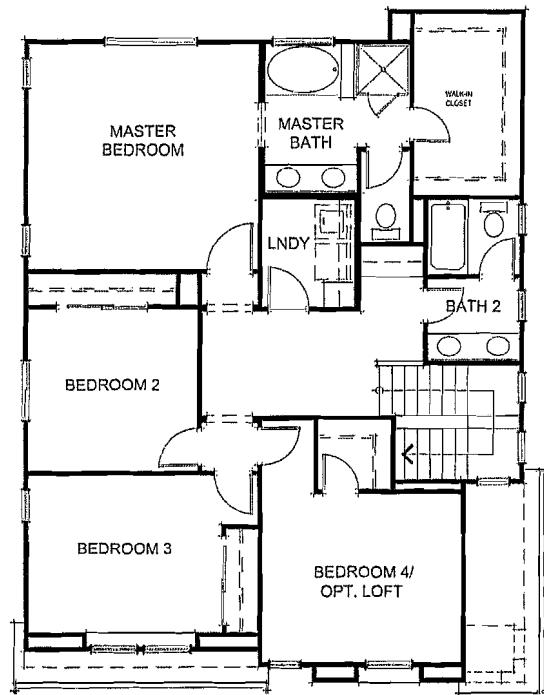


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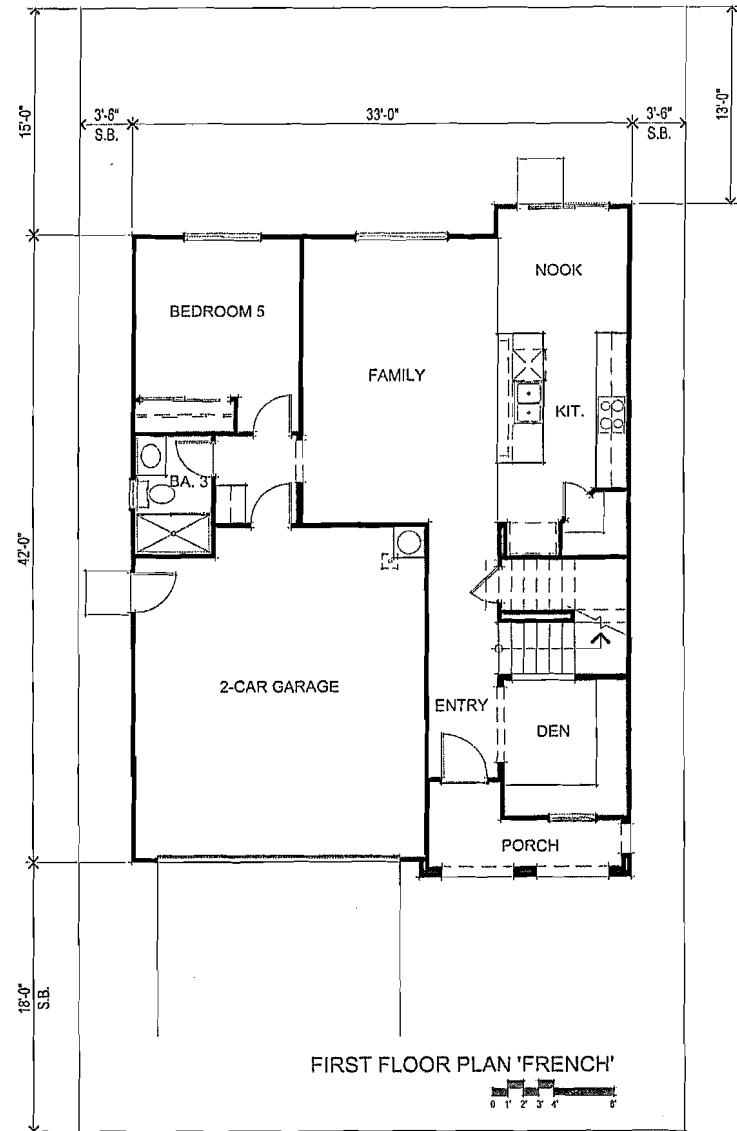


PLAN 2



SECOND FLOOR PLAN 'FRENCH'

SQUARE FOOTAGE	
FIRST FLOOR :	931 SQ. FT.
SECOND FLOOR:	1288 SQ. FT.
TOTAL:	2199 SQ. FT.
2-CAR GARAGE:	424 SQ. FT.



FIRST FLOOR PLAN 'FRENCH'

Christopher Highlands
 Daly City, California January 28, 2012

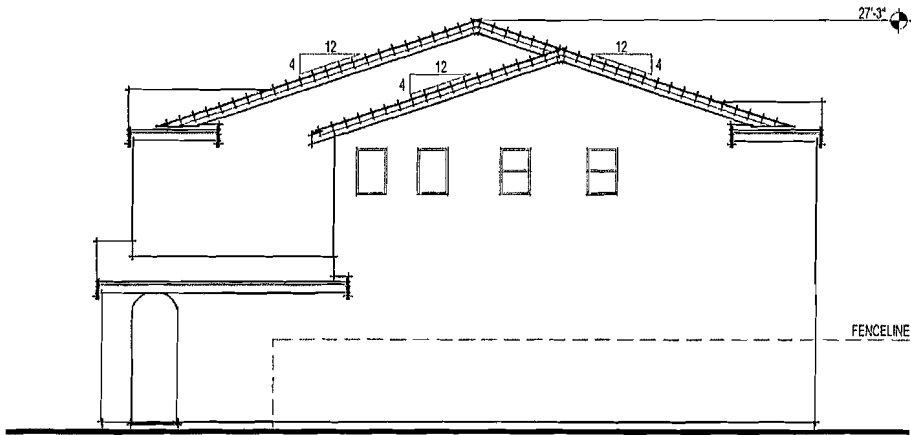


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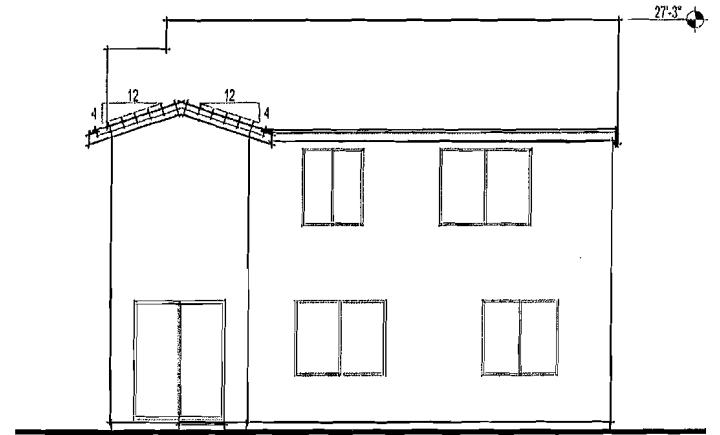
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 www.sdghouse.com



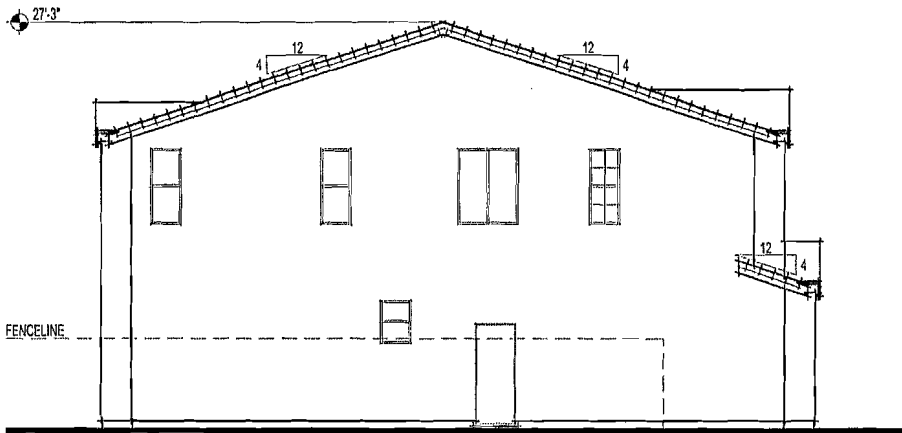
PLAN 2



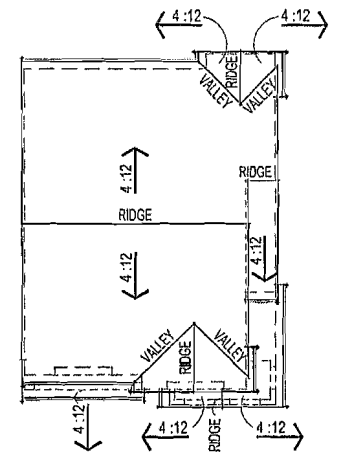
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REAR ELEVATION 'EARLY CALIFORNIAN'



LEFT ELEVATION 'EARLY CALIFORNIAN'



ROOF PLAN 'EARLY CALIFORNIAN'



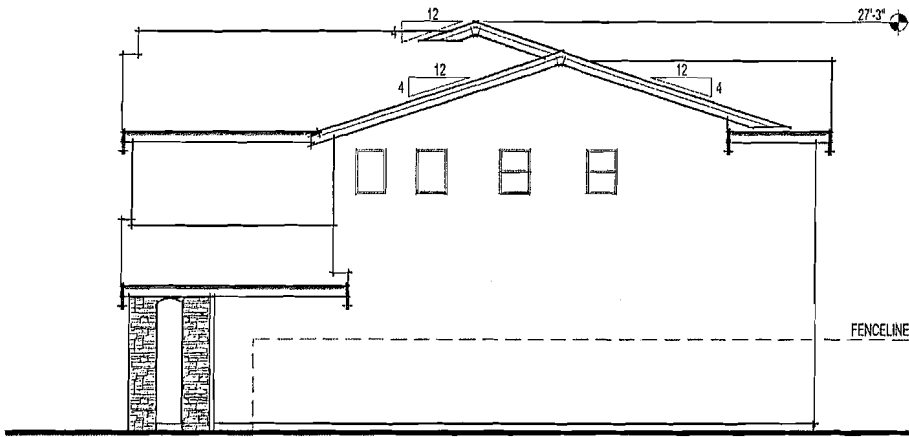
PLAN 2

Christopher Highlands
 Daly City, California January 28, 2012

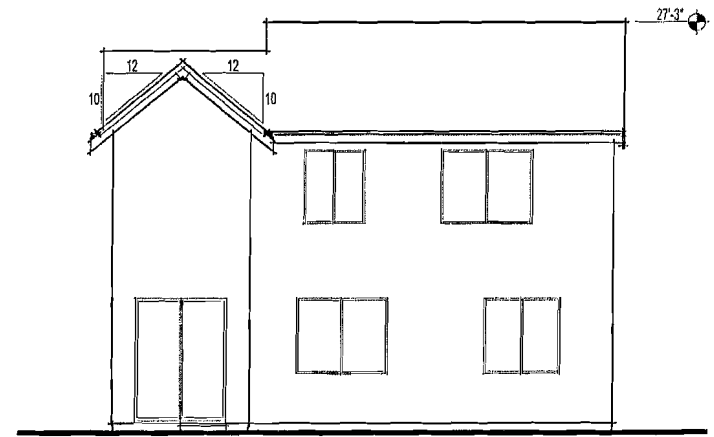


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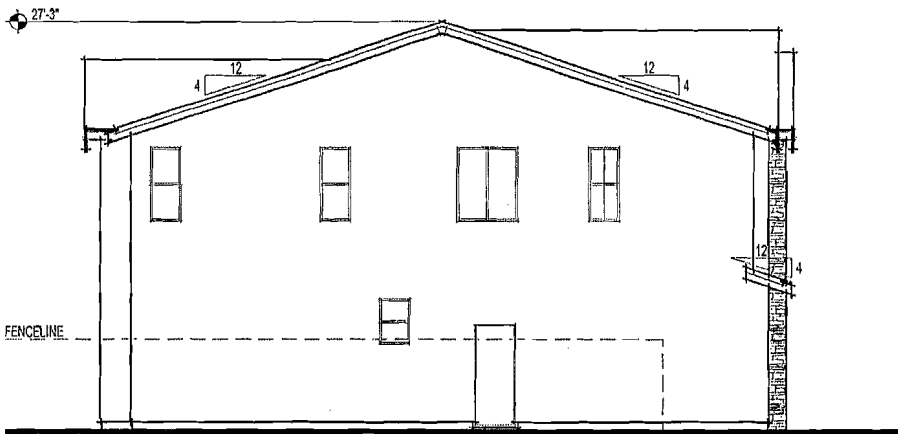




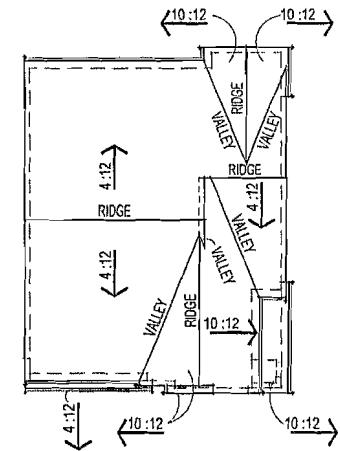
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REAR ELEVATION 'FRENCH'



LEFT ELEVATION 'FRENCH'



ROOF PLAN 'FRENCH'



Christopher Highlands
 Daly City, California January 26, 2012

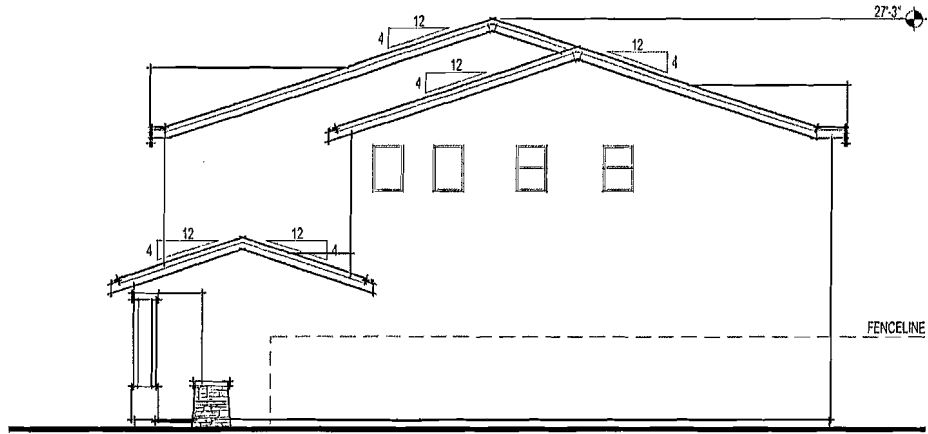


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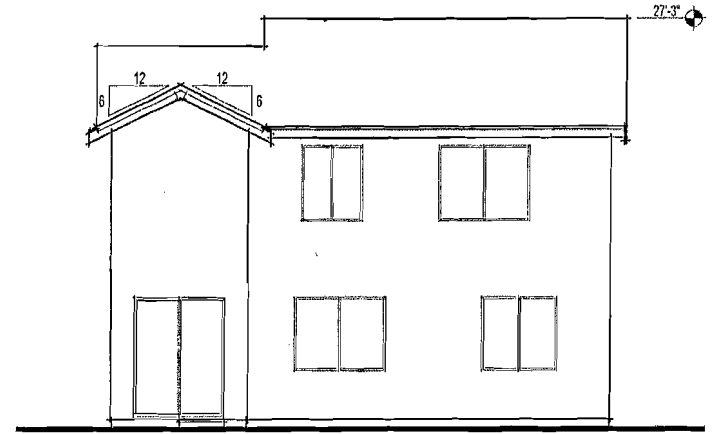
3391 Walnut Blvd, Suite 120 Brentwood, CA 94513
 925.634.7000
 www.stoupsdesign.com



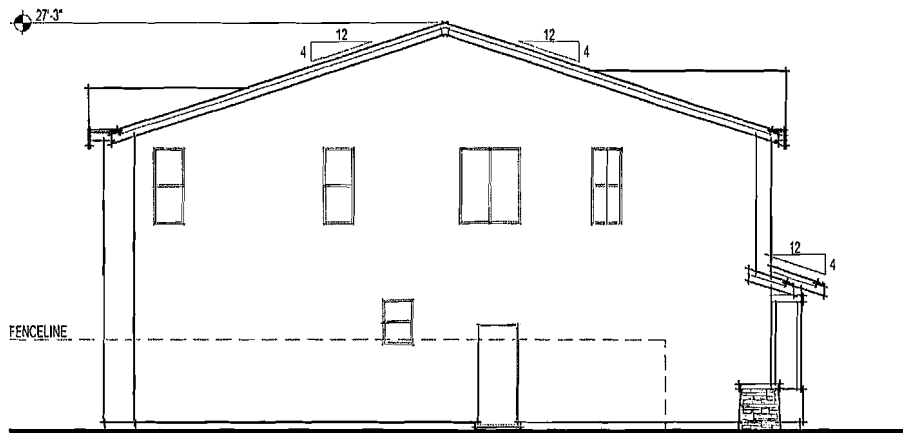
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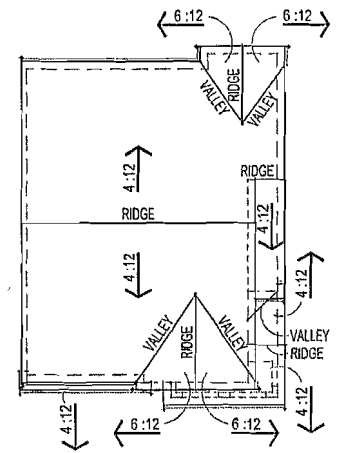
RIGHT ELEVATION 'CRAFTSMAN'



REAR ELEVATION 'CRAFTSMAN'



LEFT ELEVATION 'CRAFTSMAN'



ROOF PLAN 'CRAFTSMAN'



Christopher Highlands
 Daly City, California January 28, 2012



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PLAN 2

EXTERIOR MATERIALS

EARLY CALIFORNIAN ELEVATION

- A. Stucco
- B. Concrete "S" Tile Roofing
- C. Stucco Window Trim
- D. Decorative Tile Vents
- E. W.I. Railing
- F. Stucco Recess w/ W.I. Railing
- G. Balcony w/ Wood Posts & W.I. Railing

FRENCH ELEVATION

- A. Stucco
- B. Concrete "Flat" Tile Roofing
- C. Stucco Recess
- D. Stucco Window Trim
- E. Decorative Shutters
- F. Wood Corbels w/ Kickers
- G. Stone Veneer
- H. Wood Railing w/ Stucco Corbels

CRAFTSMAN ELEVATION

- A. Stucco
- B. Concrete "Flat" Tile Roofing
- C. Stucco Window Trim
- D. Decorative Shutters
- E. Decorative Wood Gables



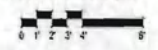
FRONT ELEVATION 'EARLY CALIFORNIAN'



FRONT ELEVATION 'CRAFTSMAN'



FRONT ELEVATION 'FRENCH'



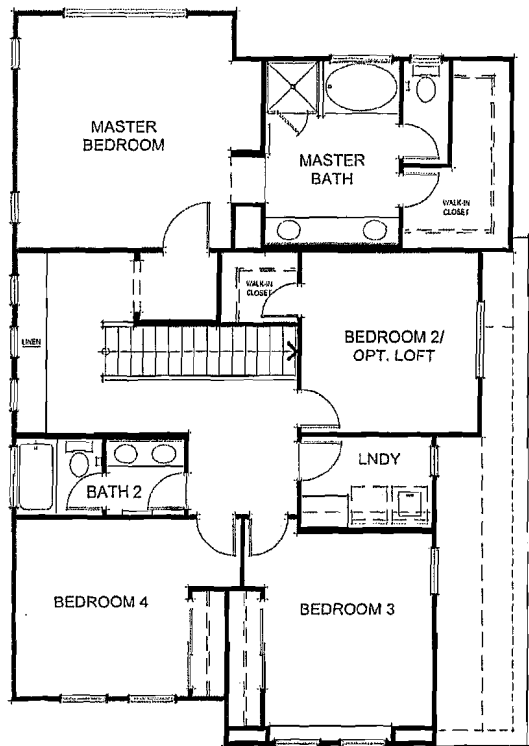
Christopher Highlands
 Daly City, California January 26, 2012



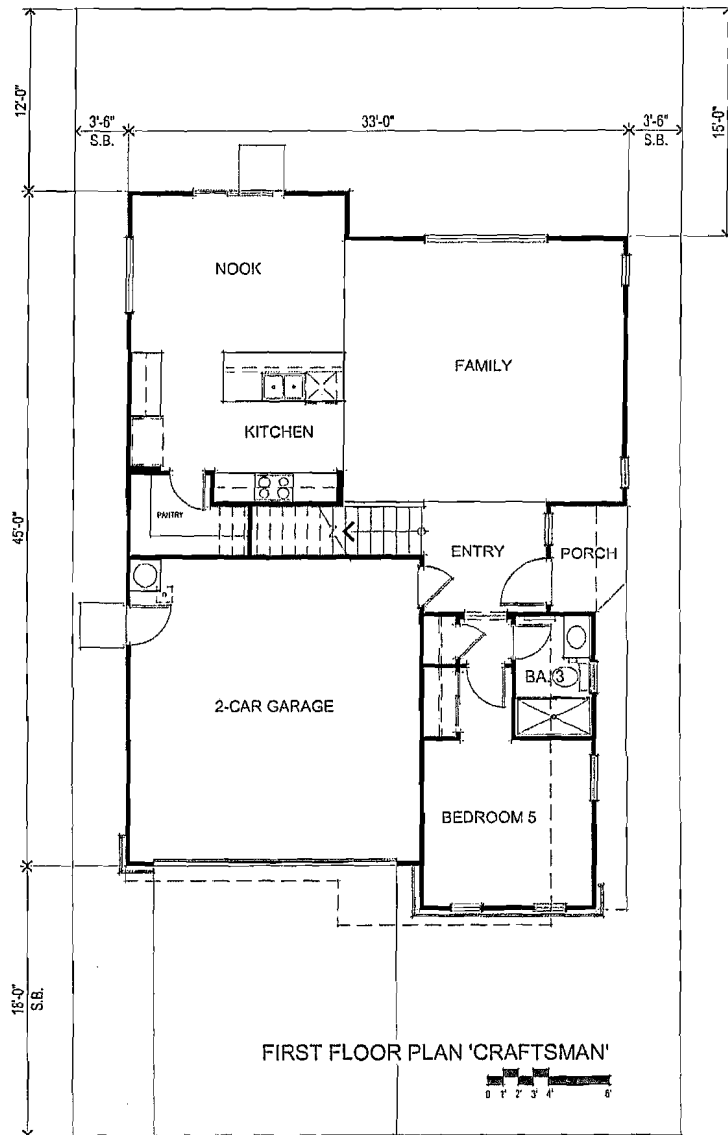
PLAN 3

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 925.634.7070
 www.sdgaarch.com





SECOND FLOOR PLAN 'CRAFTSMAN'



FIRST FLOOR PLAN 'CRAFTSMAN'

SQUARE FOOTAGE

FIRST FLOOR :	1001 SQ. FT.
SECOND FLOOR:	1333 SQ. FT.
TOTAL:	2334 SQ. FT.
2-CAR GARAGE:	424 SQ. FT.

Christopher Highlands

Daly City, California January 26, 2012

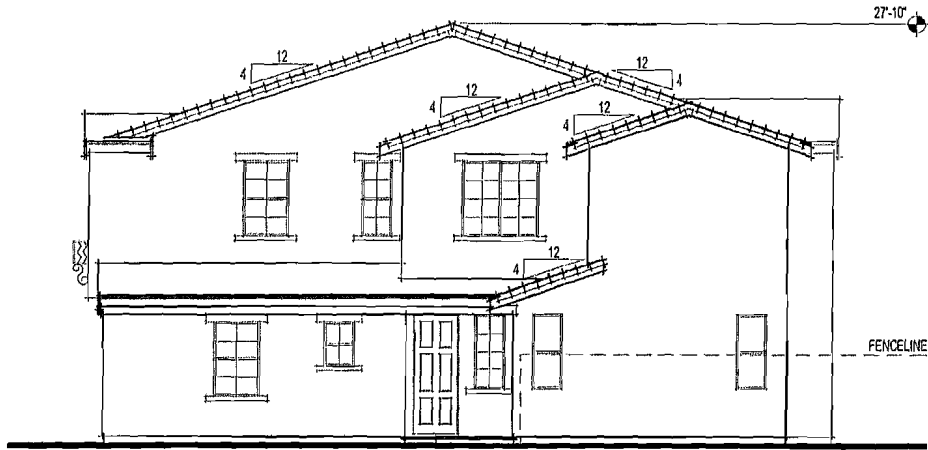


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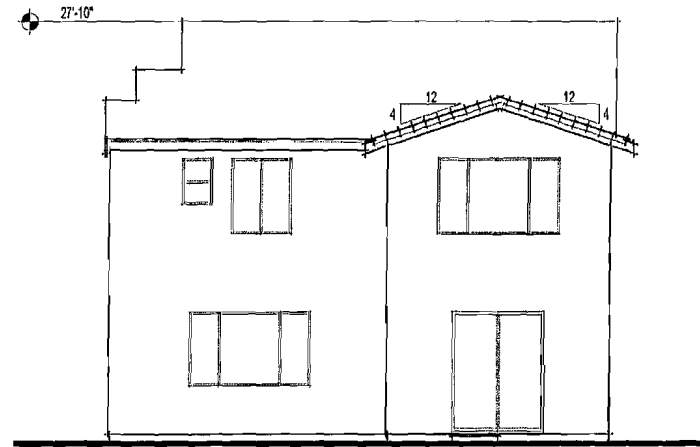
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PLAN 3

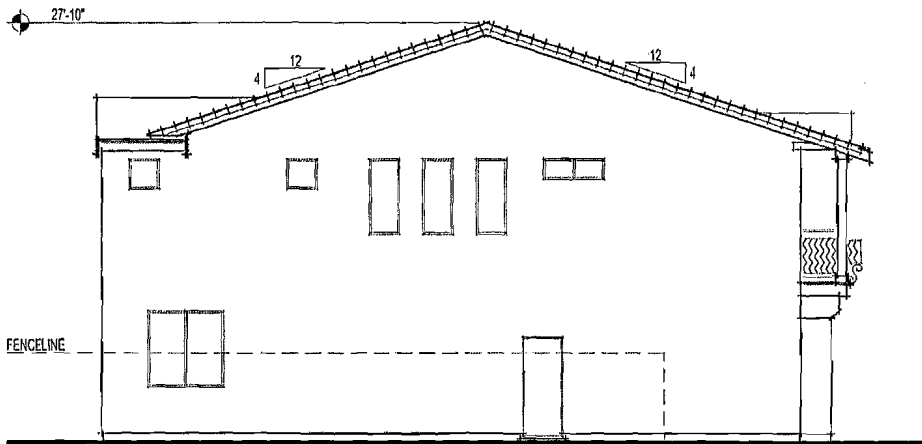




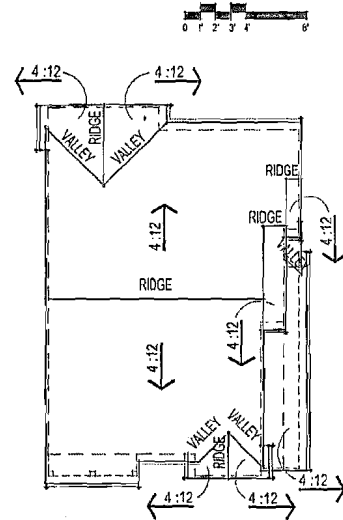
RIGHT ELEVATION 'EARLY CALIFORNIAN'



REAR ELEVATION 'EARLY CALIFORNIAN'



LEFT ELEVATION 'EARLY CALIFORNIAN'



ROOF PLAN 'EARLY CALIFORNIAN'

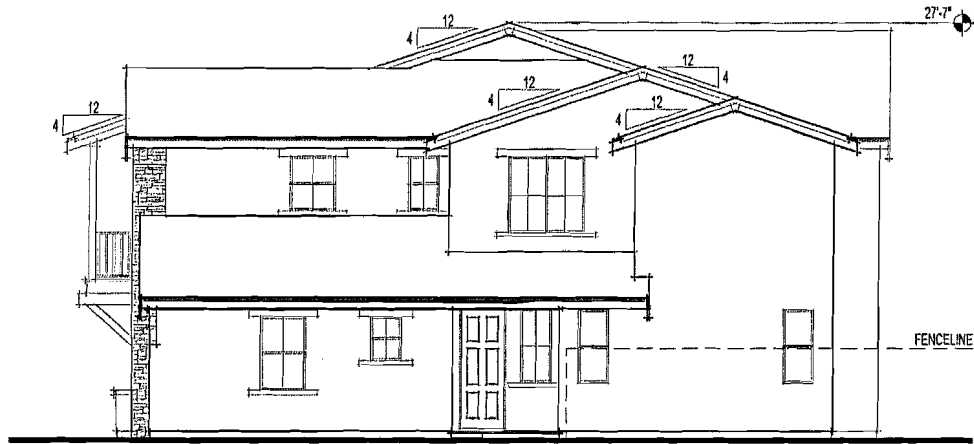
Christopher Highlands
 Daly City, California January 26, 2012



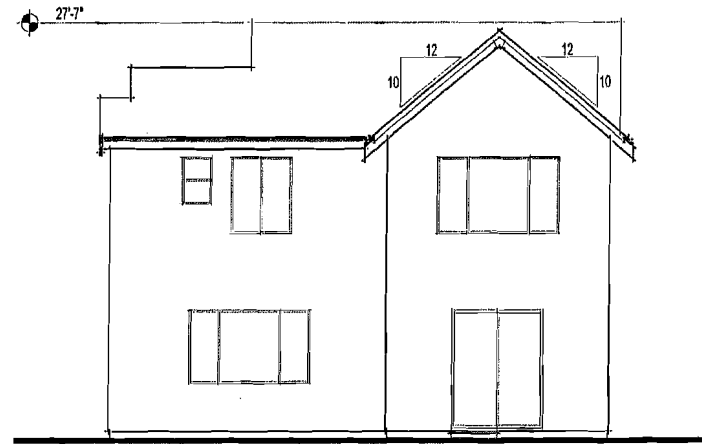
SDG Architecture + Engineering
 3351 Walnut Blvd., Suite 128 Brentwood, CA 94515
 925.634.7650
 www.sdgedesign.com

PLAN 3

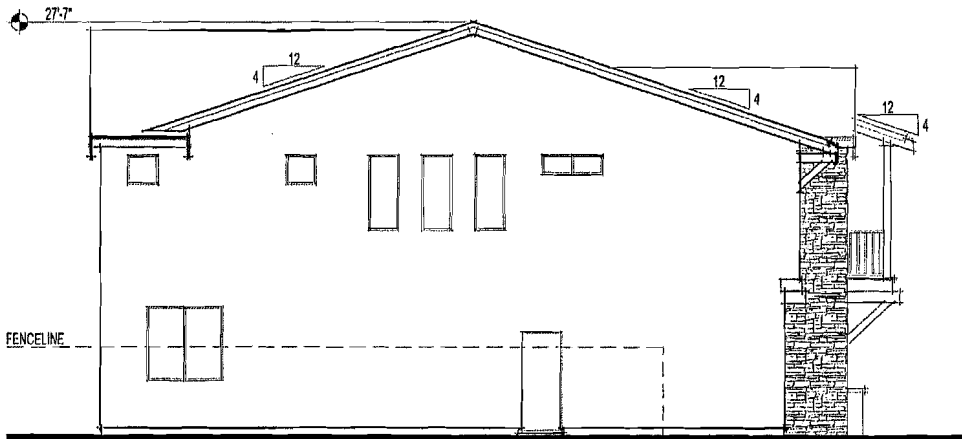




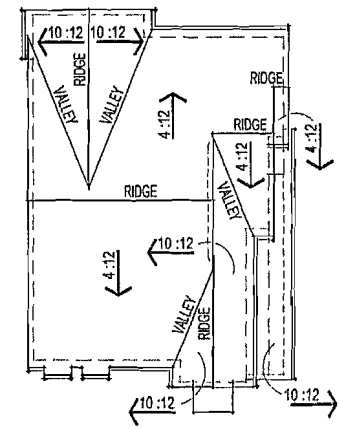
RIGHT ELEVATION 'FRENCH'



REAR ELEVATION 'FRENCH'



LEFT ELEVATION 'FRENCH'



ROOF PLAN 'FRENCH'



Christopher Highlands
 Daly City, California January 20, 2012



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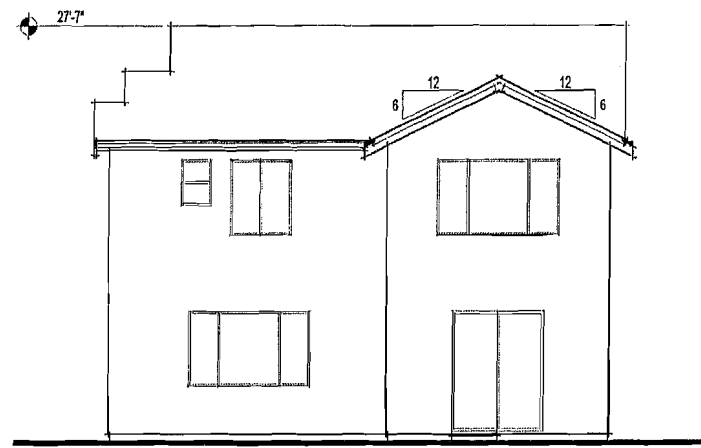
3301 Walnut Blvd, Suite 120 Brentwood, CA 94513
 925.634.7000
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PLAN 3

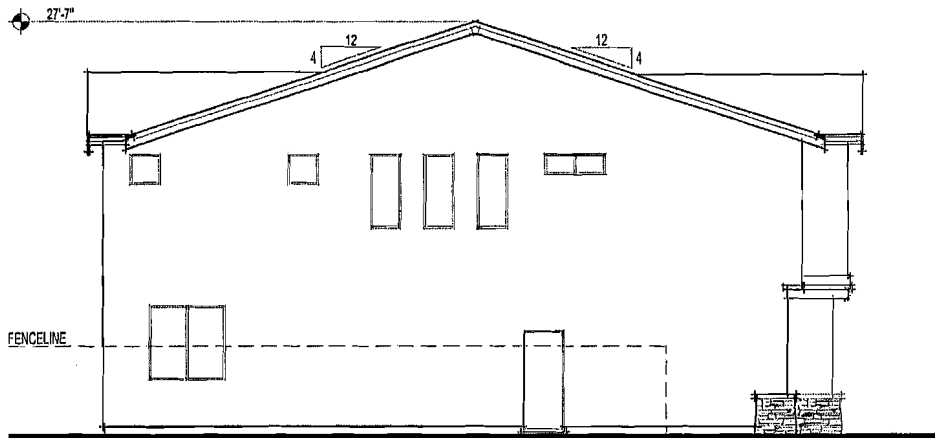
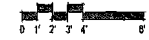




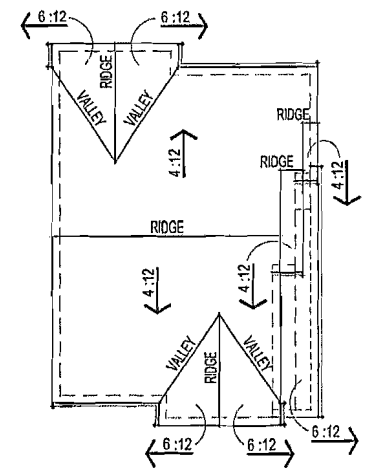
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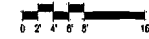
REAR ELEVATION 'CRAFTSMAN'



LEFT ELEVATION 'CRAFTSMAN'



ROOF PLAN 'CRAFTSMAN'



Christopher Highlands
 Daly City, California January 20, 2012



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PLAN 3

EXTERIOR MATERIALS

EARLY CALIFORNIAN ELEVATION

- A. Stucco
- B. Concrete "S" Tile Roofing
- C. Stucco Window Trim
- D. Decorative Tile Vents
- E. W.I. Railing
- F. Stucco Recess w/ W.I. Railing

FRENCH ELEVATION

- A. Stucco
- B. Concrete "Flat" Tile Roofing
- C. Stucco Recess
- D. Stucco Window Trim
- E. Decorative Shutters
- F. Wood Corbels w/ Kickers
- G. Stone Veneer

CRAFTSMAN ELEVATION

- A. Stucco
- B. Concrete "Flat" Tile Roofing
- C. Stucco Window Trim
- D. Decorative Shutters
- E. Decorative Wood Gables
- F. Balcony w/ Wood Posts & W.I. Railing
- G. Stone Veneer
- H. Stucco Corbels



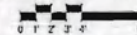
FRONT ELEVATION 'EARLY CALIFORNIAN'



FRONT ELEVATION 'CRAFTSMAN'



FRONT ELEVATION 'FRENCH'



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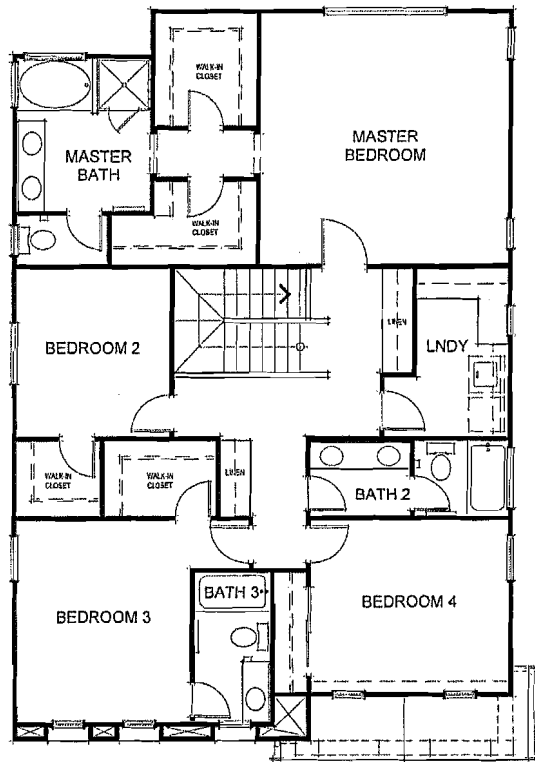


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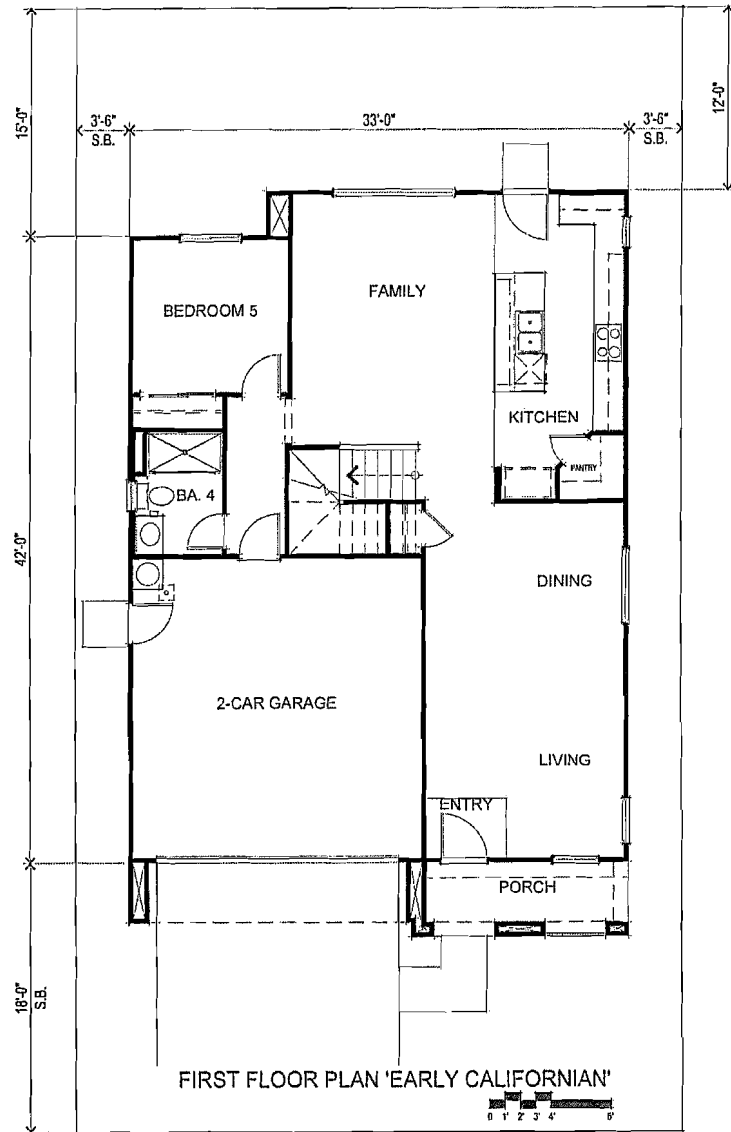
3951 Walnut Blvd. Suite 420 Brentwood, CA 94513
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PLAN 4



SECOND FLOOR PLAN 'EARLY CALIFORNIAN'



FIRST FLOOR PLAN 'EARLY CALIFORNIAN'

SQUARE FOOTAGE

FIRST FLOOR:	1050 SQ. FT.
SECOND FLOOR:	1478 SQ. FT.
TOTAL:	2528 SQ. FT.
2-CAR GARAGE:	398 SQ. FT.

Christopher Highlands
 Daly City, California January 26, 2012

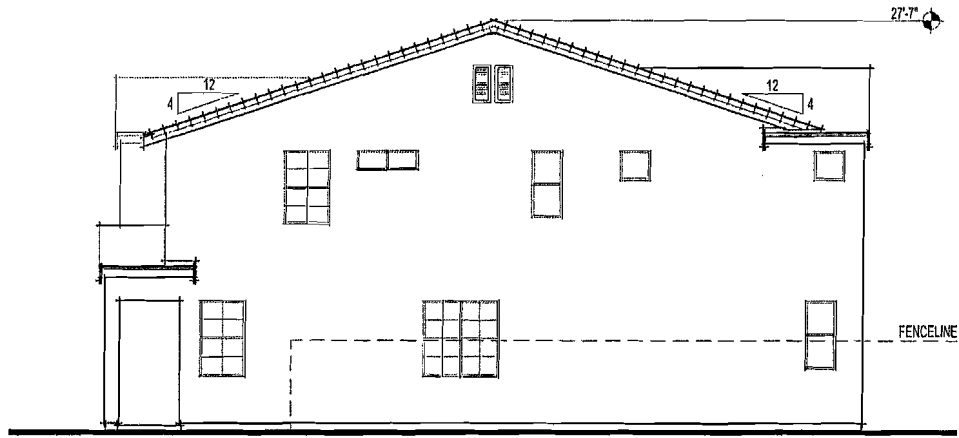


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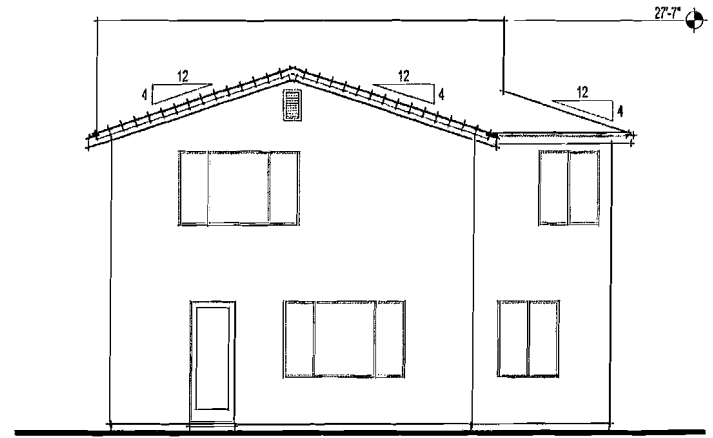
3301 Walnut Blvd, Suite 120 Brentwood, CA 94513
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 www.sdgarchitect.com



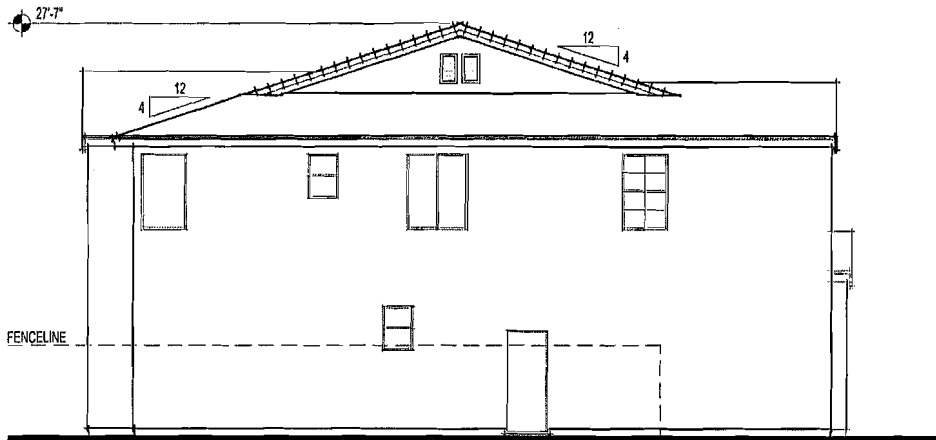
PLAN 4



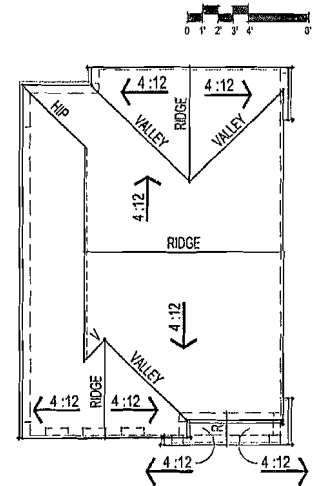
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REAR ELEVATION 'EARLY CALIFORNIAN'



LEFT ELEVATION 'EARLY CALIFORNIAN'



ROOF PLAN 'EARLY CALIFORNIAN'

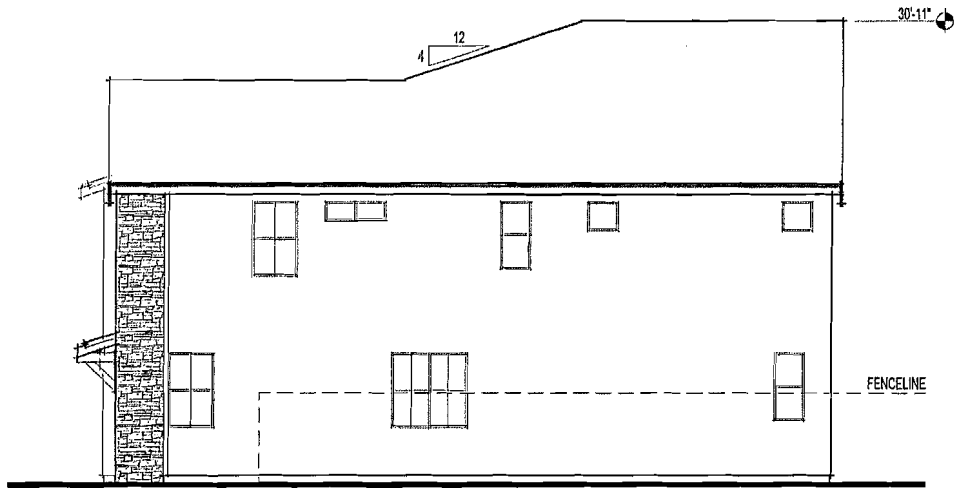
Christopher Highlands
 Daly City, California January 28, 2012



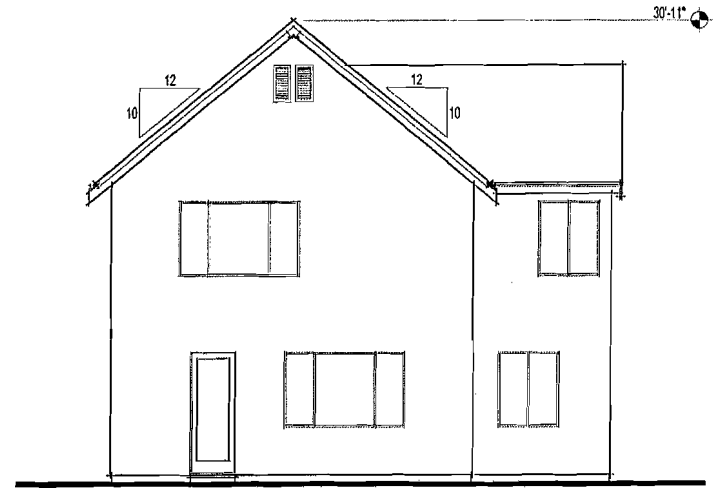
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PLAN 4

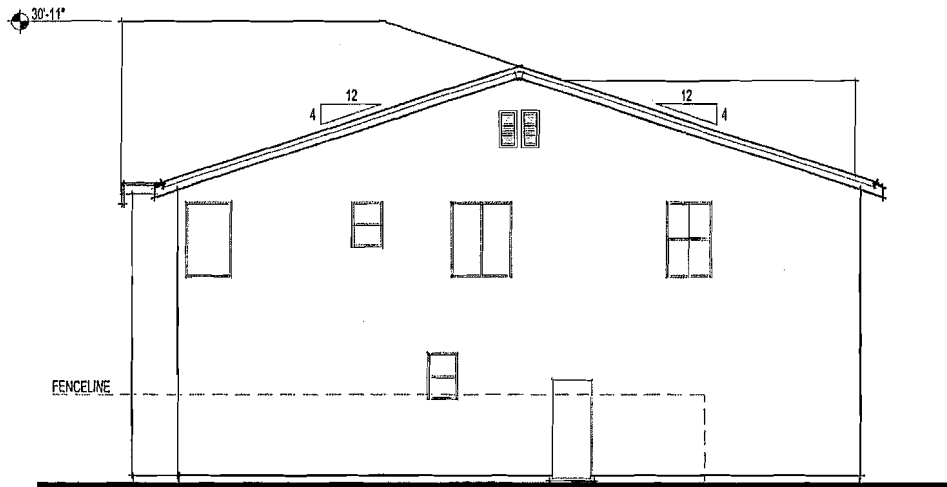
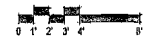




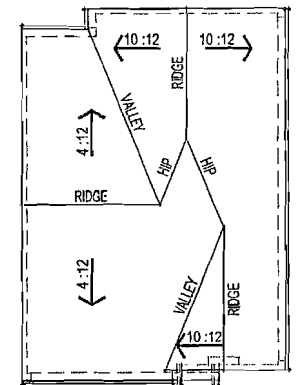
RIGHT ELEVATION 'FRENCH'



REAR ELEVATION 'FRENCH'



LEFT ELEVATION 'FRENCH'



ROOF PLAN 'FRENCH'



PLAN 4

Christopher Highlands

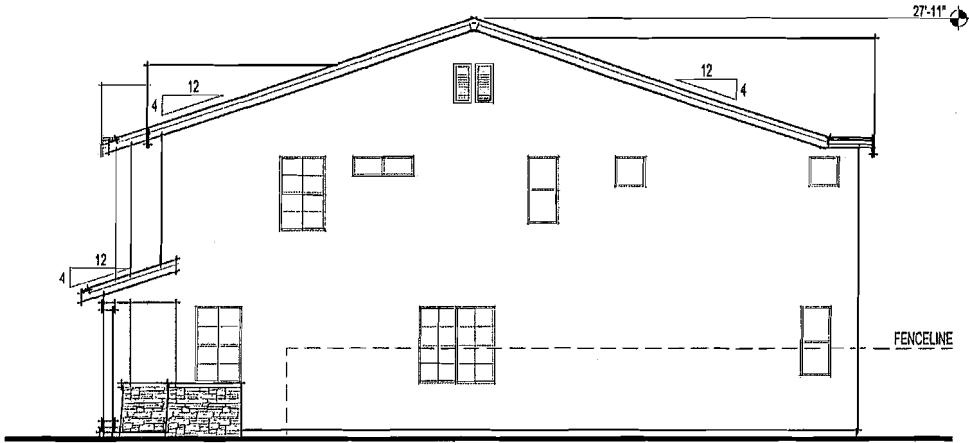
Daly City, California January 26, 2012



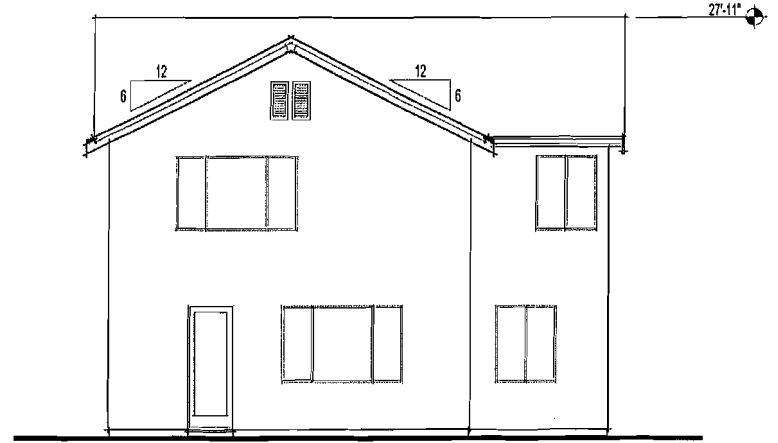
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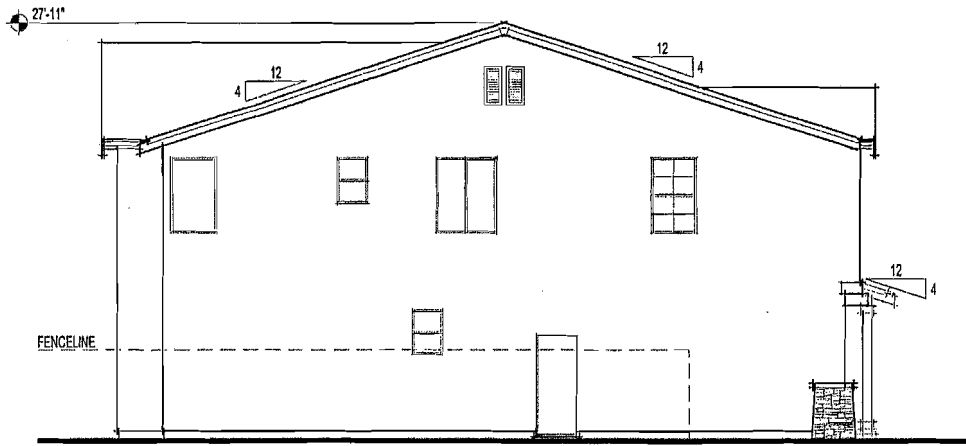




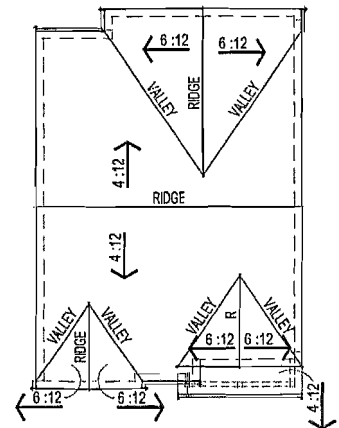
RIGHT ELEVATION 'CRAFTSMAN'



REAR ELEVATION 'CRAFTSMAN'



LEFT ELEVATION 'CRAFTSMAN'



ROOF PLAN 'CRAFTSMAN'



PLAN 4

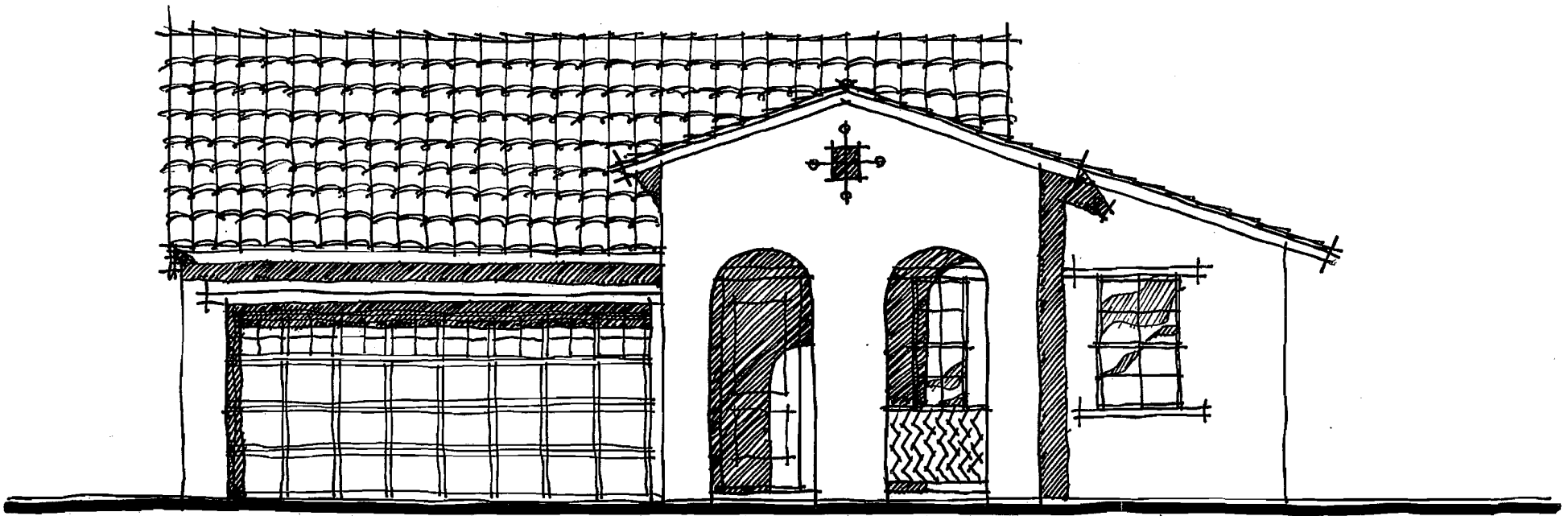
Christopher Highlands
 Daly City, California January 26, 2012



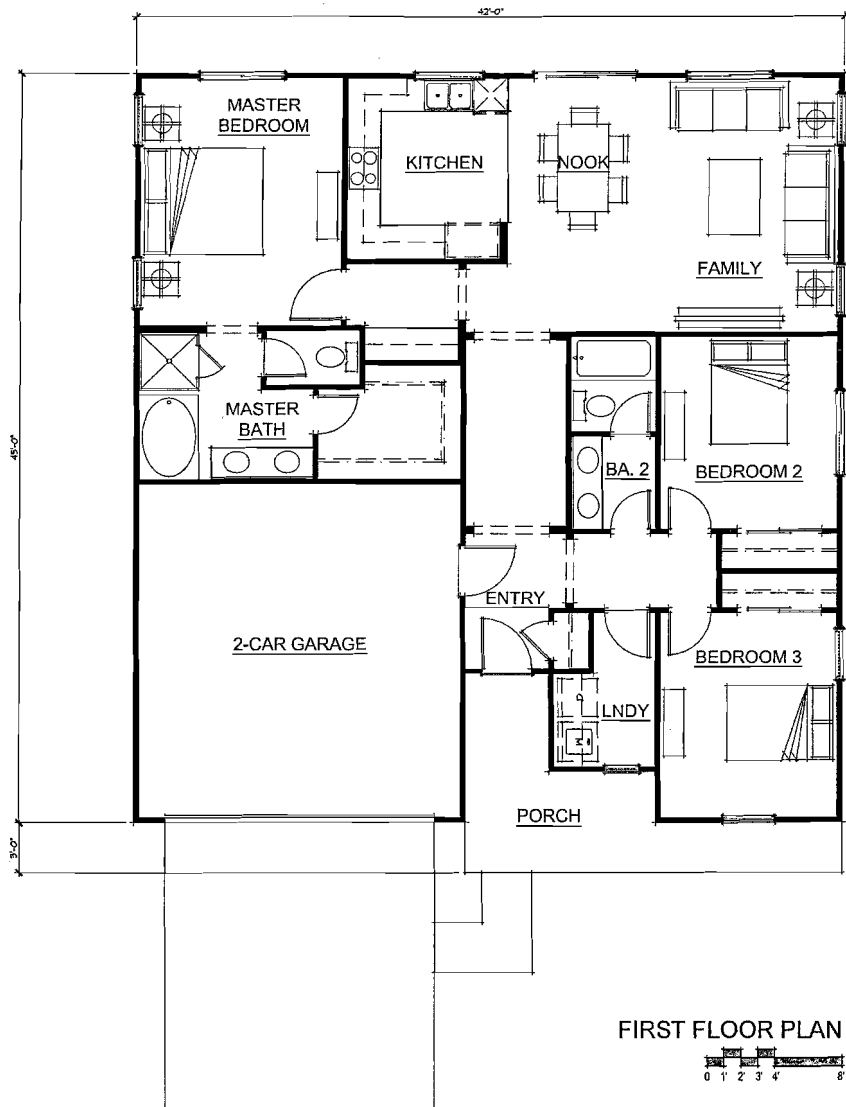
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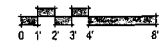




BLACKSTONE P.1
04.25.13



FIRST FLOOR PLAN



SQUARE FOOTAGE

LIVING:	1429 SQ. FT.
2-CAR GARAGE:	397 SQ. FT.

Blacstone
 El Dorado Hills, California May 24, 2012



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Exhibit K

Table 4: Tentative Map Lot Details

Lot No.	Lot Size	Front Setback	Garage Setback	Side Setback	Rear Setback
1	4,485	10	18	4	5
2	3,049	10	18	4	5
3	2,999	10	18	4	5
4	2,993	10	18	4	5
5	2,993	10	18	4	5
6	2,993	10	18	4	5
7	2,993	10	18	4	5
8	4,091	10	18	4	5
9	4,060	10	18	4	5
10	3,623	10	18	4	5
11	6,200	10	18	4	5
12	3,154	10	18	4	5
13	2,993	10	18	4	5
14	2,993	10	18	4	5
15	3,650	10	18	4	5
16	2,993	10	18	4	5
17	3,999	10	18	4	5
18	3,530	10	18	4	5
19	2,993	10	18	4	5
20	3,536	10	18	4	5
21	3,484	10	18	4	5
22	3,567	10	18	4	5
23	4,440	10	18	4	5
24	3,650	10	18	4	5
25	5,782	10	18	4	5
26	6,200	10	18	4	5
27	3,860	10	18	4	5
28	4,226	10	18	4	5
29	3,408	10	18	4	5
30	4,000	10	18	4	5
31	3,650	10	18	4	5
32	3,714	10	18	4	5
33	2,993	10	18	4	5
34	4,061	10	18	4	5
35	4,019	10	18	4	5
36	2,993	10	18	4	5
37	2,993	10	18	4	5
38	2,993	10	18	4	5
39	4,530	10	18	4	5
40	4,561	10	18	4	5
41	3,408	10	18	4	5
42	3,445	10	18	4	5
43	3,336	10	18	4	5
44					
45	4,662	10	18	4	5
46	3,527	10	18	4	5

EXHIBIT K

Lot No.	Lot Size	Front Setback	Garage Setback	Side Setback	Rear Setback
47	3,173	10	18	4	5
48	2,993	10	18	4	5
49	4,324	10	18	4	5
50	3,972	10	18	4	5
51	3,724	10	18	4	5
52	2,993	10	18	4	5
53	3,654	10	18	4	5
54	3,156	10	18	4	5
55	4,143	10	18	4	5
56	3,690	10	18	4	5
57	3,650	10	18	4	5
58	2,993	10	18	4	5
59	2,993	10	18	4	5
60	2,993	10	18	4	5
61	5,694	10	18	4	5
A	39,947	Open Space			

EXHIBIT K-2



El Dorado Hills Area Planning Advisory Committee
1021 Harvard Way
El Dorado Hills, CA 95762

2012 Board Chair
John Hidahl
Vice Chair
Jeff Haberman
Secretary/Treasurer
Alice Klinger

September 22, 2012

El Dorado County Planning Services
Attn: Gina Paolini, Project Planner
2850 Fairlane Court
Placerville, CA 95667

RE: TM 12-1508/12-0007/A12-0003 West Valley Village Lot X

This is a report on a "Specific Plan" gated project West Valley Village Lot X with a total area of 7.85 acres. This project includes a "Specific Plan" amendment to change this parcel from an "Underlying Zone of Village Center" to "Core Residential" This allows the project to be designed with 61 residential lots. After the applicant's presentation, public comments, and the subcommittee's recommendation, **the full APAC committee voted 7 - 0, unanimously for non-support of the project as proposed.** APAC's concerns and recommendation are listed below:

The committee would like to see County Standards followed on single family residential projects. The areas shown below do not fit this criterion:

Street right-of ways show 40' on the main loop road of the project and 32' wide at most streets off this main loop. Street widths will be 24' with a 2.5' rolled curb on each side of the street. Remaining right-of-way distances include 4' sidewalks (County Standard is 6') on the main loop road and an additional 1.5' of right of way on each side of the street prior to the property line. These distances compared to a County Standard right-of-way of 50' (typically 26.5' of street with a 2.5' curb on each side and an additional 9.25' of right of way on each side of the street prior to the property line.

The committee is concerned about the amount of parking that will result with the reduced lot widths and large percentage of lot width taken up with driveway space leaves little parking area on the street. The committee also feels the Home Owner's Association should be required to police on street parking as is done in other gated communities.

There are no landscape plans for the external boundaries of the project. The committee would like to review proposed landscaping prior to granting any approval.

Requested front setbacks on this project are 10' giving an 11.5' distance from the road where no sidewalks are provided to 11.5' from behind a 4' sidewalk where they are provided. Garage setbacks were requested to be 18'. These compared to a County Standard of 20' for both setbacks. With the reduced setbacks and roadway easements homes will be 52' from

El Dorado Hills APAC - Non-partisan Volunteers Planning Our Future

EXHIBIT L

home face to home face compared to a County Standard of 90'. The committee feels strongly that the County Standards should be followed.

Requested rear setbacks are 5' compared to a County Standard of 15' placing rear face to rear face of these homes at 10' compared to the County Standard of 30'. The committee again felt that County Standards should be followed. Without a plan to go by the 10' rear distances between homes was shocking to most but a plan with recessed areas for a back yard and opposing treatments that allow larger rear distances may be acceptable.

Requested side setbacks are 4' compared to a County Standard of 5' placing homes 2' closer together. With designed lot widths of typically 45' minus the 8' for the two side setbacks leaves building widths of 37'. The committee felt County Standards should be followed.

With a typical garage width of 20' minimum, the front of the home is left with a 17' wide frontage. With an entry area of a minimum 6' this leaves room for a living room in the front or a bedroom/ office of 11'. This will create a home with a garage, front door and a window. The only distinguishing feature of these homes will be a porch if placed in front and some window treatments and a hip or gable roof. The committee feels again that County Standards should be followed.

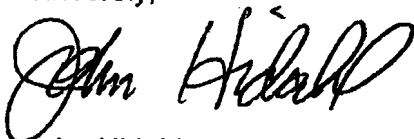
There are no plans currently to show the type of product that will be put on the lots. Without a copy of the house plans we cannot over-stress the importance of reviewing these architectural elevations prior to approval of this project.

While the APAC recommends "No Support" it should be pointed out that APAC at one time said we would not support projects that do not meet county standards unless they were a part of a specific plan as this project is.

If you have any question about any of the responses expressed here, please contact John Hidahl, APAC Chairman at Hidahl@aol.com or (916 933-2703).

APAC appreciates having the opportunity to comment on this project.

Sincerely,



John Hidahl,
APAC Chairman

CCs: Dave Crosariol
APAC file