

**EL DORADO COUNTY DEVELOPMENT SERVICES  
PLANNING COMMISSION STAFF REPORT**



**Agenda of:** July 12, 2007  
**Item No.:** 12.  
**Staff:** Mel Pabalinas

**SUBDIVISION MAP/PLANNED DEVELOPMENT REVISION**

**FILE NUMBER:** TM01-1381R/PD01-0009R/Serrano, Village M Phase 5

**APPLICANT:** Serrano Associates, LLC

**REQUEST:** The project consists of the following:

1. Merge a 0.47 acre portion of Open Space Lot G within Village M, Phase 5;
2. Reconfigure and re-subdivide Village M, Phase 5 adding three custom residential lots resulting in a total of 10 residential lots, one open space lot and two landscape lots; and
3. A request for design waivers of the following El Dorado County Design and Improvement Standard Manual standards:
  - a. Reduction of road right-of-way widths from 50 to 36 feet for the access courts.
  - b. Reduction in cul-de-sac right-of-way diameter of improvements from 100 to 80 feet and cul-de-sac right-of-way from 60 to 47 feet

**LOCATION:** West side of Appian Way, at the intersection with Sangiovese Drive in the El Dorado Hills area, Supervisorial District I (Exhibit A).

**APN:** 123-020-06 and -05

**ACREAGE:** 8.36 acres

**GENERAL PLAN:** Adopted Plan (AP) El Dorado Hills Specific Plan (Exhibit B)

**ZONING:** One-half Acre Residential-Planned Development (R20,000-PD) and Open Space (OS) (Exhibit C)

**ENVIRONMENTAL DOCUMENT:** Statutorily Exempt pursuant to Section 15182 of the CEQA Guidelines

**SUMMARY RECOMMENDATION:** Conditional Approval

## **BACKGROUND**

### *Village M*

The El Dorado Hills Specific Plan was approved by the El Dorado County Board of Supervisors on July 18, 1988. The Plan was designed to be consistent with and represent a refinement and expansion of the El Dorado Hills/Salmon Falls Area Plan. Coupled with the Development Agreement, the El Dorado Hills Specific Plan provides comprehensive policies for the development of a Master Planned Community encompassed within approximately 4,000 acres of property. The identified land uses vary from High Density Residential (ranging from three to five dwelling unit/acre with planned development), Commercial, Public and Private Open Space, and recreational golf course. The Specific Plan provides for 6,160 dwelling units. At this time, it is projected that approximately 4,950 dwelling units will be developed at buildout.

Village M is located along the northern border of the El Dorado Hills Specific Plan characterized by areas of dense tree cover, wildlife habitat, and rolling-to-steep topography. This village is reserved for large residential lots within the Specific Plan ranging from four to seven acres in size. These lots provide a buffer between the northern edge of the Plan Area and the large rural lots to the north and the agricultural preserve to the east. The rural character of Village M would be maintained by the use of a standard rural road system of aggregate or chip seal surface. Water and sewer lines would be located within the public right-of-way. Village M, though large in acreage, was contemplated to accommodate approximately 37 dwelling units.

Section 2.1.1 of the El Dorado Hills Specific Plan Development Agreement acknowledges that the number of dwelling units in any of the residential neighborhoods or any of the villages may vary within the Specific Plan, and a density transfer between villages may occur provided that the following criteria are not exceeded: 1) the density for the village permitted by the El Dorado Hills/Salmon Falls Area Plan (5.0 dwelling units/acre) as it exists at the time of the effective date of the Agreement; 2) the total units (6,160 dwelling units); 3) total gross (1.58 du/ac) and net (3.05du/ac) densities of the Specific Plan.

### *Tentative Map TM01-1381/PD01-0009/Village M1 and M2*

As depicted in Table 1 below, Tentative Map TM01-1381 was approved on January 24, 2002, for 90 residential and 7 open space lots on a 243.97 acre site. Phase 5 of Village M consisted of seven residential lots ranging from 0.66 to 1.73 acres. A subsequent revision was approved on February 9, 2006, which resulted in reconfiguring and re-creation of the approved tentative map lots resulting in 30 additional lots, totaling 103 Village M lots. Phase 5 was not affected by this revision.

**Table 1. Village M and TM01-1381/PD01-0009**

Village M	Phase	Approval Date	Lots (Residential/Open Space)	Note
Contemplated by Specific Plan	NA	NA	37 estate residential lots/ undetermined open space lots	Entire Village M composed of 243.9 acres; 0.15 du/ac
TM01-1381/PD01- 009 (Original Application)	M1/M2	January 24, 2002	90/7	0.36 acres du/ac; 17 residential/ one (1) open space recorded under TM01-1381F resulting in 73 unrecorded lots
TM01-1381R/PD01- 009R (First Revision)	M2/M3	February 9, 2006	25/5	0.40 du/ac; Village M increased to 98 residential lots (103 total lots)
TM01-1381R/PD01- 009R (Current Revision)	M5	Pending	10/3	Second revision to Village M tentative map; 1.19 du/ac; this phase was originally approved for seven (7) residential lots; the additional three (3) residential lots and three (3) open space lots would increase the Village M lots to 101 residential lots (104 lots total)

### STAFF ANALYSIS

Staff has reviewed the project for compliance with the County's regulations and requirements. An analysis of the proposal and issues for Planning Commission consideration are provided in the following sections.

### Project Description

The proposed revision to Village M, Phase 5, includes the following: a) merging of a 0.47 acre portion of Open Space Lot G (finalized and recorded under application TM01-1381F) with Village M, Phase 5; 2) reconfigure and re-subdivide Village M, Phase 5 adding three custom residential lots (resulting in 10 total residential lots), one open space lot, and two landscape lots; b) design waivers to

reduce the right-of-way width from 50 feet to 36 feet for the access courts in conformance to the width of improvements and reduction of the cul-de-sac turnarounds from 100 to 80 feet in diameter and cul-de-sac right-of way radius from 60 to 47 feet (Exhibit D).

The proposed custom residential lots range from 0.49 to 1.63 acres in size. Each lot conforms to the development standards (ie. frontage width and minimum parcel size) under One-half Acre Residential (R20,000) Zone District. Lots 1 and 2 contain a portion of an intermittent stream with a 50-foot buffer, in conformance with the minimum buffer required under General Plan Policy 7.3.3.4. Development of these custom residential lots is subject to a development notebook prepared by the applicant at the time for final map for the tract. Subject to review by the Serrano Architectural Review Committee, the development notebook details the building envelope, location of the driveway entrance, oak tree protection measures, and building setbacks for each lot. Landscape Lots A and B are located at the entrance to the subdivision while open space Lot C is located at the southern end of the tract.

The gated subdivision would be served by a 26-foot wide (road width) internal road off Appian Way and dead ends into two separate cul-de-sacs. The roads would be constructed based on the Standard Plan 101B and 114 of the El Dorado County Design and Improvement Standard Manual. All lots are accessed exclusively via this internal road. Water and sewer services would be provided by the El Dorado Irrigation District (EID). EID currently has an eight-inch potable water line located along Sangiovese Drive and Greyson Creek Drive east of the site. A six-inch sewer line exists along Appian Way and Sangiovese Drive, and an eight-inch off-site sewer line in Highland View–Unit 1. These sewer lines have adequate capacity at this time. In order to receive service, these existing lines would be extended in accordance with EID standards.

### **Site Description**

The project is located on slopes that range from 5 percent to over 40 percent. There are buildable sites on the lots that avoid the 30 percent and above sloped areas. The dominant vegetation on the site consists of native grasses. Seven mature oak trees are located near the northern portion of the property, and a cluster of smaller oak trees is located on the southern portion of the property (identified as Lot C).

**Adjacent Land Uses**

	<b>Zoning</b>	<b>General Plan</b>	<b>Land Use/Improvements</b>
<b>North</b>	One-Half Acre Residential (R-20,000)	High Density Residential (HDR)	Single family residential units/Highland View Subdivision.
<b>South</b>	Single Family Residential/ Open Space (R1/OS)	Adopted Plan (El Dorado Hills Specific Plan)	Single family residential units/Open Space
<b>East</b>	One-Half Acre Residential (R-20,000)/Open Space R20,000/OS	Adopted Plan (El Dorado Hills Specific Plan)	Single family residential units/Open Space
<b>West</b>	Single Family Residential (R1)	High Density Residential (HDR)	Single family residential units

**General Plan**

The El Dorado County General Plan designates the subject site as Adopted Plan, a designation in reference to areas where specific plans have been adopted. These plans and the respective land use maps are accepted and incorporated by reference and are hereby adopted as the General Plan Land Use map for such area. Since the El Dorado Hills Specific Plan has been incorporated by reference under General Plan Land Use Element Policy 2.2.1.2, the proposed tentative map revision is found to be consistent with the General Plan.

**Specific Plan**

Village M is identified in the Specific Plan as an area reserved for large estate residential lots ranging from four to seven acres in size. Consistent with the density transfer provision in the El Dorado Hills Specific Plan Development Agreement, recent tentative maps for Village M increased the number of residential lots from 37 estate parcels to 101 custom lots in 5 phases. The proposed revision would reconfigure Village M, Phase 5, and create three additional residential lots resulting in a total of 10 custom residential lots. The resulting density (1.19 du/ac) is below the maximum density of 5.0 du/ac permitted by the El Dorado Hills/Salmon Falls Area Plan, is within the total residential units (6,160 dwelling units) projected for the entire Specific Plan, and does not exceed the gross (1.58 du/ac) and net (3.05du/ac) densities of the total Specific Plan. Therefore, the proposed tentative map revision is found to be consistent with the El Dorado Hills Specific Plan.

**Zoning**

The project site is zoned One-half Acre Residential District -Planned Development (R20,000-PD) and Open Space (OS). The proposed residential lots meet the minimum parcel size of 20,000 square feet and lot width of 100 feet.

## **Subdivision Ordinance**

As detailed in Attachment 2, the proposed revision to the tentative subdivision map is found to be consistent with Section 16.12.030 of the El Dorado County Subdivision Ordinance.

## **Planned Development**

The revision to the development plan has been reviewed pursuant to Chapter 17.02 of the El Dorado Zoning Code (planned development). In accordance with Section 17.04.030 of the County Code, a development plan cannot be approved unless the Planning Commission can make six specific findings. As further discussed in Attachment 2, staff concludes that the required findings can be made to support the proposed development plan.

## **Design Waivers**

Design Waivers have been requested for the following standards:

- A. Reduction of road right-of-way from 50 to 36 feet for the onsite access courts; and
- B. Reduction in cul-de-sac right-of-way diameter of improvements from 100 feet to 80 feet and cul-de-sac right-of-way from 60 to 47 feet.

This reduced right-of way and cul-de-sac turnaround improvements are typical of the private road system within the overall Serrano development area. Both the Department of Transportation and the El Dorado Hills Fire Department recommend approval of the revision. As further discussed in Attachment 2, staff concludes that the required findings under Chapter 16.08.020 of the El Dorado County Subdivision Ordinance can be made to support the design waivers.

## **Other Issues**

### El Dorado Hills Fire Department Comments on Gates

El Dorado Hills Fire Department stated its strong opposition to the installation of access control (barriers) gates in this subdivision. The Department indicated that the installation of gates could potentially obstruct and further delay response to emergency situation. The department recommends the following conditions (as shown in Attachment 1) be added to the project:

- 34. The applicant shall sign a contract with the Fire Department for the installation of the access control barrier prior to installation;
- 35. The applicant shall be required to install the access control barrier in accordance with Fire Department requirements; and
- 36. The development shall be prohibited from the installation of any other control barrier within the gated community



According to the applicant, the original tentative map (TM01-1381) was approved for gated entrance and that the stipulations from the Department provided above were previously not required. Also, there are 17 gated entrances currently within the various villages of the Planning Area. The applicant is not agreeable to Condition 34 given that the details of the contract are currently not known. However, the applicant is agreeable to the other conditions with the following revision to Condition No.35 below (shown with underline). The Planning Commission would need to determine the final condition wording.

36. The applicant shall be required to install the access control barrier in accordance with Fire Department requirements consistent with previous Serrano approvals.

### ENVIRONMENTAL REVIEW

The project is a residential project and a part of an adopted Specific Plan, this project is statutorily exempt from the requirements of CEQA pursuant to Section 15182 stating that a residential project is exempt where a public agency has prepared an EIR on a specific plan after January 1, 1980. No impacts have been identified which were not discussed and mitigated in the EIR. No further environmental analysis is necessary.

Pursuant to Resolution No. 240-93, a \$50.<sup>00</sup> processing fee is required by the County Recorder to file the Notice of Determination.

**RECOMMENDATION:** Conditional approval

### SUPPORTING INFORMATION

Exhibit A.....	Vicinity Map
Exhibit B.....	General Plan Land Use Map
Exhibit C.....	Zoning Map
Exhibit D.....	Project Maps and Plans

Serrano Village M, Phase 5  
Revised Tentative Subdivision Map/Planned Development  
TM01-1381R/PD01-009R  
Exhibit A- Vicinity Map

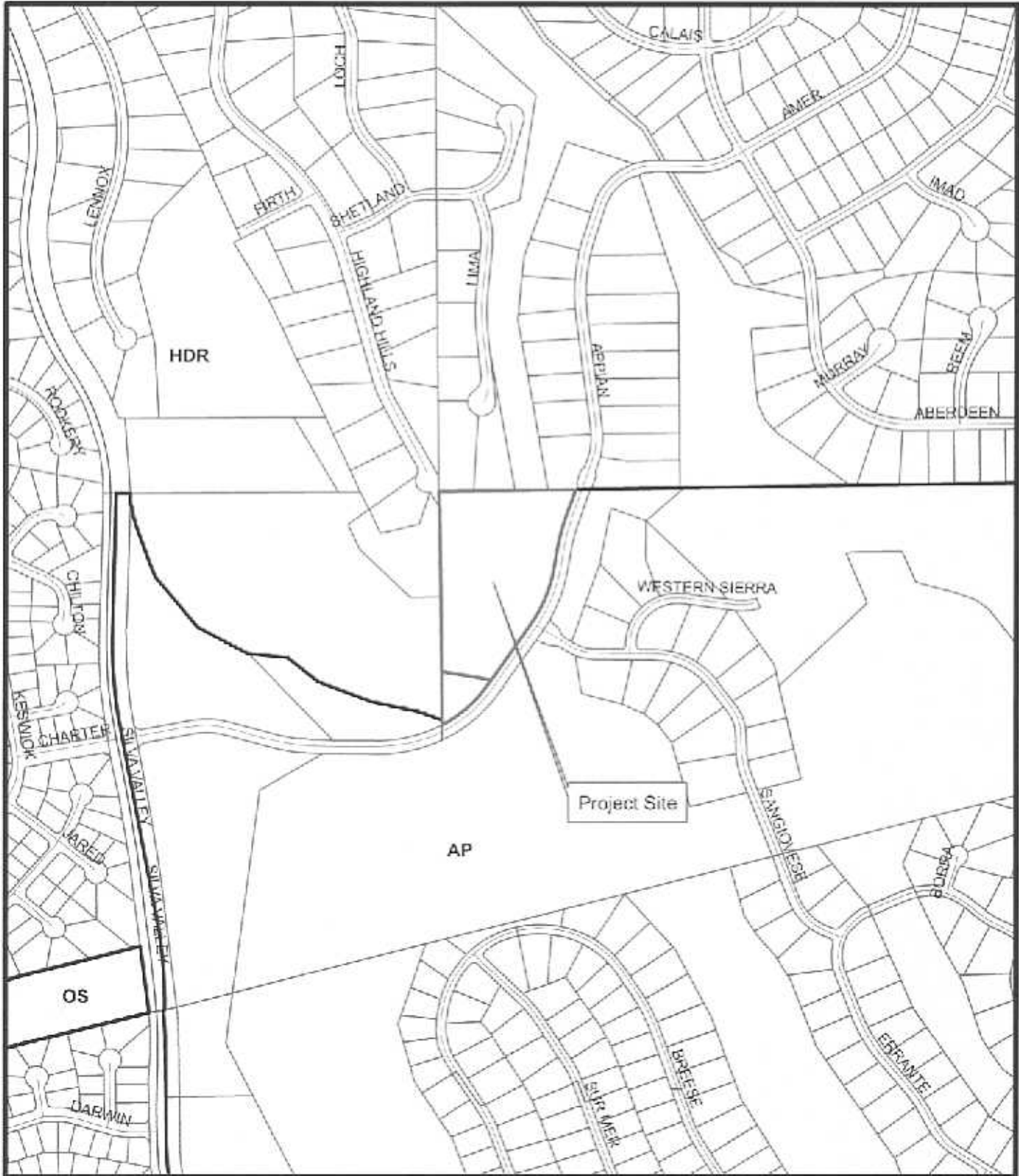


Map prepared by:  
Mel Pabalinas  
El Dorado County  
Planning Services

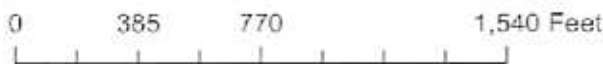




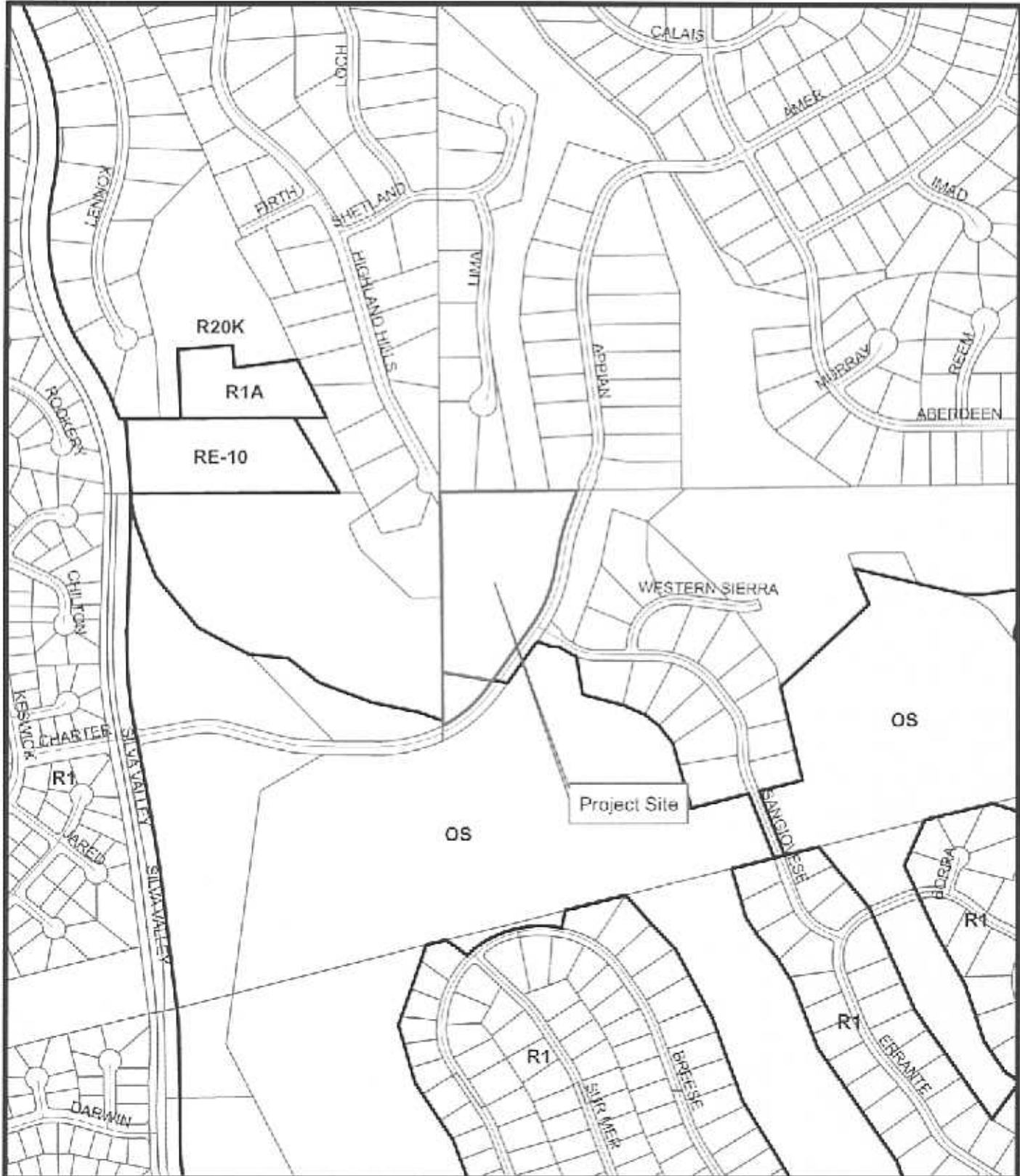
Serrano Village M, Phase 5  
Revised Tentative Subdivision Map/Planned Development  
TM01-1381R/PD01-009R  
Exhibit B- General Plan Land Use Map



Map prepared by:  
Mel Pahallnas  
El Dorado County  
Planning Services



Serrano Village M, Phase 5  
Revised Tentative Subdivision Map/Planned Development  
TM01-1381R/PD01-009R  
Exhibit C- Zoning Map



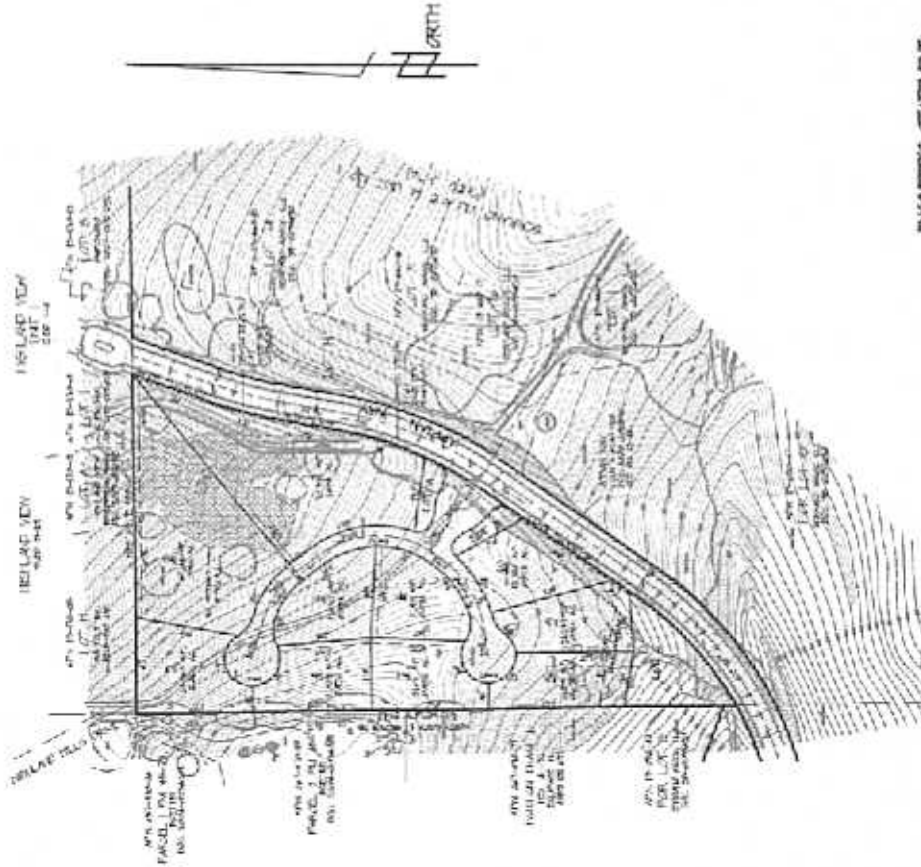
Map prepared by:  
Mel Pabalinas  
El Dorado County  
Planning Services



JUN 22 2006

# TENTATIVE MAP SERRANO VILLAGE M, PHASE B COUNTY OF EL DORADO, CALIFORNIA

EL DORADO COUNTY  
DEVELOPMENT SERVICES DEPT



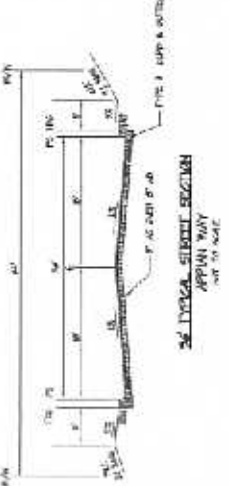
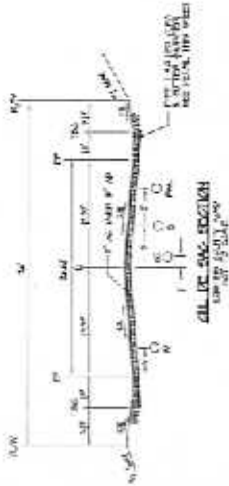
**ENGINEER'S STATEMENT**  
I, THE ENGINEER, HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF CALIFORNIA AND THAT I AM THE ENGINEER OF RECORD FOR THIS TENTATIVE MAP. I HAVE REVIEWED THE PLANS AND SPECIFICATIONS AND AM Satisfied THAT THEY COMPLY WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND THE SUBDIVISION MAP REGULATIONS. I HAVE ALSO REVIEWED THE RECORDS OF THE COUNTY OF EL DORADO AND AM Satisfied THAT THE INFORMATION CONTAINED THEREIN IS TRUE AND CORRECT.

DATE: 06/15/06  
BY: [Signature]



REGIONAL MAP

**GENERAL NOTES**  
1. THE ENGINEER HAS REVIEWED THE RECORDS OF THE COUNTY OF EL DORADO AND IS Satisfied THAT THE INFORMATION CONTAINED THEREIN IS TRUE AND CORRECT.  
2. THE ENGINEER HAS REVIEWED THE PLANS AND SPECIFICATIONS AND IS Satisfied THAT THEY COMPLY WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND THE SUBDIVISION MAP REGULATIONS.  
3. THE ENGINEER HAS REVIEWED THE RECORDS OF THE COUNTY OF EL DORADO AND IS Satisfied THAT THE INFORMATION CONTAINED THEREIN IS TRUE AND CORRECT.  
4. THE ENGINEER HAS REVIEWED THE PLANS AND SPECIFICATIONS AND IS Satisfied THAT THEY COMPLY WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND THE SUBDIVISION MAP REGULATIONS.  
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6. THE ENGINEER HAS REVIEWED THE PLANS AND SPECIFICATIONS AND IS Satisfied THAT THEY COMPLY WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND THE SUBDIVISION MAP REGULATIONS.  
7. THE ENGINEER HAS REVIEWED THE RECORDS OF THE COUNTY OF EL DORADO AND IS Satisfied THAT THE INFORMATION CONTAINED THEREIN IS TRUE AND CORRECT.  
8. THE ENGINEER HAS REVIEWED THE PLANS AND SPECIFICATIONS AND IS Satisfied THAT THEY COMPLY WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND THE SUBDIVISION MAP REGULATIONS.  
9. THE ENGINEER HAS REVIEWED THE RECORDS OF THE COUNTY OF EL DORADO AND IS Satisfied THAT THE INFORMATION CONTAINED THEREIN IS TRUE AND CORRECT.  
10. THE ENGINEER HAS REVIEWED THE PLANS AND SPECIFICATIONS AND IS Satisfied THAT THEY COMPLY WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND THE SUBDIVISION MAP REGULATIONS.



**OWNER OF RECORD**  
SERRANO VILLAGE M, PHASE B  
COUNTY OF EL DORADO, CALIFORNIA

**DATE OF RECORD**  
06/15/06

**SCALE**  
AS SHOWN

**TOTAL NUMBER OF PARCELS**  
5

**TOTAL AREA**  
1.00 ACRES

**APPROVED PARCEL NUMBER**  
06/15/06

**ENGINEER'S STATEMENT**  
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TENTATIVE MAP  
MAY 22 2006

JUN 22 2006

# SLOPE STUDY SERRANO VILLAGE M, PHASE 5 COUNTY OF EL DORADO, CALIFORNIA

EL DORADO COUNTY  
DEVELOPMENT SERVICES DEPT

**SLOPE STUDY LEGEND**

○	1% SLOPE	2.5%
○	2% SLOPE	5%
○	3% SLOPE	7.5%
○	4% SLOPE	10%
○	5% SLOPE	15%
○	6% SLOPE	20%
○	7% SLOPE	25%
○	8% SLOPE	30%
○	9% SLOPE	35%
○	10% SLOPE	40%
○	11% SLOPE	45%
○	12% SLOPE	50%
○	13% SLOPE	55%
○	14% SLOPE	60%
○	15% SLOPE	65%
○	16% SLOPE	70%
○	17% SLOPE	75%
○	18% SLOPE	80%
○	19% SLOPE	85%
○	20% SLOPE	90%
○	21% SLOPE	95%
○	22% SLOPE	100%

- OWNER OF RECORDS:**  
EL DORADO COUNTY DEVELOPMENT SERVICES DEPT  
100 W. 9TH ST. SUITE 100  
EL DORADO, CA 95624
- NAME OF APPLICANT:**  
SERRANO VILLAGE M, PHASE 5  
100 W. 9TH ST. SUITE 100  
EL DORADO, CA 95624
- NAME OF ENGINEER:**  
MARC D. BROWN, P.E.  
100 W. 9TH ST. SUITE 100  
EL DORADO, CA 95624
- SCALE:**  
AS SHOWN
- CADASTRAL REFERENCE:**  
AS SHOWN
- SECTION TOWNSHIP & RANGE:**  
T. 12 N. R. 10 E. S. 12 W.
- ADJACENT PARCEL NUMBERS:**  
AS SHOWN
- PROJECT NUMBER:**  
AS SHOWN
- LOCAL AREA:**  
AS SHOWN
- LOCAL MAPPER OF RECORDS:**  
AS SHOWN
- MAPMAN PROJECT AREA:**  
AS SHOWN
- MAPS SHOWN:**  
AS SHOWN
- SONGIC DESIGN:**  
AS SHOWN
- PROPERTY SURVEY:**  
AS SHOWN
- DATE:**  
JUN 22, 2006

**DISCLAIMER STATEMENT:**  
THIS DOCUMENT IS THE PROPERTY OF EL DORADO COUNTY DEVELOPMENT SERVICES DEPT. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF EL DORADO COUNTY DEVELOPMENT SERVICES DEPT.

SCALE 1" = 100'  
1" = 100'



**GENERAL NOTES:**

1. THIS STUDY WAS CONDUCTED FOR THE PROJECT AND SHOWN ON THE RECORDS OF THE COUNTY OF EL DORADO.
2. THE DATA FOR THIS STUDY WAS OBTAINED FROM THE RECORDS OF THE COUNTY OF EL DORADO AND THE APPLICANT'S SURVEY.
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