

APPROVED
EL DORADO COUNTY
 PLANNING COMMISSION
 Board of Supervisors
 DATE September 14, 2018
 BY Roger Tron / Cmst
 EXECUTIVE SECRETARY



at&t

SITE NUMBER: CVL03629
 SITE NAME: ZEE ESTATES

GATE LANE 1,000' SOUTH EAST OF
 THE INTERSECTION OF GATE LANE
 AND SALMON FALLS ROAD
 PILOT HILL, CA 95664
 APN: 104-370-24-100

PROPRIETARY INFORMATION
 THE INFORMATION CONTAINED IN THIS
 SET OF DRAWINGS IS PROPRIETARY
 BY NATURE. ANY USE OR
 DISCLOSURE OTHER THAN THAT WHICH
 RELATES TO PEAK SITE-COM IS
 STRICTLY PROHIBITED

CLIENT:

5001 EXECUTIVE PKWY
 SAN RAMON, CA 94583

PROJECT INFORMATION	PROJECT TEAM	SHEET INDEX
<p>APPLICANT: AT&T MOBILITY 5001 EXECUTIVE PKWY SAN RAMON, CA 94583</p> <p>CONSTRUCTION MANAGER: PETER MARAS EPIC WIRELESS 8700 AUBURN FOLSOM ROAD, SUITE 400 GRANITE BAY, CA 95746 (530) 383-5957</p> <p>SITE SURVEY: DEL ENGINEERING 1236 HIGH STREET AUBURN, CA 95603 (530) 885-0426</p> <p>SE ENGINEER: ASAD SCHAHBAZ MSAS@AT&T.COM</p> <p>SEAL DESIGN/DATE: 1.00.01 / 05-29-17 1.00.02 / 5-22-17</p>	<p>SITE NAME: ZEE ESTATES FA LOCATION: 13787593 SITE ADDRESS: GATE LANE 1,000' SOUTH EAST OF THE INTERSECTION OF GATE LANE AND SALMON FALLS ROAD PILOT HILL, CA 95664</p> <p>ASSESSOR'S PARCEL NUMBER: 104-370-24-100 LAIRAGE: 33.88547 LENGTH: 113.00000 ELEVATION: 1264.4MSL</p> <p>ZONING: LA-10 JURISDICTION: EL DORADO COUNTY COUNTY: EL DORADO</p> <p>PROPERTY OWNER: WOLFE FAMILY TRUST 9283 SHAWNEE BRIDGE PLACE GRANITE BAY, CA 95758</p>	<p>T-1 TITLE SHEET GN-1 GENERAL NOTES GN-2 SITE SIGNAGE C-1 SITE SURVEY C-2 SITE SURVEY C-3 EROSION CONTROL PLAN & DETAILS C-4 GRADING NOTES & DETAILS C-5 PRELIMINARY GROUNDING PLAN A-1 OVERALL SITE PLAN A-2 EQUIPMENT PLAN A-3 ANTENNA PLAN & DETAILS A-4 ELEVATIONS A-4.1 ELEVATIONS</p>

PROJECT INFORMATION:

ZEE ESTATES
 GATE LANE 1,000' SOUTH EAST OF THE INTERSECTION OF GATE LANE AND SALMON FALLS ROAD
 PILOT HILL, CA 95664

REV.	DATE	DESCRIPTION	BY
1	6-29-17	90% ZONING DDC'S	RD
1	8-3-17	90% ZONING DDC'S	ALP
2	8-9-17	100% ZONING DDC'S	ALP

CODE COMPLIANCE	VICINITY MAP	DIRECTIONS FROM AT&T	PROJECT DESCRIPTION
<p>ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES</p> <ol style="list-style-type: none"> 2016 CALIFORNIA BUILDING CODE 2016 CALIFORNIA FIRE CODE 2016 CALIFORNIA ELECTRICAL CODE 2016 CALIFORNIA PLUMBING CODE 2016 CALIFORNIA MECHANICAL CODE 2016 CALIFORNIA HEALTH AND SAFETY CODE 		<p>DIRECTIONS FROM AT&T'S OFFICE AT 5001 EXECUTIVE PARKWAY, SAN RAMON, CA 94583</p> <ol style="list-style-type: none"> HEAD NORTHEAST ON BISHOP DR TOWARD SUNSET DR TURN RIGHT ONTO SUNSET DR USE THE RIGHT 2 LANES TO TURN RIGHT ONTO BOLLINGER CANYON RD USE THE RIGHT 2 LANES TO MERGE ONTO I-680 N VIA THE RAMP TO SACRAMENTO MERGE ONTO I-680 N KEEP LEFT TO STAY ON I-680 N KEEP LEFT AT THE FORK TO STAY ON I-680 N USE ANY LANE TO TAKE EXIT 71A TOWARD I-80 E/SACRAMENTO MERGE ONTO I-80 E KEEP LEFT AT THE FORK TO STAY ON I-80 E KEEP LEFT AT THE FORK TO CONTINUE ON I-808L E/US-50 E/CAPITAL CITY FREEWAY, FOLLOW SIGNS FOR INTERSTATE 80 BUSINESS/SACRAMENTO/SOUTH LAKE TANOE CONTINUE ONTO US-50 E TAKE EXIT 108 TOWARD EL DORADO HILLS BLVD FOLLOW EL DORADO HILLS BLVD AND SALMON FALLS RD TO GATE LN MERGE ONTO LATROBE RD CONTINUE ONTO EL DORADO HILLS BLVD CONTINUE ONTO SALMON FALLS RD TURN RIGHT ONTO GATE LN 	<p>AT&T PROPOSES TO CONSTRUCT A NEW UNMANNED TELECOMMUNICATIONS FACILITY AT&T WILL INSTALL:</p> <ul style="list-style-type: none"> (1) NEW 15' WIDE GRAVEL ACCESS ROAD (1) NEW 30'X45' FENCED LEASE AREA (1) NEW 6' CHAIN LINK FENCE (1) NEW 12' WIDE DOUBLE ACCESS GATE (1) NEW 15.3' MONOPINE (TOP OF BRANCHES AT 160') (1) NEW PRE-FAB "M" LIGHT HEIGHT EQUIPMENT SHELTER WITH AUXILIARY INTERIOR EQUIPMENT (1) NEW GPS ANTENNA (1) NEW 35 KW PROPANE GENERATOR (1) LP PROPANE TANK (500 GALLON) (12) NEW ANTENNAS (6) NEW RRUS-11, (3) NEW RRUS-12, (12) NEW RRUS-32 (4) NEW SURGE SUPPRESSORS (2) FUTURE 4' M/W DISH

COORDINATING ENGINEER:

Peek Site-Com
 12852 Earhart Ave, Suite 101
 Auburn, California 95602
 Phone (530) 885-6160
 E-Mail info@peeksitcom.com

OCCUPANCY & CONST. TYPE	SPECIAL INSPECTIONS	APPROVALS	GENERAL CONTRACTOR NOTES																											
<p>OCCUPANCY: U (UNMANNED) CONSTRUCTION TYPE: V-B</p> <p>ACCESSIBILITY REQUIREMENTS: THIS FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS REQUIREMENTS ARE NOT REQUIRED IN ACCORDANCE WITH THE 2016 CALIFORNIA BUILDING CODE, CHAPTER 119, EXCEPTION SECTION 119-203.5</p>	<p>*SEE SPECIAL INSPECTION FORM</p> <ol style="list-style-type: none"> POST-INSTALLED ANCHORS HIGH STRENGTH BOLTING <p>Exhibit F Site 6 Zee Estates</p>	<table border="1"> <thead> <tr> <th>APPROVED BY:</th> <th>INITIALS:</th> <th>DATE:</th> </tr> </thead> <tbody> <tr> <td>AT&T:</td> <td></td> <td></td> </tr> <tr> <td>VENDOR:</td> <td></td> <td></td> </tr> <tr> <td>R.F.:</td> <td></td> <td></td> </tr> <tr> <td>LEASING/LANDLORD:</td> <td></td> <td></td> </tr> <tr> <td>ZONING:</td> <td></td> <td></td> </tr> <tr> <td>CONSTRUCTION:</td> <td></td> <td></td> </tr> <tr> <td>POWER/TELECO:</td> <td></td> <td></td> </tr> <tr> <td>PG&E:</td> <td></td> <td></td> </tr> </tbody> </table>	APPROVED BY:	INITIALS:	DATE:	AT&T:			VENDOR:			R.F.:			LEASING/LANDLORD:			ZONING:			CONSTRUCTION:			POWER/TELECO:			PG&E:			<p>GENERAL CONTRACTOR NOTES</p> <p>DO NOT SCALE DRAWINGS</p> <p>THESE DRAWINGS ARE FORMATTED TO BE FULL SIZE 24"X36". CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOBSITE AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR MATERIAL ORDERS OR BE RESPONSIBLE FOR THE SAME.</p>
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SEAL:

SITE # CVL03629
 CHECKED BY RB
 DRAWN BY RB

SHEET TITLE: **TITLE SHEET**

SHEET NUMBER: **T-1**
 REVISION: **0**

GENERAL CONSTRUCTION NOTES:

- DRAWINGS ARE NOT TO BE SCALED, WRITTEN DIMENSIONS TAKE PRECEDENCE, AND THIS SET OF PLANS IS INTENDED TO BE USED FOR DIAGNOSTIC PURPOSES ONLY, UNLESS NOTED OTHERWISE. THE GENERAL CONTRACTOR'S SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, LABOR, AND ANYTHING ELSE DEEMED NECESSARY TO COMPLETE INSTALLATIONS AS DESCRIBED HEREIN.
- PRIOR TO THE SUBMISSION OF BIDS, THE CONTRACTORS INVOLVED SHALL VISIT THE JOB SITE AND FAMILIARIZE THEMSELVES WITH ALL CONDITIONS AFFECTING THE PROPOSED PROJECT, WITH THE CONSTRUCTION AND CONTRACT DOCUMENTS, FIELD CONDITIONS AND CERTAIN THAT THE PROJECT MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY ERRORS, OMISSIONS, OR DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
- THE GENERAL CONTRACTOR SHALL RECEIVE WRITTEN AUTHORIZATION TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DRAWINGS/ CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO MANUFACTURER'S/ VENDOR'S SPECIFICATIONS UNLESS NOTED OTHERWISE OR WHERE LOCAL CODES OR ORDINANCES TAKE PRECEDENCE.
- ALL WORK PERFORMED ON PROJECT AND MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. CONTRACTOR SHALL OBEY ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES BEARING ON THE PERFORMANCE OF THE WORK.
- GENERAL CONTRACTOR SHALL PROVIDE AT THE PROJECT SITE A FULL SET OF CONSTRUCTION DOCUMENTS UPDATED WITH THE LATEST REVISIONS AND ADDENDUMS OR CLARIFICATIONS FOR THE USE BY ALL PERSONNEL INVOLVED WITH THE PROJECT.
- THE STRUCTURAL COMPONENTS OF THIS PROJECT SITE/ FACILITY ARE NOT TO BE ALTERED BY THIS CONSTRUCTION PROJECT UNLESS NOTED OTHERWISE.
- DETAILS INCLUDED HEREIN ARE INTENDED TO SHOW END RESULT OF DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB CONDITIONS OR SITUATIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE SCOPE OF WORK.
- SEAL PENETRATIONS THROUGH FIRE-RATED AREAS WITH U.L. LISTED OR FIRE MARSHALL APPROVED MATERIALS IF APPLICABLE TO THIS FACILITY AND OR PROJECT SITE.
- PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A10BC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE PROJECT AREA DURING CONSTRUCTION.
- THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, EASEMENTS, PAVING, CURBING, ETC. DURING CONSTRUCTION. UPON COMPLETION OF WORK, CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY.
- CONTRACTOR SHALL SEE TO IT THAT GENERAL WORK AREA IS KEPT CLEAN AND HAZARD FREE DURING CONSTRUCTION AND DISPOSE OF ALL DIRT, DEBRIS, RUBBISH AND REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. PREMISES SHALL BE LEFT IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE.
- THE ARCHITECTS/ENGINEERS HAVE MADE EVERY EFFORT TO SET FORTH IN THE CONSTRUCTION AND CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK. CONTRACTORS BIDDING THE JOB ARE NEVERTHELESS CAUTIONED THAT MINOR OMISSIONS OR ERRORS IN THE DRAWINGS AND OR SPECIFICATIONS SHALL NOT EXCUSE SAID CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS. THE BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) THE ARCHITECT/ENGINEER OF ANY CONFLICTS, ERRORS, OR OMISSIONS PRIOR TO THE SUBMISSION OF CONTRACTOR'S PROPOSAL. IN THE EVENT OF DISCREPANCIES THE CONTRACTOR SHALL PRICE THE MORE COSTLY OR EXTENSIVE WORK, UNLESS DIRECTED OTHERWISE.

ABBREVIATIONS

ABV.	ABOVE	L.F.	LINEAR FEET (FOOT)
ADD'L	ADDITIONAL	MAX.	MAXIMUM
A.G.L.	ABOVE GROUND LEVEL	M.B.	MACHINE BOLT
ALUM.	ALUMINUM	MECH.	MECHANICAL
APPROX.	APPROXIMATELY	MFR.	MANUFACTURER
A.W.G.	AMERICAN WIRE GAUGE	MN.	MINIMUM
BLDG.	BUILDING	MISC.	MISCELLANEOUS
B.L.C.	BLOCKING	MTL.	METAL
CAB.	CABINET	(N)	NEW
CONC.	CONCRETE	NO. (#)	NUMBER
CONN.	CONNECTION(OR)	N.T.S.	NOT TO SCALE
CONST.	CONSTRUCTION	O.C.	ON CENTER
CONT.	CONTINUOUS	P/C	PRECAST CONCRETE
DBL.	DOUBLE	PFC	POWER PROTECTION CABINET
DEPT.	DEPARTMENT	P.S.F.	POUNDS PER SQUARE FOOT
D.F.	DOUGLAS FIR	P.S.I.	POUNDS PER SQUARE INCH
DIA.	DIAMETER	P.T.	PRESSURE TREATED
DM.	DIMENSION	QTY.	QUANTITY
EA.	EACH	RAD. (R)	RADIUS
EL.	ELEVATION	REF.	REFERENCE
ELEC.	ELECTRICAL	RENF.	REINFORCEMENT(ING)
ENT.	ELECTRICAL METALLIC TUBING	REQ'D	REQUIRED
ENG.	ENGINEER	RGS	RIGID GALVANIZED STEEL
EQ.	EQUAL	SCH.	SCHEDULE
(E)	EXISTING	SHT.	SHEET
EXT.	EXTERIOR	SPEC.	SPECIFICATIONS
FAB.	FABRICATION	SQ.	SQUARE
F.A.	FINISHED FLOOR	S.S.	STAINLESS STEEL
F.B.	FINISHED GRADE	STD.	STANDARD
FT. (')	FOOT (FEET)	STL.	STEEL
FTG.	FOOTING	STRUC.	STRUCTURAL
GA.	GAUGE	TEMP.	TEMPORARY
GALV.	GALVANIZED(O)	T.O.A.	TOP OF ANTENNAS
G.F.L.	GROUND FAULT CIRCUIT INTERRUPTER	T.O.F.	TOP OF FOUNDATION
GPS	GLOBAL POSITIONING SYSTEM	T.O.P.	TOP OF PLATE (PARAPET)
GRND.	GROUND(ING)	T.O.W.	TOP OF WALL
HT.	HEIGHT	TYP.	TYPICAL
ICGB.	ISOLATED COPPER GROUND BUS	U/G	UNDER GROUND
IN. (")	INCH(ES)	V.I.F.	VERIFY IN FIELD
INT.	INTERIOR	W	WIDE (WIDTH)
L.B.	LAG BOLTS	W/	WITH
		WT.	WEIGHT

SYMBOLS LEGEND

	WOOD FENCE
	CHAIN LINK FENCE
	HIDDEN LINE
	COAX/POWER/FIBER CONDUIT
	PROPERTY LINE
	ELEVATION DATUM
	EARTH
	CONCRETE
	SAND
	GRATE PLATFORM
	GRAVEL
	FRP (FIBERGLASS REINFORCED PLASTIC)
	NEW DC SURGE SUPPRESSOR
	NEW ANTENNA
	NEW RRU

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ZEE ESTATES
 GATE LANE 1.000' SOUTH EAST OF THE INTERSECTION OF GATE LANE AND SALMON FALLS ROAD
 PLOT NO. CA 85664

REV. #	DATE	DESCRIPTION	BY
1	6-29-17	S01X ZONING DOC'S	RB
1	8-3-17	S02X ZONING DOC'S	ALP
2	8-9-17	1000X ZONING DOC'S	ALP

COORDINATING ENGINEER:
Peek Site-Com
 12852 Earhart Ave. Suite 101
 Auburn, California 95602
 Phone (530) 885-6160
 E-Mail info@peaksitecom.com



SITE #	CHK.	DRAWN BY:
CVL03629	...	RB

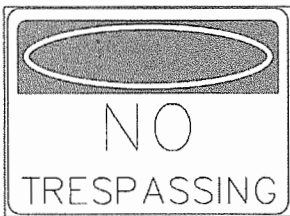
SHEET TITLE:
GENERAL NOTES

SHEET NUMBER:	REVISION:
GN-1	0



This Site Operated by
AT&T MOBILITY
 2600 CAMINO RAMON, #4550 H
 SAN RAMON, CA 94583
 IN CASE OF FIRE AND THE NEED FOR SHUTDOWN
 TO DEACTIVATE ANTENNAS CALL
 THE FOLLOWING NUMBER:
 For 24 Hour Emergency Contact and Access Please Call:
 (800) 832-6662
 Reference Site#: C403622
 Site Address: 860 GATE LN, PILOT HILL, CA 95684

FENCED COMPOUND SIGNAGE



**NO
TRESPASSING**

FENCED COMPOUND SIGNAGE

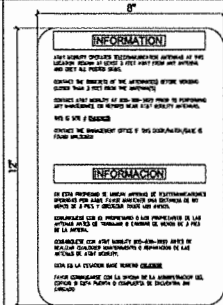


**AUTHORIZED
PERSONNEL
ONLY**

DOOR/EQUIPMENT SIGN

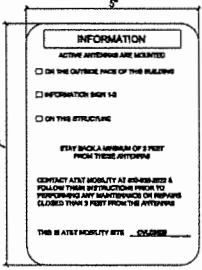
Property of AT&T
**Authorized
Personnel Only**
 In case of emergency, or prior to performing
 maintenance on this site, call
 and reference call site number _____

SHELTER/CABINET DOORS SIGNAGE



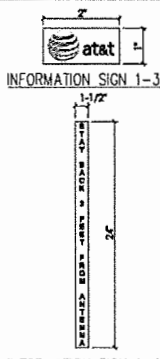
INFORMATION
 USE SHIELD OR EQUIPMENT TO PROTECT YOURSELF FROM EXPOSURE TO RADIO FREQUENCY ENERGY (RFE) FROM THIS ANTENNA.
 CONTACT THE SERVICE OFFICE AT THIS LOCATION FOR INFORMATION ON THE PROCEEDINGS OF THIS PROJECT.
 FOR 24 HOUR EMERGENCY CONTACT AND ACCESS PLEASE CALL: (800) 832-6662
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INFORMATION SIGN 1-1



INFORMATION
 ACTIVE ANTENNAS ARE LOCATED
 ON THE OUTSIDE FACE OF THIS BUILDING
 ON THIS STRUCTURE
 KEEP A MINIMUM OF 3 FEET FROM THESE ANTENNAS
 CONTACT AT&T MOBILITY AT 800-832-6662 TO FOLLOW THROUGH ON ANY QUESTIONS OR CONCERNS.
 THIS IS AT&T MOBILITY SITE - CLOSED

INFORMATION SIGN 1-2



at&t
INFORMATION SIGN 1-3
 1-1/2
 2'

INFORMATION SIGN 1-4

- SHIELDING AND STRIPPING INFORMATION**
- THE FOLLOWING INFORMATION IS A GUIDELINE W/ RESPECT TO PREVAILING STANDARDS LIMITING HUMAN EXPOSURE TO RADIO FREQUENCY ENERGY AND SHOULD BE USED AS SUCH. IF THE SITE'S USE REPORT OR ANY LOCAL, STATE OR FEDERAL GUIDELINES OR REGULATIONS SHOULD BE IN CONFLICT W/ ANY PART OF THESE NOTES OR PLANS, THE MORE RESTRICTIVE GUIDELINE OR REGULATION SHALL BE FOLLOWED AND OBSERVED BY THE LESSEE.
 - THE PUBLIC LIMIT OF RF EXPOSURE ALLOWED BY AT&T IS 100µW/M² AND THE OCCUPATIONAL LIMIT OF RF EXPOSURE ALLOWED BY AT&T IS 500µW/M².
 - IF THE BOTTOM OF THE ANTENNA IS MOUNTED (2) EIGHT FEET ABOVE THE GROUND OR WORKING PLATFORM LINE OF THE PERSONAL COMMUNICATION SYSTEM (PCS) AND DOES NOT EXCEED THE PUBLIC LIMIT OF RF EXPOSURE LIMIT THEN NO STRIPPING OR BARRICADES SHOULD BE NEEDED.
 - IF THE PUBLIC LIMIT OF RF EXPOSURE ON THE SITE IS EXCEEDED AND THE AREA IS PUBLICLY ACCESSIBLE (E.G. ROOF ACCESS DOOR THAT CANNOT BE LOCKED, OR FIRE ESCAPE) THEN BOTH BARRICADES AND STRIPPING SHALL BE PLACED AROUND THE ANTENNAS. THE EXACT EXTENT OF THE BARRICADES AND STRIPPING SHALL BE DETERMINED BY THE EMF REPORT FOR THE SITE DONE BEFORE OR SHORTLY AFTER COMPLETION OF SITE CONSTRUCTION. USE THE PLANS AS A GUIDELINE FOR PLACEMENT OF SUCH BARRICADES AND STRIPPING.
 - IF THE PUBLIC LIMIT OF RF EXPOSURE ON THE SITE IS EXCEEDED AND THE AREA IS PUBLICLY ACCESSIBLE (E.G. ROOF ACCESS DOOR THAT CANNOT BE LOCKED, OR FIRE ESCAPE) THEN BOTH BARRICADES AND STRIPPING SHALL BE PLACED AROUND THE ANTENNAS. THE EXACT EXTENT OF THE BARRICADES AND STRIPPING SHALL BE DETERMINED BY THE EMF REPORT FOR THE SITE DONE BEFORE OR SHORTLY AFTER COMPLETION OF SITE CONSTRUCTION. USE THE PLANS AS A GUIDELINE FOR PLACEMENT OF SUCH BARRICADES AND STRIPPING.
 - ALL TRAVEL ANTENNAS REQUIRE A THREE LANGUAGE WARNING SIGN WRITTEN IN ENGLISH, SPANISH, AND CHINESE. THIS SIGN SHALL BE PROVIDED TO THE CONTRACTOR BY THE AT&T CONSTRUCTION PROJECT MANAGER AT THE TIME OF CONSTRUCTION. THE LARGEST SIGN SHALL BE PLACED IN PLAIN SIGHT AT ALL ROOF ACCESS LOCATIONS AND ON ALL BARRICADES. THE SMALLER SIGN SHALL BE PLACED ON THE ANTENNA ENCLOSURE IN A MANNER THAT IS EASILY SEEN BY ANY PERSON ON THE ROOF. WARNING SIGNS SHALL COMPLY W/ ANSI Z39.1 COLOR, SYMBOL, AND CONTENT CONVENTIONS. ALL SIGNS SHALL HAVE AT&T'S NAME AND THE COMPANY CONTACT INFORMATION (E.G. TELEPHONE NUMBER) TO ARRANGE FOR ACCESS TO THE RESTRICTED AREAS. THIS TELEPHONE NUMBER SHALL BE PROVIDED TO THE CONTRACTOR BY THE AT&T CONSTRUCTION PROJECT MANAGER AT THE TIME OF CONSTRUCTION.
 - PHOTOS OF ALL STRIPPING BARRICADES IN SHOWING SHALL BE PART OF THE CONTRACTOR'S CLOSE OUT PACKAGE & SHALL BE TURNED INTO THE AT&T CONSTRUCTION PACKAGE & SHALL BE TURNED INTO THE AT&T CONSTRUCTION PROJECT MANAGER AT THE END OF CONSTRUCTION. STRIPPING SHALL BE DONE W/ FACE RESISTANT YELLOW SAFETY PAINT IN A CROSS-HATCH PATTERN AS DETAILED BY THE CONSTRUCTION DRAWINGS. ALL BARRICADES SHALL BE MADE OF AN RF PERMEABLE MATERIAL SO AS NOT TO BLOCK OR INTERFERE W/ THE OPERATION OF THE ANTENNAS. BARRICADES SHALL BE PAINTED W/ FACE RESISTANT YELLOW SAFETY PAINT. THE CONTRACTOR SHALL REMOVE ALL W/ FRIENDLY BARRICADES' NEEDS, & SHALL PROVIDE THE AT&T CONSTRUCTION PROJECT MANAGER W/ A DETAIL.
 - DEEP DRAWING OF EACH BARRICADE UPON CONSTRUCTION COMPLETION.

GENERAL NOTES

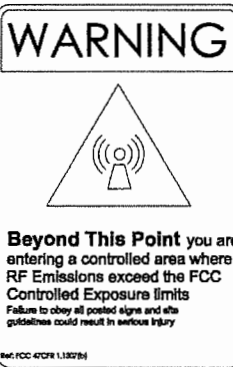
- CONTRACTOR SHALL INSTALL ALL INFORMATION SIGNAGE IN ACCORDANCE W/ AT&T WIRELESS DOCUMENT #03-0074, RF EXPOSURE POLICY AND W/ SAFETY COMPLIANCE PROGRAM, LATEST EDITION.
- FABRICATION:
 - 1-1 SIGN 1-1: ENTRANCE DOOR. SEE DETAIL 1A, THIS SHEET.
 - 1-2 SIGN 1-2: MUST BE A NON METALLIC LABEL W/ AN ADHESIVE BACKING. THE LABEL SHALL BE MADE USING VINYL OR SIMILAR WEATHERPROOF MATERIAL. THE LABEL SHALL BE APPROXIMATELY 5X7 INCHES W/ A WHITE BACKGROUND AND BLACK LETTERING. THE GREEN SHIELD SHALL BE 1.375 INCH IN HEIGHT & THE LETTERING SHALL BE BLACK W/ 0.75 INCH HIGH LETTERS. THE TEXT LETTERING SHALL BE BLACK W/ 1/8 INCH HIGH LETTERS. THE SPACING BETWEEN WORDS MUST BE SIZED THAT IT IS EASILY READ & FULLS THE LENGTH OF THE SIGN.
 - 1-3 SIGN 1-3: BACK OF ANTENNAS. SEE DETAIL 1C & 1, THIS SHEET.
 - 1-4 SIGN 1-4: IS A 1 INCH X 2 INCH PANEL THAT CAN BE APPLIED TO THE BACK OR SIDE OF AN ANTENNA TO IDENTIFY IT AS AN AT&T ANTENNA.
 - 1-5 SIGN 1-5: SIZE OF ANTENNAS. SEE DETAIL 1D & 2, THIS SHEET.

INFORMATION SIGNAGE

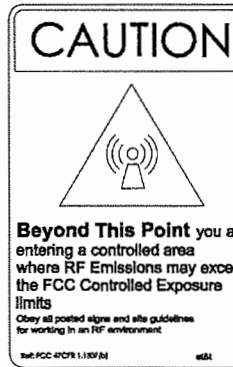


INFORMATION
 Federal Communications Commission
 Tower Registration Number
 1 2 3 4 5 6 7
 Issued in accordance with Federal Communications Commission rules and antenna tower registration #FCR 17.4(a)

FCC ASR SIGNAGE

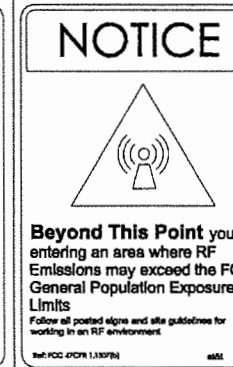


WARNING
 Beyond This Point you are entering a controlled area where RF Emissions may exceed the FCC Controlled Exposure limits
 Failure to obey all posted signs and site guidelines could result in serious injury
 800.FCC.4709.1.1307(b)



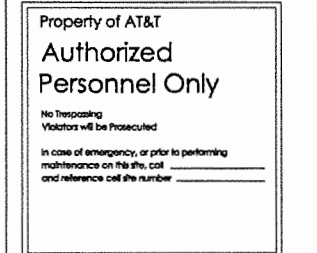
CAUTION
 Beyond This Point you are entering a controlled area where RF Emissions may exceed the FCC Controlled Exposure limits
 Obey all posted signs and site guidelines for working in an RF environment
 800.FCC.4709.1.1307(b)

CAUTION AND WARNING SIGN



NOTICE
 Beyond This Point you are entering an area where RF Emissions may exceed the FCC General Population Exposure Limits
 Follow all posted signs and site guidelines for working in an RF environment
 800.FCC.4709.1.1307(b)

NOTICE SIGN



Property of AT&T
Authorized Personnel Only
 No Trespassing
 Violators will be Prosecuted
 In case of emergency, or prior to performing maintenance on this site, call and reference call site number _____

GATE SIGNAGE

PROPRIETARY INFORMATION
 THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO PEEK SITE-COM IS STRICTLY PROHIBITED



5001 EXECUTIVE PKWY
 SAN RAMON, CA 94583

PROJECT INFORMATION:

ZEE ESTATES
 DATE LAKE LUXY SOUTH EAST OF THE INTERSECTION OF CALE LAKE AND SALMON FALLS ROAD PILOT HILL, CA 95684

REV. DATE:	DESCRIPTION:	BY:
1 6-29-17	90X ZONING DOC'S	RLI
1 8-3-17	90X ZONING DOC'S	ALP
2 8-9-17	100X ZONING DOC'S	ALP

COORDINATING ENGINEER:

Peek Site-Com
 12852 Earhart Ave, Suite 101
 Auburn, California 95602
 Phone (530) 885-6160
 E-Mail info@peaksitecom.com

SEAL:



SITE SIGNAGE

SHEET NUMBER: _____ REVISION: _____

GN-2 0

THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATION AS INSTRUMENTS OF SERVICE ARE THE EXCLUSIVE PROPERTY OF GEL ENGINEERING AND THEIR USE AND PUBLICATION SHALL BE RESTRICTED TO THE ORIGINAL SITE AND CARRIER FOR WHICH THEY ARE PREPARED. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED EXCEPT BY WRITTEN PERMISSION FROM GEL ENGINEERING. TITLE TO THESE PLANS AND/OR SPECIFICATIONS SHALL REMAIN WITH GEL ENGINEERING WITHOUT PREJUDICE AND VISUAL CONTACT WITH THEM SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

BOUNDARY SHOWN IS BASED ON MONUMENTATION FOUND AND RECORD INFORMATION. THIS IS NOT A BOUNDARY SURVEY. THIS IS A SPECIALIZED TOPOGRAPHIC MAP WITH PROPERTY LINES AND EASEMENTS BEING A GRAPHIC REPRODUCTION BASED ON INFORMATION GATHERED FROM VARIOUS SOURCES OF RECORD AND AVAILABLE MONUMENTATION FOUND DURING THE FIELD SURVEY. NO EASEMENTS WERE RESEARCHED OR PLOTTED. PROPERTY LINES AND LINES OF TITLE WERE NOT INVESTIGATED NOR SURVEYED AND PROPERTY MONUMENTS WERE SET.

DATE OF SURVEY: 04-17-17
 SURVEYED BY OR UNDER DIRECTION OF: KENNETH D. GEL, R.C.E. 14803
 LOCATED IN THE COUNTY OF EL DORADO, STATE OF CALIFORNIA

BEARINGS SHOWN ARE BASED UPON MONUMENTS FOUND AND RECORD INFORMATION. THIS IS NOT A BOUNDARY SURVEY.

ELEVATIONS SHOWN ON THIS PLAN ARE BASED UPON U.S.G.S. N.A.V.D. 88 DATUM. ABOVE MEAN SEA LEVEL.

N.G.V.D. 1929 CORRECTION: SUBTRACT 2.62' FROM ELEVATIONS SHOWN.

CONTOUR INTERVAL: 1'

CONTRACTOR IS RESPONSIBLE TO VERIFY LEASE AREA PRIOR TO CONSTRUCTION.

ASSESSOR'S PARCEL NUMBER: 104-370-24-100

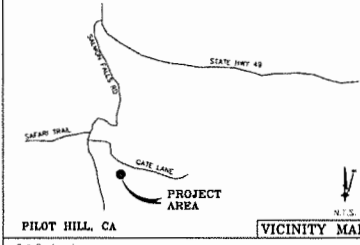
OWNER(S): WOLFE FAMILY TRUST
 5292 SHADOW BROOK PLACE
 GRANITE BAY, CA 95746

Lease Area Description

All that certain lease area being a portion of the North 1/2 of Lot 7 as is shown on that certain Parcel Map filed for record at Book 13 of Parcel Maps, Page 106, El Dorado County Records, located in the County of El Dorado, State of California, and being a portion of Section 18, Township 11 N., Range 8 E., M.D.B. & M., and being more particularly described as follows:

Commencing at a 1-1/2" Capped Iron Pipe monument set at the Northeast corner of Parcel B as is shown on that certain Parcel Map filed for record at Book 21 of Parcel Maps at Page 34, Official Records of El Dorado County, from which a similar monument set West 442.06 feet from the Southwest corner of said parcel bears South 28°22'17" West 998.99 feet; thence from said point of commencement North 09°35'24" East 322.51 feet to the True Point of Beginning; thence from said True Point of Beginning North 46°36'50" East 45.00 feet; thence North 43°23'10" West 30.00 feet; thence South 46°36'50" West 45.00 feet; thence South 43°23'10" East 30.00 feet to the point of beginning.

Together with a non-exclusive easement for access and utility purposes fifteen feet in width the centerline of which is described as follows: beginning at a point which bears South 43°23'10" East 7.50 feet from the Southwest corner of the above described lease area and running thence South 46°36'50" West 27.43 feet; thence through a tangent curve to the left having a radius of 20.00 feet through an arc distance of 31.20 feet; thence South 42°46'14" East 48.11 feet; thence through a tangent curve to the left having a radius of 20.00 feet through an arc distance of 27.64 feet; thence North 58°27'12" East 34.31 feet; thence through a tangent curve to the right having a radius of 30.00 feet through an arc distance of 3.53 feet; thence North 63°04'17" East 25.38 feet; thence through a tangent curve to the left having a radius of 30.00 feet through an arc distance of 10.13 feet; thence North 45°43'15" East 37.48 feet to a point on the centerline of the road commonly known as "Gate Lane" and running thence over and across said line as is shown herein to the public right of way more commonly known as Salmon Falls Road.



PILOT HILL, CA

VICINITY MAP

Gel Engineering
 Engineering • Surveying • Planning
 1226 High Street
 Auburn, California 95603-5015
 Phone: (530) 885-0426 • Fax: (530) 823-1309

A.T. & T. Mobility

Project No./Name: CVL03629 / ZEE ESTATES

Project Site Location: Gate Lane 1,000' South East of the intersection of Gate Lane and Salmon Falls Road
 Pilot Hill, CA 95684
 El Dorado County

Date of Observation: 04-17-17

Equipment/Procedure Used to Obtain Coordinates: Trimble Pathfinder Pro X, post processed with Pathfinder Office software.

Type of Antenna Mount: Proposed Monopole Tower

Coordinates (Tower)
 Latitude: N 38° 48' 36.83" (NAD83) N 38° 48' 36.83" (NAD27)
 Longitude: W 121° 01' 13.05" (NAD83) W 121° 01' 09.25" (NAD27)

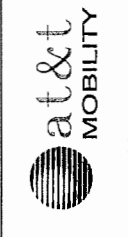
ELEVATION of Ground at Structure (NAVD88) 1563' AMSL

CERTIFICATION: I, the undersigned, do hereby certify elevation listed above is based on a field survey done under my supervision and that the accuracy of those elevations meet or exceed 1-A Standards as defined in the FAA ASAC Information Sheet 81-003, and that they are true and accurate to the best of my knowledge and belief.

Kenneth D. Gel California RCE 14803

DEPT.	APPROVED	DATE
AC		
RE		
RF		
INT		
ELEV		
OP'S		
EVD/01		

GEL ENGINEERING
 ENGINEERING • SURVEYING • PLANNING
 1226 HIGH STREET
 AUBURN, CALIFORNIA 95603-5015
 PHONE: (530) 885-0426
 FAX: (530) 823-1309

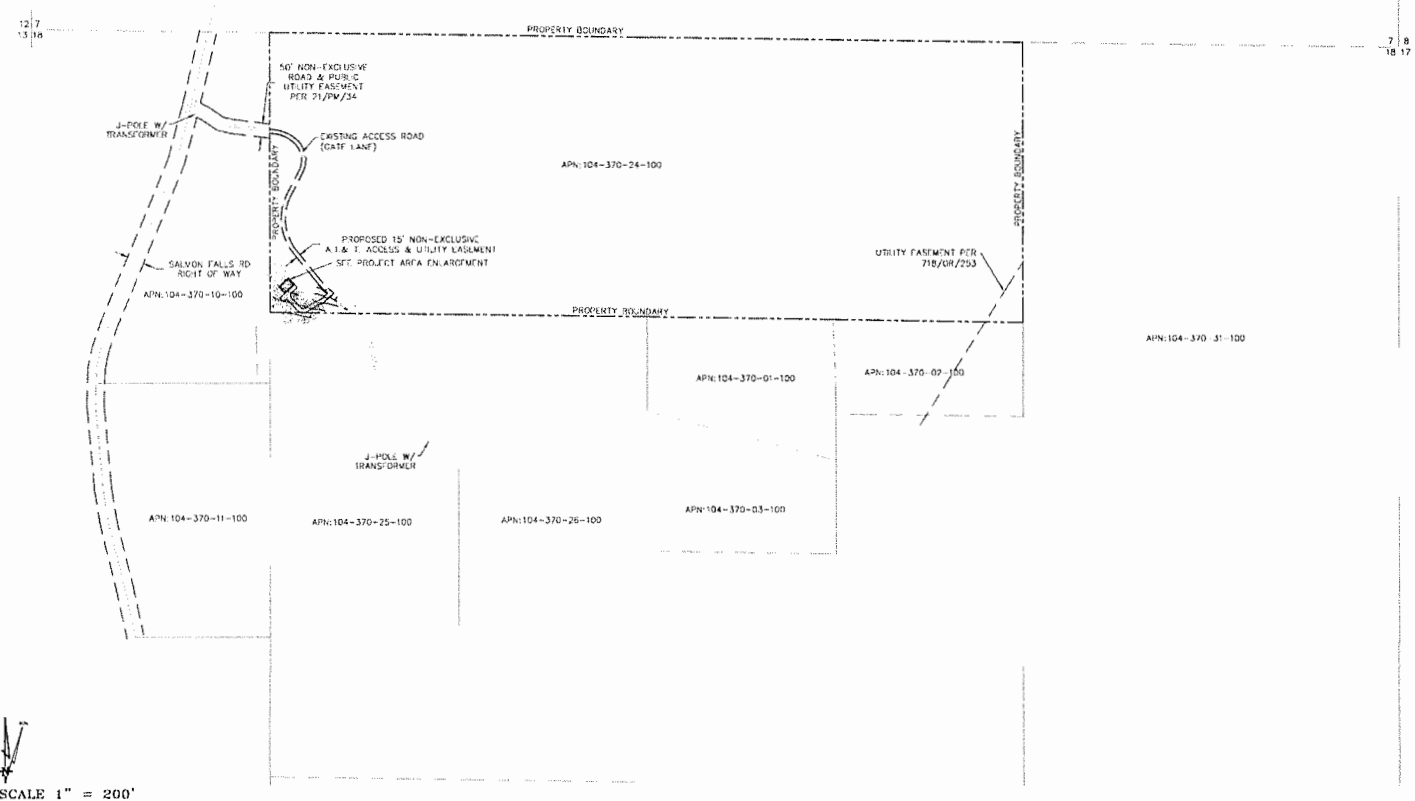


CVL03629 ZEE ESTATES
GATE LANE 1,000' SOUTH EAST OF THE INTERSECTION OF GATE LANE AND SALMON FALLS ROAD PILOT HILL, CA 95684
PILOT PLAN AND SITE TOPOGRAPHY

REV	DATE	BY	DESCRIPTION
1	04-17-17	KDG	PRELIMINARY DRAWING
2	04-17-17	KDG	LEASE AREA Delineated
3	04-17-17	KDG	ACCESS CHANGES
4	04-17-17	KDG	ADDITIONAL CHANGES

C-1

APN: 104-070-05-100

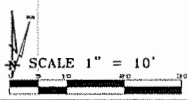
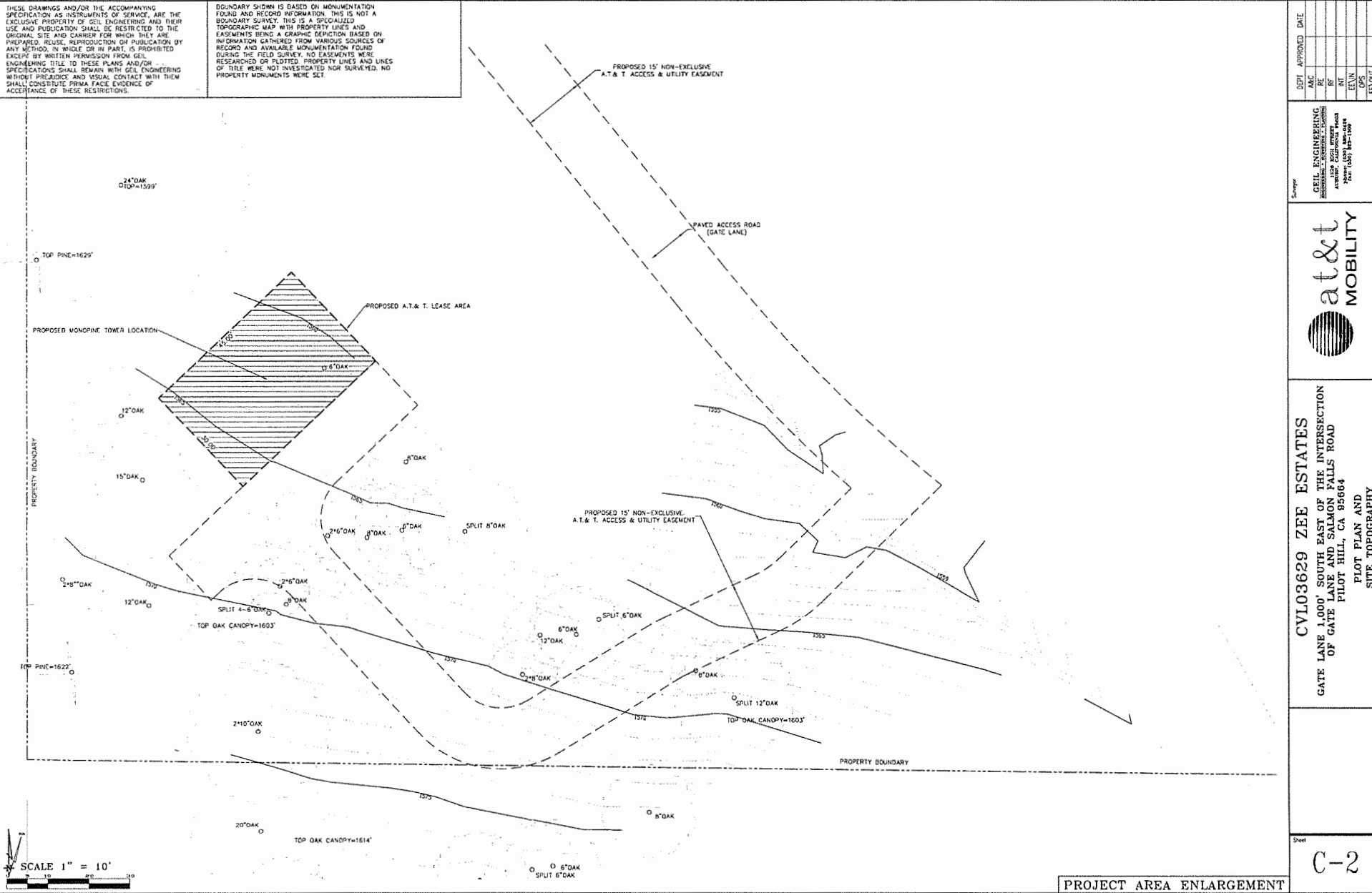


SCALE 1" = 200'

OVERALL SITE PLAN

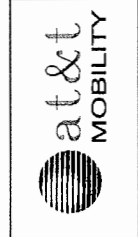
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DEPT. APPROVED DATE	
AAC	
RE	
INT	
EE/VA	
OPS	
FE/OUT	

Surveyor
GEL ENGINEERING
 10000 ZEE DRIVE, SUITE 100
 PILOT HILL, CA 95664
 Phone: (916) 865-1100



CVL03629 ZEE ESTATES
 GATE LANE 1.000' SOUTH EAST OF THE INTERSECTION
 OF GATE LANE AND SALMON FALLS ROAD
 PILOT HILL, CA 95664
 PLOT PLAN AND
 SITE TOPOGRAPHY

Sheet

C-2

PROJECT AREA ENLARGEMENT

GENERAL NOTES

1. THE CONTRACTOR SHALL HAVE A RESPONSIBLE PARTY, WHO SHALL HAVE THE AUTHORITY TO REPRESENT AND ACT FOR THE CONTRACTOR, ON THE JOB SITE DURING ALL WORKING HOURS.
2. ALL WORK SHALL BE ACCOMPLISHED TO THE SATISFACTION OF THE WASHOE COUNTY AUTHORIZED REPRESENTATIVE.

DEFINITIONS:

- (ESC) - EROSION AND SEDIMENT CONTROL
- (NDES) - NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM
- (CWA) - CLEAN WATER ACT
- (SWP) - STORM WATER POLLUTION PREVENTION PLAN
- (BMP) - BEST MANAGEMENT PRACTICES

THE CONTRACTOR SHALL:

MAKE HIM/HERSELF AWARE OF THE REQUIREMENTS OF SAID GENERAL PERMIT AND THE PROVISIONS OF THE GRADING & EROSION CONTROL PLANS.

IMPLEMENT THE ESC FEATURES AND BEST MANAGEMENT PRACTICES (BMP'S) CONTAINED IN THE IMPROVEMENT PLANS, AND OTHERWISE DILIGENTLY PURSUE COMPLIANCE WITH THE LOCAL REQUIREMENTS.

ASSIST THE OWNER, ENGINEER, AND PUBLIC WORKS DEPARTMENT STAFF IN THE ASSESSMENT OF THE FUNCTIONALITY OF ANY MODIFICATIONS TO THE FEATURES AND PRACTICES IMPLEMENTED AND PROPOSED.

MEET WITH THE OWNER AND THE PUBLIC WORKS DEPARTMENT STAFF TO DETERMINE AND DISCUSS THE STATUS OF THE PROJECT, CONSTRUCTION SCHEDULE, AND ANY MODIFICATIONS AND/OR ADDITIONS TO THE ESC FEATURES IN ORDER TO DILIGENTLY PURSUE COMPLIANCE.

DOCUMENT ANY MAINTENANCE, REPLACEMENT, INSPECTION, MODIFICATIONS OR ADDITIONS TO THE PROJECT ESC FEATURES, AND NOTIFY THE ENGINEER, OWNER AND PUBLIC WORKS DEPARTMENT STAFF OF ANY SUBSTANTIAL MODIFICATIONS OR ADDITIONS TO THE ESC PRACTICES AND FEATURES. ALL DISTURBED AREAS SHALL BE PROTECTED WITH APPROVED MATERIALS WITHIN 15 DAYS OF COMPLETION OF THE FINISHED GRADES.

MAINTAIN AN INVENTORY OF ESC MATERIALS (STRAW BALE, 15" - 3" CLEAN CRUSHED ROCK, FIBER ROLL, SILT FENCE, ROCK BAG, ETC.) ON SITE FOR EMERGENCY USE AS OBTAINED BY THE ENGINEER, OWNER, OR THE PUBLIC WORKS DEPARTMENT STAFF.

OTHER RESPONSIBILITIES OF APPLICANT:

- PROTECTION OF UTILITIES:** THE APPLICANT SHALL BE RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO ANY PUBLIC UTILITIES OR SERVICES.
- PROTECTION OF ADJACENT PROPERTY:** THE APPLICANT SHALL BE RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO ADJACENT PROPERTY AND PERSONS(S) SHALL EXCAVATE ON LAND THAT IS SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY ADJACENT PUBLIC STREET, SIDEWALK, ALLEY, STRUCTURE OR OTHER PUBLIC OR PRIVATE PROPERTY OR FACILITY WITHOUT SUPPORTING AND PROTECTING SUCH PROPERTY FROM ANY DAMAGE WHICH MIGHT OTHERWISE RESULT.
- ADVANCE NOTICE:** THE APPLICANT SHALL NOTIFY THE COUNTY AT LEAST FORTY-FOUR HOURS PRIOR TO THE START OF WORK.
- EROSION AND SEDIMENT CONTROL:** IT SHALL BE THE SOLE RESPONSIBILITY OF THE APPLICANT TO PREVENT DISCHARGE OF SEDIMENT FROM THE SITE, IN QUANTITIES GREATER THAN BEFORE THE GRADING OCCURRED, TO ANY WATERCOURSE, DRAINAGE SYSTEM, OR ADJACENT PROPERTY.
- COMPLIANCE WITH STORMWATER RUNOFF POLLUTION CONTROL CODE:** AT ALL TIMES DURING THE PRE-CONSTRUCTION AND CONSTRUCTION OF ANY PROJECT FOR WHICH GRADING APPROVAL IS ISSUED UNTIL ALL FINAL IMPROVEMENTS AND PERMANENT STRUCTURES ARE COMPLETE, THE APPLICANT SHALL FULLY COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE STORMWATER RUNOFF POLLUTION CONTROL CODE.

EROSION CONTROL NOTES

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE COUNTY IMPROVEMENT STANDARDS, CURRENT EDITION, AND THE COUNTY EROSION AND SEDIMENT CONTROL GUIDELINES.
2. EROSION CONTROL BEST MANAGEMENT PRACTICES (BMP'S) SHALL BE INSTALLED AND MAINTAINED DURING THE WET SEASON (OCTOBER THROUGH APRIL 30). SEDIMENT CONTROL BMP'S SHALL BE INSTALLED AND MAINTAINED ALL YEAR.
3. ALL DRAINAGE INLETS IMMEDIATELY DOWNSTREAM OF THE WORK AREAS AND WITHIN THE WORK AREAS SHALL BE PROTECTED WITH SEDIMENT CONTROL AND INLET FILTER BAGS. YEAR ROUND, INLET FILTER BAGS SHALL BE REMOVED FROM THE DRAINAGE INLETS UPON ACCEPTANCE OF THE PUBLIC IMPROVEMENTS BY THE COUNTY.
4. ALL AREAS DISTURBED DURING CONSTRUCTION, BY GRADING, TRENCHING, OR OTHER ACTIVITIES, SHALL BE PROTECTED FROM EROSION DURING THE WET SEASON (OCTOBER 1 THROUGH APRIL 30). HYDROSEED, IF UTILIZED, MUST BE PLACED BY SEPTEMBER 15. HYDROSEED PLACED DURING THE WET SEASON SHALL USE A SECONDARY EROSION PROTECTION METHOD.
5. SENSITIVE AREAS AND AREAS WHERE EXISTING VEGETATION IS BEING PRESERVED SHALL BE PROTECTED WITH CONSTRUCTION FENCING. SEDIMENT CONTROL BMP'S SHALL BE INSTALLED THESE ACTIVE CONSTRUCTION AREAS DRINK INTO SENSITIVE OR PRESERVED VEGETATION AREAS.
6. SEDIMENT CONTROL BMP'S SHALL BE PLACED ALONG THE PROJECT PERIMETER WHERE DRAINAGE LEAVES THE PROJECT. SEDIMENT CONTROL BMP'S SHALL BE MAINTAINED YEAR ROUND UNTIL THE CONSTRUCTION IS COMPLETE OR THE DRAINAGE PATTERN HAS BEEN CHANGED AND NO LONGER LEAVES THE SITE.
7. THE FOLLOWING AREAS ARE TO RECEIVE HYDROSEEDING OR OTHER EROSION CONTROL: ALL SLOPES GREATER THAN 10:1.
8. FOR DEMONSTRATING OPERATIONS, SEDIMENT - LADEN STORM WATER SHALL BE EITHER PUMPED (ONCE 10) OR HUNG (TEMPORARY EXTENSION SHALL) TO SEDIMENT TRAPS TO ALLOW SEDIMENT TO SETTLE OUT BEFORE DISCHARGE OFF-SITE. ONCE SEDIMENT HAS SETTLED OUT, WATER WILL BE DISCHARGED THROUGH SMALL LINE WITH IMPERVIOUS PLASTIC LINER.
9. USE OF FIBER ROLLS SHALL BE MAINTAINED DURING WET SEASONS WITH DEMONSTRATING BMP'S IN THE EVENT THAT FIBER ROLLS DO NOT EFFECTIVELY RETAIN STORM WATER ON SITE. DEMONSTRATING MAY INCLUDE PUMPS OR BERMS TO ROUTE WATER TO THE SEDIMENT TRAP. IF PUMPS ARE USED, THEN FILTER BAGS SHALL BE USED AT DISCHARGE HOSE ENDS. DEMONSTRATING MATERIAL SHALL NOT BE DISCHARGED DIRECTLY TO THE STORM DRAIN SYSTEM.

BMP INSTALLATION SCHEDULE

BEST MANAGEMENT PRACTICE	LOCATION	IMPLEMENTATION SCHEDULE	MAINTENANCE SCHEDULE
A. PRESERVE EXISTING VEGETATION	WOUND PERIMETER OF PROJECT SITE	CONTINUOUS. UNTIL CONSTRUCTION IS COMPLETED	EDUCATE EMPLOYEES AND SUBCONTRACTORS REGARDING IMPORTANCE AT MAINTAINING EXISTING VEGETATION. REMOVE MATERIALS AND SEGMENT IN REMOVAL FROM DISTURBED AREAS ON THE CONSTRUCTION SITE. INSPECT SITE PERIMETER MONTHLY TO VERIFY THE OUTSIDE VEGETATION IS NOT DISTURBED.
B. PROTECT GRADDED AREAS AND SLOPES FROM WINDBLAST EROSION	THROUGHOUT PROJECT SITE	DURING WET SEASON	INSPECT GRADDED AREAS AND SLOPES ON AT LEAST A MONTHLY BASIS TO CHECK FOR EROSION. REPLACE TEMPORARY AREAS OR PERIMETER FILTER BARRIER OR SAND BAG BARRIERS AS NECESSARY TO PREVENT EROSION.
C. GRAVEL FILTER	ALONG FLOW LINES OF DRAINAGE	IN PLACE DURING WET SEASON UNTIL ROADWAYS ARE PAVED	INSPECT DAILY AND AFTER EACH STORM. REMOVE OVERT SEEDMENT DEPOSITED BEHIND BERM OR BARRIER TO MAINTAIN EFFECTIVENESS.
D. INLET FILTER BAG	REFERS TO THE DRAINAGE INLET SYSTEM	CONTINUOUS UNTIL LANDSCAPING IS IN PLACE	INSPECT WEEKLY AND AFTER EACH STORM. REMOVE EXCESS SEDIMENT DEPOSITED BEHIND BERM. CLEAN OR REPLACE INLET FILTER BAGS AS SOON AS DAMAGE OCCURS.
E. FIBER ROLL	SEE PLAN SHEET	CONTINUOUS	INSPECT WEEKLY AND AFTER EACH STORM. REMOVE EXCESS SEDIMENT DEPOSITED BEHIND ROLL. REROLLER NECESSARY TO MAINTAIN EFFECTIVENESS.
F. HYDROSEEDING	3:1 SLOPES	IN PLACE DURING BY SEPT. 15	INSPECT SLOPES ON AT LEAST A MONTHLY BASIS TO VERIFY HYDROSEEDING IS EFFECTIVE. REMOVE EXCESS STRAW MULCH OVER AFFECTED AREAS.
G. STABILIZED CONSTRUCTION ENTRANCE	ENTRANCES TO SITE FROM PUBLIC ROADWAYS	CONTINUOUS. UNTIL COMPLETE. ROADWAYS ARE PAVED	INSPECT ON A MONTHLY BASIS AND AFTER EACH CONSTRUCTION EVENT. CLEAN OR REPLACE AS NECESSARY TO PREVENT SEDIMENT FROM BEING TRACKED AND PUBLIC STREET.
H. WIND EROSION CONTROL	WHENEVER EXPOSURE IS NECESSARY. UNTIL CONSTRUCTION IS COMPLETED AND SLOPE MUST BE STABILIZED	CONTINUOUS UNTIL GRADING IS COMPLETED AND SLOPE MUST BE STABILIZED	INSPECT SITE DURING WHICH CONDITIONS TO CLARIFY AREAS WHERE WIND EROSION IS OCCURRING AND Aerate EROSION AS NECESSARY.
I. GOOD HOUSEKEEPING	THROUGHOUT PROJECT SITE	CONTINUOUS UNTIL CONSTRUCTION IS COMPLETED	INSPECT SITE ON AT LEAST A MONTHLY BASIS TO VERIFY THAT GOOD HOUSEKEEPING PRACTICES ARE MAINTAINED.
J. PROPER CONSTRUCTION MATERIAL STORAGE	DESIGNATED AREA	CONTINUOUS UNTIL CONSTRUCTION IS COMPLETED	INSPECT SITE ON AT LEAST A WEEKLY BASIS TO VERIFY THAT CONSTRUCTION MATERIALS ARE STORED IN A MANNER WHICH DOES NOT CAUSE STORM WATER POLLUTION.
K. PROPER CONSTRUCTION MATERIAL STORAGE AND DISPOSAL INCLUDING: 1) CONCRETE WASTE 2) PAINTS & PAINTING SUPPLIES 3) VEHICLE FLUIDS	DESIGNATED COLLECTION AREA AND CONTAINERS	CONTINUOUS UNTIL CONSTRUCTION IS COMPLETED	INSPECT SITE ON AT LEAST A WEEKLY BASIS TO VERIFY THAT ALL WASTE IS STORED PROPERLY AND DISPOSED OF AT LEGAL DISPOSAL SITE. DAILY.
L. STREET AND STORM DRAINAGE MAINTENANCE	DESIGNATED AREA WITH SECONDARY CONTAINMENT	CONTINUOUS	INSPECT MATERIAL HANDING AREAS ON AT LEAST A MONTHLY BASIS TO VERIFY PROPER PRACTICES.
M. STREET AND STORM DRAINAGE MAINTENANCE	DESIGNATED AREA WITH SECONDARY CONTAINMENT	CONTINUOUS	KEEP AMPLIFIED SUPPLIES OF SOIL CLEANING MATERIALS ON SITE. INSPECT ON REGULAR SCHEDULE.
N. STREET AND STORM DRAINAGE MAINTENANCE	STREETS AND STORM DRAINAGE FACILITIES	CONTINUOUS UNTIL CONSTRUCTION IS COMPLETED	MAINTAIN STORM DRAINAGE FACILITIES AND PERFORM STREET CLEAN OF STORM DRAINAGE FACILITIES.

1. WET SEASONS: DRY PERIOD BETWEEN OCTOBER 1 THROUGH APRIL 30. CONSTRUCTION SHALL ALSO IMPLEMENT WET SEASON MEASURES IF WET WEATHER IS EXPECTED DURING THE DRY SEASON.
2. PHASES OF WORK:
 - INITIAL (STAGE 1): WIND CLEANING AND GRADING ACTIVITIES OCCUR.
 - ROUGH (STAGE 2): WIND CUT AND FILL ACTIVITIES BEGAIN AND THE SITE IMPROVEMENTS ARE CONSTRUCTED, INCLUDING UNDERGROUND PIPING, STREETS, SIDEWALKS AND OTHER IMPROVEMENTS.
 - FINAL (STAGE 3): FINISH GRADES ARE SET, AND SITE IMPROVEMENTS ARE COMPLETE AND READY FOR COUNTY ACCEPTANCE.

REQUIRED BMP'S

THE FOLLOWING BMP'S SHALL BE REQUIRED ON ALL PROJECTS:

- A. ACCESS POINTS TO THE CONSTRUCTION SITE SHALL HAVE A STABILIZED CONSTRUCTION ACCESS.
- B. THE PRESERVATION OF EXISTING VEGETATION SHALL BE DONE IN ACCORDANCE WITH PRESERVATION OF EXISTING VEGETATION, AND SILT FENCE.
- C. REPEATER PROTECTION ALONG PROPERTY LINES SHALL HAVE PRESERVATION OF EXISTING VEGETATION, OR SILT FENCE.
- D. SLOPES GREATER THAN 3 PERCENT SHALL BE TEMPORARILY SEEDED AND SLOPES GREATER 3:1 (N:V) SHALL HAVE HYDROSEEDING AND/OR GEOTEXTILES, PLASTIC COVERS, AND/OR EROSION CONTROL BARRIERS INSTALLED.
- E. THE TOE OF ALL SLOPES SHALL HAVE SILT FENCE AND/OR FIBER ROLL.
- F. DISTURBED SOIL AREAS BEHIND THE CURB OR BACK OF WALK (OR CURB) SHALL HAVE STRAW MULCH, SOIL BARRIERS OR GEOTEXTILES, PLASTIC COVERS, AND EROSION CONTROL BARRIERS/MAITS IN CONJUNCTION WITH HYDROSEEDING. SURFACE TREATMENTS SHALL EXTEND TO THE GREATER OF 6 METERS (20 FEET) OR TO THE TOP OF SLOPE.
- G. ROADWAY SUBGRADE SHALL HAVE FIBER ROLL, SILT FENCE, OR SEDIMENT TRAP.
- H. DEAD END STREETS, TO BE EXTENDED IN THE FUTURE, SHALL HAVE PRESERVATION OF EXISTING VEGETATION, HYDROSEEDING, SEDIMENT TRAP OR OTHER APPLICABLE BMP TO MINIMIZE THE TRANSPORT OF SEDIMENT ONTO OR FROM THE IMPROVED SURFACE.
- I. PROJECTS THAT INCLUDE DETENTION BASINS SHALL HAVE A SEDIMENT BASIN.
- J. PLACE DRAINAGE INLET SEDIMENT BMP'S AT ALL STORM DRAIN INLETS. BMP'S SHALL INCLUDE INLET SEDIMENT CONTROL BARRIERS, INLET FILTER BAG AND CONCRETE STRAP OR EXPOSED PLACEMENT.
- K. EACH CONSTRUCTION SITE SHALL PROVIDE DESIGNATED, PAINT AND WASTE DISPOSAL LOCATIONS AS NECESSARY.
- L. A BMP INSTALLATION SCHEDULE SHALL BE INCLUDED ON THE IMPROVEMENT PLANS. THE SCHEDULE SHALL INCLUDE THE BMP'S FOR BOTH THE WET SEASON AND THE DRY SEASON.



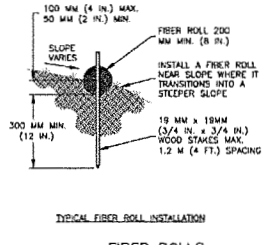
ER-1 PORTABLE CONCRETE WASHOUT CONTAINER
NO SCALE

INSPECTION & MAINTENANCE OF FIBER ROLLS:

1. REMOVE OR REPLACE SPIN, TORN, UNWELDED OR SLUMPING FIBER ROLL.
2. INSPECT FIBER ROLLS WHEN AIN IS FORECAST, FOLLOWING MAINTENANCE AT LEAST DAILY DURING PROLONGED RAINFALL AND AT THREE WEEKS DURING THE NON-RAIN SEASON.
3. SEDIMENT SHOULD BE REMOVED WHEN SEDIMENT ACCUMULATION REACHES ONE-HALF THE DISTANCE BETWEEN REMOVAL POINTS. USUALLY ONE-HALF THE DISTANCE BETWEEN THE TOP OF THE FIBER ROLL AND THE ADJACENT GROUND SURFACE. SEDIMENT REMOVED DURING MAINTENANCE MAY BE INCORPORATED INTO THE GARBURON ON THE SITE OR DEPOSITED AT AN APPROPRIATE LOCATION.

NOTES:

1. FILTER BARRIER SHALL BE CONSTRUCTED LONG ENOUGH TO EXTEND ACROSS THE EXPECTED FLOW PATH AND AS APPROVED BY THE LANDSCAPE ARCHITECT.
2. FILTER ROLL (8" TO 12" DIAMETER) SHALL BE PLACED INTO THE ANY TRENCH AND STAPES ON BOTH SIDES OF THE ROLL WITHIN 6 FEET OF EACH END AND THEN EVERY 3' TO 4' WITH 1" X 3/4" STAPLES. STAPLES ARE TYPICALLY ORDERED ON ALTERNATING SIDES OF THE ROLL. ADJACENT ROLLS SHALL TOUCH AVOID.
3. CLEAR SURFACE OF THE TRENCH OF ALL LOCAL OBSTACLES AND TO REMOVE LARGE STONES OR DEBRIS THAT WILL IMPART INTIMATE CONTACT OF THE FIBER ROLL WITH THE SUBGRADE.
4. PRIOR TO ROLL INSTALLATION, CONTOUR A CONCRETE TRENCH 12 TO 4 INCHES DEEP ALONG THE PROPOSED INSTALLATION. INSTALLER ROLL SHALL BE INSTALLED ALONG THE SIDE OF WALLS AND AROUND THE TRENCH. INSURE THE BOTTOM EDGE OF THE FIBER ROLL SHALL EXTEND TO AND ACROSS THE BOTTOM OF THE TRENCH. THE TRENCH SHALL BE BACKFILLED TO 4 INCHES ABOVE GROUND AND COMPACTED TO BURY AND SECURE THE BOTTOM OF THE FIBER ROLL.
5. CONTRACTOR SHALL HAVE SUFFICIENT STOCK OF FIBER ROLL DURING THE WET SEASON MONTHLY DURING THE DRY SEASON AND IMMEDIATELY AFTER EACH RAINFALL TO SECURE REPAIRS AND SEDIMENT REMOVAL. TO REMOVE SEDIMENT SHALL BE REMOVED BEFORE IT HAS REACHED ONE HALF THE HEIGHT OF THE FILTER FABRIC.



ER-2 FIBER ROLLS
NO SCALE

REVEGETATION STANDARDS

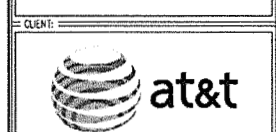
1. PERMANENT REVEGETATION OR LANDSCAPING, IF REQUIRED, IS TO BE COMMENCED ON THE CONSTRUCTION SITE AS SOON AS PRACTICAL AND IN NO CASE EXCEEDING TWELVE MONTHS AFTER ACHIEVING FINAL GRADES AND UTILITY PLACEMENTS. WHENEVER PRACTICAL, LAND IS TO BE DEVELOPED IN INCREMENTS OF WORKABLE SIZE WHICH CAN BE COMPLETED DURING A SINGLE CONSTRUCTION SEASON. EROSION CONTROL MEASURES ARE TO BE COORDINATED WITH THE SEQUENCE OF GRADING OR IMPROVEMENTS.
2. ALL SURFACES DISTURBED BY VEGETATION REMOVAL, GRADING, HAUL, ROADS, OR OTHER ACTIVITY OF CONSTRUCTION WHICH ALTERS THE NATURAL VEGETATIVE COVER ARE TO BE PREPARED FOR EXPEDITED REVEGETATION OR OTHERWISE MAINTAINED TO CONTROL EROSION UNLESS COVERED WITH IMPERVIOUS OR OTHER IMPROVED SURFACES PURSUANT TO APPROVED PLANS WITHIN FORTY-EIGHT DAYS FOLLOWING THE COMPLETION OF GRADING, OR REMOVAL OF VEGETATION IF NO GRADING WAS INVOLVED.
3. TOPSOIL REMOVED FROM THE SURFACE IN PREPARATION FOR GRADING SHALL BE RESTORED TO EXPOSE CUT AND FILL EMBANKMENTS OR BUILDING PADS SO AS TO PROVIDE A SUITABLE BASE FOR SEEDING AND PLANTING.
4. ACCEPTABLE METHODS OF REVEGETATION INCLUDE STRAW-MULCHING, HYDRIC-MULCHING OR PLANTING OF MATURE SPECIES IN THE IMPROVEMENT STANDARDS. OTHER METHODS OF REVEGETATION MAY BE APPROVED BY THE COUNTY ENGINEER WHERE EQUIVALENT PROTECTION IS PROVIDED.
5. ALL REVEGETATION AND LANDSCAPING IS TO BE CONDUCTED WITHIN SUITABLE GROWING PERIODS. NATIVE PLANT MATERIALS ARE PREFERABLY ENCOURAGED IN ORDER TO REDUCE IRRIGATION DEMANDS.
6. TEMPORARY SEDIMENTATION CONTROL FACILITIES ARE TO BE INSTALLED IN CONJUNCTION WITH INITIAL GRADING OPERATIONS AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD TO REMOVE SEDIMENTS FROM RUNOFF WATERS DURING DEVELOPMENT.
7. PERMANENT SEDIMENT CATCHMENT BASINS OR OTHER TYPES OF SEDIMENT CONTROL FACILITIES ARE REQUIRED WHENEVER NECESSARY TO PREVENT DISCHARGE OF SEDIMENT INTO WATERS OF THE STATE. SEDIMENT RETENTION FACILITIES SHALL BE INSPECTED AND CLEANED ACCORDING TO A REGULAR MAINTENANCE SCHEDULE.
8. THE PLANTING OR SEEDING OF VEGETATION PROTECTION MUST BE EFFECTIVE. IF THE VEGETATION DOES NOT GROW AND OFFER PROPER PROTECTION, IT MUST BE REPLANTED OR RESEEDING.
9. THE MAINTENANCE OF VEGETATION PROTECTION ON GRADDED SLOPES SHALL BE THE RESPONSIBILITY OF THE PERMITTEE AND SHALL BE GUARANTEED UNTIL THE VEGETATION IS WELL ESTABLISHED OR IS OFFICIALLY ASSUMED BY ANOTHER PARTY.

DUST MITIGATION PLAN

SECTION 1: FUGITIVE DUST PREVENTION AND CONTROL

- LAND CLEANING/EARTH MOVING: WATER SHALL BE APPLIED BY MEANS OF TRUCK(S), HOSES AND/OR SPRINKLERS PRIOR TO ANY LAND CLEANING OR EARTH MOVEMENT TO MINIMIZE DUST EMISSIONS. TRUCKS, VEHICLES TRANSPORTING SOIL INTO OR OUT OF THE PROPERTY SHALL BE COVERED.
- WISELY DRY DISTURBED SOIL SURFACE AREAS: ALL VISIBLY DRY DISTURBED SOIL SURFACE AREAS OF OPERATION SHALL BE WATERED TO MINIMIZE DUST EMISSIONS.
- PAVED ROAD TRUCK-OUT: PAVED ROADS SHALL BE CLEANED IF THE AMOUNT OF DIRT TRACKED-OUT OF THE OPERATION AREA HAS THE POTENTIAL TO CAUSE DUST EMISSIONS.
- VISIBLY DRY DISTURBED UNPAVED DRIVEWAYS: ALL VISIBLY DRY DISTURBED UNPAVED DRIVEWAY SURFACE AREAS OF OPERATION SHALL BE WATERED TO MINIMIZE DUST EMISSIONS. UNPAVED DRIVEWAYS MAY BE GRAVELED TO REDUCE DUST EMISSIONS.
- VEHICLES ENTERING / EXITING CONSTRUCTION AREA: VEHICLES ENTERING OR EXITING CONSTRUCTION AREA SHALL TRAVEL AT A SPEED WHICH MINIMIZES DUST EMISSIONS.
- EMPLOYEE VEHICLES: CONSTRUCTION WORKERS PARK IN DESIGNATED PARKING AREAS) TO HELP REDUCE DUST EMISSIONS.
- SOIL PILES: SOIL PILE SURFACES SHALL BE MOISTENED IF DUST IS BEING EMITTED FROM THE PILES(S). ADEQUATELY SECURED TRAILS, PILE(S) OR MATERIAL SHALL BE COVERED TO FURTHER REDUCE DUST EMISSIONS.

PROPRIETARY INFORMATION
THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO PEAK SITE-COM IS STRICTLY PROHIBITED

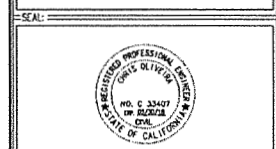


8001 EXECUTIVE PKWY
SAN RAMON, CA 94583

PROJECT INFORMATION:
ZEE ESTATES
GATE LANE 1.000' SOUTH EAST OF THE INTERSECTION OF GATE LANE AND SALON FALLS ROAD
PLACENTIA, CA 91764

REV. #	DATE	DESCRIPTION	BY
1	6-29-17	BOX ZONING DOC'S	RB
1	8-3-17	30R ZONING DOC'S	ALP
2	8-9-17	100% ZONING DOC'S	ALP

COORDINATING ENGINEER:
Peek Site-Com
12852 Earhart Ave. Suite 101
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E-Mail info@peeksitecom.com



SHEET #
C-3

EROSION CONTROL NOTES

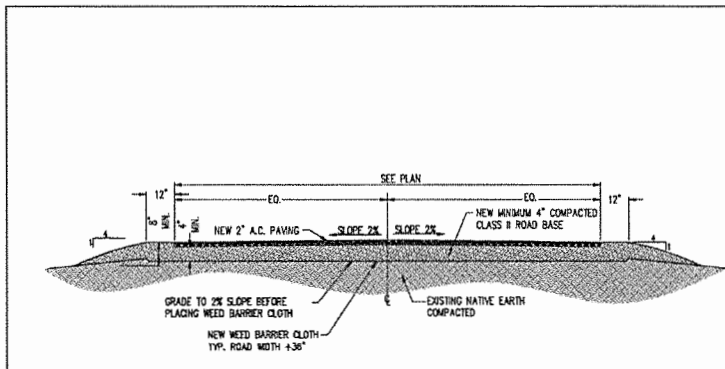
C-3 0

GRADING-EROSION SEDIMENT CONTROL NOTES

GRADING STANDARDS

1. GENERAL. UNLESS OTHERWISE RECOMMENDED IN THE APPROVED SOILS ENGINEERING OR ENGINEERING GEOLOGY REPORT, GRADING ACTIVITIES SHALL CONFORM TO THE PROVISIONS OF THIS SECTION.
 - a. CUT SLOPE. THE SLOPE OF CUT SURFACES SHALL BE NO STEEPER THAN IS SAFE FOR THE INTENDED USE AND SHALL BE NO STEEPER THAN 1 UNIT VERTICAL IN 2 UNITS HORIZONTAL (50% SLOPE) UNLESS THE PERMITTEE FURNISHES A SOILS ENGINEERING OR AN ENGINEERING GEOLOGY REPORT, OR BOTH, STATING THAT THE SITE HAS BEEN INVESTIGATED AND GIVING AN OPINION THAT A CUT AT A STEEPER SLOPE WILL BE STABLE AND NOT CREATE A HAZARD TO PROPERTY OR THE ENVIRONMENT.
 - b. FILL SLOPE AND PREPARATION
 - (1) PREPARATION OF GROUND. THE GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, NON-COMPLYING FILL, TOPSOIL AND OTHER UNSUITABLE MATERIALS SCAFFOLDING TO PROVIDE A BOND WITH THE NEW FILL.
 - (2) FILL MATERIAL. AMOUNT OF ORGANIC MATERIAL DETRIMENTAL TO STRUCTURAL INTEGRITY SHALL NOT BE PERMITTED IN FILLS, EXCEPT AS PERMITTED BY THE BUILDING OFFICIAL. NO ROCK OR SIMILAR IRREDUCIBLE MATERIAL WITH A MAXIMUM DIMENSION GREATER THAN 12 INCHES (0.31 M) SHALL BE BURIED OR PLACED IN FILLS.
 - (3) EXCEPTION. THE BUILDING OFFICIAL MAY PERMIT PLACEMENT OF LARGER ROCK WHEN THE SOILS ENGINEER PROPOSES A METHOD OF PLACEMENT, AND CONTINUOUSLY INSPECTS ITS PLACEMENT AND APPROVES THE FILL STABILITY. THE FOLLOWING CONDITIONS SHALL ALSO APPLY:
 - (a) PRIOR TO ISSUANCE OF THE GRADING PERMIT, POTENTIAL ROCK DISPOSAL AREAS SHALL BE SHOWN ON THE GRADING PLAN.
 - (b) ROCK SIZES GREATER THAN 12 INCHES (0.31 M) IN MAXIMUM DIMENSION SHALL BE 10 FEET (3.05 M) OR MORE BELOW GRADE, MEASURED VERTICALLY.
 - (c) ROCKS SHALL BE PLACED SO AS TO ASSURE FILLING OF ALL VOIDS WITH WELL-GRADED SOIL.
 - (4) COMPACTION. ALL FILLS SHALL BE COMPACTED TO A MINIMUM OF 90 PERCENT OF MAXIMUM DRY DENSITY WITH SUFFICIENT TESTING FOR DOCUMENTATION OF COMPLIANCE WITH THIS STANDARD.
 - (5) SLOPE. THE SLOPE OF FILL SURFACES SHALL BE NO STEEPER THAN IS SAFE FOR THE INTENDED USE. FILL SLOPES SHALL BE NO STEEPER THAN 1 UNIT VERTICAL IN 2 UNITS HORIZONTAL (50% SLOPE).
2. SETBACKS
 - a. GENERAL. CUT AND FILL SLOPES SHALL BE SET BACK FROM SITE BOUNDARIES IN ACCORDANCE WITH THIS SECTION. SETBACK DIMENSIONS SHALL BE HORIZONTAL DISTANCES MEASURED PERPENDICULAR TO THE SITE BOUNDARY.
 - b. ACCORDANCE WITH THIS SECTION. SETBACK DIMENSIONS SHALL BE HORIZONTAL DISTANCES MEASURED PERPENDICULAR TO THE SITE BOUNDARY.
 - c. TOP OF CUT SLOPE. THE TOP OF CUT SLOPES SHALL NOT BE MADE NEARER TO A SITE BOUNDARY LINE THAN A MINIMUM OF 2 FEET. THE SETBACK MAY NEED TO BE INCREASED FOR ANY REQUIRED INTERCEPTOR DRAINS.
 - d. TOE OF FILL SLOPE. THE TOE OF FILL SLOPE SHALL BE MADE NOT NEARER TO THE SITE BOUNDARY LINE THAN A MINIMUM OF 2 FEET, WHERE A FILL SLOPE IS TO BE LOCATED NEAR THE SITE BOUNDARY AND THE ADJACENT OFFSITE PROPERTY IS DEVELOPED. SPECIAL PRECAUTIONS SHALL BE INCORPORATED IN THE WORK AS THE BUILDING OFFICIAL DEEMS NECESSARY TO PROTECT THE ADJACENT PROPERTY FROM DAMAGE AS A RESULT OF SUCH GRADING. THESE PRECAUTIONS MAY INCLUDE BUT ARE NOT LIMITED TO:
 - (1) ADDITIONAL SETBACKS.
 - (2) PROVISION FOR RETAINING OR SLOUGH WALLS.
 - (3) MECHANICAL OR CHEMICAL TREATMENT OF THE FILL SLOPE SURFACE TO MINIMIZE EROSION.
 - (4) PROVISIONS FOR THE CONTROL OF SURFACE WATERS.
 - e. MODIFICATION OF SETBACKS. THE BUILDING OFFICIAL MAY APPROVE ALTERNATE SETBACKS. THE BUILDING OFFICIAL MAY REQUIRE AN INVESTIGATION AND RECOMMENDATION BY A QUALIFIED ENGINEER OR ENGINEERING GEOLOGIST TO DEMONSTRATE THAT THE INTENT OF THIS SECTION HAS BEEN SATISFIED.
3. MAINTENANCE REQUIRED. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ADEQUATELY MAINTAINING ALL DRAINAGE FACILITIES INSTALLED PURSUANT TO THIS SECTION.
4. GRADING INSPECTION
 - a. GENERAL. GRADING OPERATIONS FOR WHICH A PERMIT IS REQUIRED SHALL BE SUBJECT TO INSPECTION BY THE BUILDING OFFICIAL.
 - b. PERMITTEE. THE PERMITTEE SHALL BE RESPONSIBLE FOR THE WORK TO BE PERFORMED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS AND IN CONFORMANCE WITH THE PROVISIONS OF THIS CODE, AND THE PERMITTEE SHALL EMPLOY CONSULTANTS, IF REQUIRED, TO PROVIDE PROFESSIONAL INSPECTIONS ON A TIMELY BASIS. THE PERMITTEE SHALL ACT AS A COORDINATOR BETWEEN THE CONSULTANTS, THE CONTRACTOR AND THE BUILDING OFFICIAL. IN THE EVENT OF CHANGED CONDITIONS, THE PERMITTEE SHALL BE RESPONSIBLE FOR INFORMING THE BUILDING OFFICIAL OF SUCH CHANGE AND SHALL PROVIDE REVISED PLANS FOR APPROVAL.
 - c. BUILDING OFFICIAL. THE BUILDING OFFICIAL SHALL INSPECT THE PROJECT AT THE VARIOUS STAGES OF WORK REQUIRING APPROVAL TO DETERMINE THAT ADEQUATE CONTROL IS BEING EXERCISED BY THE PROFESSIONAL CONSULTANTS.
 - d. NOTIFICATION OF NONCOMPLIANCE. IF, IN THE COURSE OF FULFILLING THEIR RESPECTIVE DUTIES UNDER THIS CHAPTER, THE CIVIL ENGINEER, THE SOILS ENGINEER OR THE ENGINEERING GEOLOGIST FINDS THAT THE WORK IS NOT BEING DONE IN CONFORMANCE WITH THIS CHAPTER OR THE APPROVED GRADING PLANS, THE DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE PERMITTEE AND TO THE BUILDING OFFICIAL.
 - e. TRANSFER OF RESPONSIBILITY. IF THE CIVIL ENGINEER, THE SOILS ENGINEER, OR THE ENGINEERING GEOLOGIST OF RECORD IS CHANGED DURING GRADING, THE WORK SHALL BE STOPPED UNTIL THE REPLACEMENT HAS AGREED IN WRITING TO ACCEPT THEIR RESPONSIBILITY WITHIN THE AREA OF TECHNICAL COMPETENCE FOR APPROVAL UPON COMPLETION OF THE WORK. IT SHALL BE THE DUTY OF THE PERMITTEE TO NOTIFY THE BUILDING OFFICIAL IN WRITING OF SUCH CHANGE PRIOR TO THE RE-COMMENCEMENT OF SUCH GRADING.
5. EROSION AND SEDIMENTATION CONTROL
 - a. ADMINISTRATION
 - (1) THE EROSION AND SEDIMENT CONTROL PROVISIONS OF THIS SECTION SHALL BE APPLICABLE TO ALL FACILITIES AND ACTIVITIES UNDER THE SUPERVISION OF THE DIRECTOR OF THE DEPARTMENT OF PUBLIC WORKS.
 - (2) THE ADMINISTRATION OF THIS SECTION, AS IT AFFECTS COUNTY FACILITIES AND ACTIVITIES, IS THE RESPONSIBILITY OF THE DIRECTOR OF THE DEPARTMENT OF PUBLIC WORKS.
 - (3) THE ADMINISTRATION OF THIS SECTION AS IT AFFECTS OTHER BUILDING, GRADING, AND RELATED ACTIVITIES IS THE RESPONSIBILITY OF THE CHIEF BUILDING OFFICIAL.
 - (4) ANY SOILS OR GEOLOGIC REPORTS PREPARED FOR ANY PROJECT WHERE A GRADING PERMIT IS SUBMITTED AS A PART OF A TENTATIVE SUBDIVISION MAP APPLICATION, OR RELATED ENVIRONMENTAL DOCUMENT, SHALL BE PLACED IN THE RECORDS OF THE CHIEF BUILDING OFFICIAL.
 - b. EROSION AND SEDIMENTATION CONTROL. THESE MINIMUM EROSION AND SEDIMENTATION CONTROL STANDARDS SHALL APPLY TO ALL PROJECTS REQUIRING BUILDING, GRADING, AND DEVELOPMENT PERMITS, AND COUNTY OF HENNINGSON PUBLIC WORKS ACTIVITIES, TO PREVENT SEDIMENTATION OR DAMAGE TO ON-SITE AND OFF-SITE PROPERTY. THESE STANDARDS SHALL BE INCORPORATED INTO THE PROJECT DESIGN AND SHALL BE ADHERED TO DURING PROJECT CONSTRUCTION:
 - (1) GENERAL GUIDELINES
 - (a) MINIMIZE SOIL EXPOSURE DURING THE RAINY SEASON BY PROPER TIMING OF GRADING AND CONSTRUCTION.
 - (b) RETAIN TREES AND NATURAL VEGETATION TO STABILIZE HILLSIDES, RETAIN MOISTURE, REDUCE EROSION, MINIMIZE SILTATION AND NUTRIENT RUNOFF AND PRESERVE SCENIC QUALITIES.
 - (c) VEGETATE AND MULCH DENUDATED AREAS TO PROTECT THEM FROM WINTER RAINS.
 - (d) DIVERT RUNOFF AWAY FROM STEEP, DENUDATED SLOPES OR OTHER CRITICAL AREAS WITH BARRIERS, BEWS, DITCHES OR OTHER FACILITIES.
 - (e) LIMIT CONSTRUCTION, CLEARING OF VEGETATION AND DISTURBANCE OF THE SOIL TO AREAS OF PROVEN STABILITY. MITIGATE GEOLOGIC HAZARDOUS AND ADVERSE SOIL CONDITIONS WHEN THEY ARE ENCOUNTERED.
 - (f) REDUCE SEDIMENT TRANSPORT OFF THE SITE TO THE MAXIMUM EXTENT FEASIBLE THROUGH THE USE OF BEST MANAGEMENT PRACTICES (BMPs).

- (c) PROPOSE A NEW OR MODIFIED EROSION AND SEDIMENT CONTROL TECHNIQUE IF THE TECHNIQUE IS PREFERRED AND MEETS THE INTENT OF THESE REGULATIONS. OBTAIN APPROVAL FROM THE COUNTY PRIOR TO IMPLEMENTATION.
 - (f) CONDUCT FREQUENT SITE INSPECTIONS TO ENSURE THAT CONTROL MEASURES ARE WORKING PROPERLY AND TO CORRECT PROBLEMS AS NEEDED.
 - (g) EMPLOY OTHER MEANS OF EROSION AND SEDIMENT CONTROL AS REQUIRED BY THE CHIEF BUILDING OFFICIAL OR DIRECTOR OF THE DEPARTMENT OF PUBLIC WORKS AS APPLICABLE.
- (2) SEDIMENT CONTROL**
- (a) USE SEDIMENT BASINS, SILT TRAPS, OR SIMILAR MEASURE TO RETAIN SEDIMENT TRANSPORTED BY RUNOFF WATER ON-SITE.
 - (b) COLLECT AND DIRECT SURFACE RUNOFF AT NON-EROSIVE VELOCITIES TO THE COMMON NATURAL WATERCOURSE OF THE DRAINAGE AREA.
 - (c) AVOID CONCENTRATING SURFACE WATER ANYWHERE EXCEPT SWALES OR WATERCOURSES.
 - (d) PREVENT MUD FROM BEING TRACKED ONTO THE PUBLIC ROADWAY BY TRAVELING OVER A TEMPORARY GRAVEL CONSTRUCTION ENTRANCE OR WASHING OFF VEHICLE TIRES BEFORE ENTERING A PUBLIC OR PRIVATE DRIVEWAY.
- (3) SLOPE CONSTRUCTION**
- (a) MINIMIZE LENGTH AND STEEPNESS OF SLOPES BY BENCHING, TERRACING OR CONSTRUCTING DIVERSION STRUCTURES.
 - (b) PRESERVE, MATCH, OR BLEND CUTS AND FILLS WITH THE NATURAL CONTOURS AND UNDRULATIONS OF THE LAND.
 - (c) ROUND SHARP ANGLES AT THE TOP AND SIDES OF CUT AND FILL SLOPES.
 - (d) MAINTAIN CUT AND FILL SLOPES AT LESS THAN TWO-TO-ONE (2:1, RUN:RISE) SLOPE UNLESS A GEOLOGICAL AND ENGINEERING ANALYSIS INDICATES THAT STEEPER SLOPES ARE SAFE AND EROSION AND SEDIMENT CONTROL MEASURES CAN SUCCESSFULLY PREVENT EROSION.
- (4) PROTECTION OF WATERCOURSES AND DRAINAGE INLETS**
- (a) PREPARE DRAINAGEWAYS TO HANDLE CONCENTRATED OR INCREASED RUNOFF FROM DISTURBED AREAS BY USING APPROPRIATE LINING MATERIALS OR ENERGY ABSORBING DEVICES TO REDUCE THE VELOCITY OF RUNOFF WATER.
 - (b) TRAP SEDIMENT-LADEN RUNOFF IN BASINS TO ALLOW SOIL PARTICLES TO SETTLE OUT BEFORE FLOWS ARE RELEASED TO RECEIVING WATERS, STORM DRAINS, STREETS OR ADJACENT PROPERTY. THIS STANDARD IS NOT MANDATORY FOR GRADING. THE SITE IS FULLY WINTERIZED AND STABILIZED PRIOR TO AND WHEN CONDUCTED BETWEEN APRIL 15 AND OCTOBER 15. REMOVE TRAPPED SEDIMENT TO A SATISFACTORIAL LOCATION ON-SITE OR AT A DISPOSAL SITE APPROVED BY THE COUNTY.
 - (c) DO NOT GRAZE OR DRIVE EQUIPMENT IN A STREAMSIDE MANAGEMENT OR OTHER NET AREAS EXCEPT AS ALLOWED THROUGH THE COUNTY STREAMSIDE MANAGEMENT AREA ORDINANCE.
 - (d) DEPOSIT OR STORE EXCAVATED MATERIALS AWAY FROM WATERCOURSES.
 - (e) PROTECT ALL EXISTING OR NEWLY INSTALLED STORM DRAINAGE STRUCTURES FROM SEDIMENT CLOGGING.
 - (f) USE STRAW BALES, FILTER FABRIC WRAPS AND DRAINAGE INLET PROTECTIONS IN A MANNER THAT DOES NOT CAUSE ADDITIONAL EROSION OR FLOODING OF A ROADWAY.
- (5) DISPOSAL OF EXCAVATED MATERIALS**
- (a) STOCKPILE TOPSOIL ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.
 - (b) PLACE STOCKPILED SOIL IN LOCATIONS, SO THAT IF EROSION OCCURS, IT WILL NOT CONTRIBUTE TO OFFSITE SEDIMENT DISCHARGE.
 - (c) PROTECT STOCKPILED SOIL PROMPTLY THROUGH THE USE OF APPROPRIATE BARRIERS TO REDUCE THE RISK OF EROSION AND SEDIMENT TRANSPORT. APPLY MULCH OR OTHER PROTECTIVE COVERINGS ON STOCKPILED MATERIAL THAT WILL BE EXPOSED THROUGHOUT THE WINTER SEASON.
 - (d) DISPOSE OF EXCAVATED MATERIAL NOT USED AT THE SITE AT A LOCATION APPROVED BY THE COUNTY.
- (6) DUST CONTROL**
- (a) ALL CONSTRUCTION AREAS, INCLUDING DISPOSAL SITES, SHALL BE TREATED AND MAINTAINED AS NECESSARY TO MINIMIZE THE EMISSION OF DUST. MAINTENANCE SHALL BE CONDUCTED AS NECESSARY TO PREVENT A NUISANCE TO OFFSITE PROPERTIES.
 - (b) ALL CONSTRUCTION SITES, INCLUDING DRIVEWAYS, SHALL BE MAINTAINED AS NECESSARY TO MINIMIZE THE EMISSION OF DUST AND PREVENT THE CREATION OF A NUISANCE TO ADJACENT PROPERTIES.
- (7) REVEGETATION**
- (a) APPLY TEMPORARY SEEDING AND MULCHING TO DENUDATED AREAS PRIOR TO OCTOBER 15 UNLESS THE PROJECT IS CONDITIONED OTHERWISE.
 - (b) ESTABLISH A PERMANENT VEGETATIVE COVER ON DENUDATED AREAS NOT OTHERWISE STABILIZED. PERMANENT VEGETATION GROUND COVER MUST CONTROL SOIL EROSION SATISFACTORILY AND SURVIVE SEVERE WEATHER CONDITIONS.
 - (c) RETAIN A VEGETATIVE BARRIER WHENEVER POSSIBLE AROUND PROPERTY BOUNDARIES.
 - (d) USE SELF-SUSTAINING, NON-INVASIVE PLANTS THAT REQUIRE LITTLE OR NO MAINTENANCE AND DO NOT CREATE AN EXTREME FIRE HAZARD.
 - (e) USE NATIVE PLANT SPECIES WHENEVER FEASIBLE.



TYP. A/C ROAD SECTION SCALE: N.T.S. 1

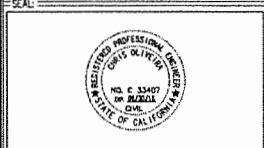
PROPRIETARY INFORMATION
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PROJECT INFORMATION
ZEE ESTATES
 GATE LANE 100'S SOUTH EAST OF THE INTERSECTION OF GATE LANE AND SAKUM FALLS ROAD
 PLOT #11, CA 95064

REV.	DATE	DESCRIPTION	BY
1	6-29-17	50% ZONING DOC'S	RB
1	8-3-17	50% ZONING DOC'S	ALP
2	8-9-17	100% ZONING DOC'S	ALP

COORDINATING ENGINEER:
Peek Site-Com
 12852 Earhart Ave. Suite 101
 Auburn, California 95602
 Phone (530) 885-6160
 E-Mail info@peeksitcom.com



SITE # _____ CHK. _____ DRAWN BY: _____
 CVL03429 _____ RB
 SHEET TITLE:
GRADING NOTES & DETAILS
 SHEET NUMBER _____ REVISION _____

C-4 0

PROPRIETARY INFORMATION
 THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO PECK SITE-COM IS STRICTLY PROHIBITED

CLIENT:



5001 EXECUTIVE PKWY
 SAN RAMON, CA 94583

PROJECT INFORMATION:

ZEE ESTATES
 DATE LANE 1,000' SOUTH EAST OF THE INTERSECTION OF GATE LANE AND SALMON FALLS ROAD
 PECK HILL, CA 94554


REV. DATE DESCRIPTION BY

1	6-29-17	90% ZONING DOC'S	RB
1	8-3-17	90% ZONING DOC'S	ALP
2	8-9-17	100% ZONING DOC'S	ALP

COORDINATING ENGINEER:

Peek Site-Com
 12852 Earhart Ave. Suite 101
 Auburn, California 95602
 Phone (530) 885-6160
 E-Mail info@peeksitecom.com

SEAL:



SITE # CVL03629

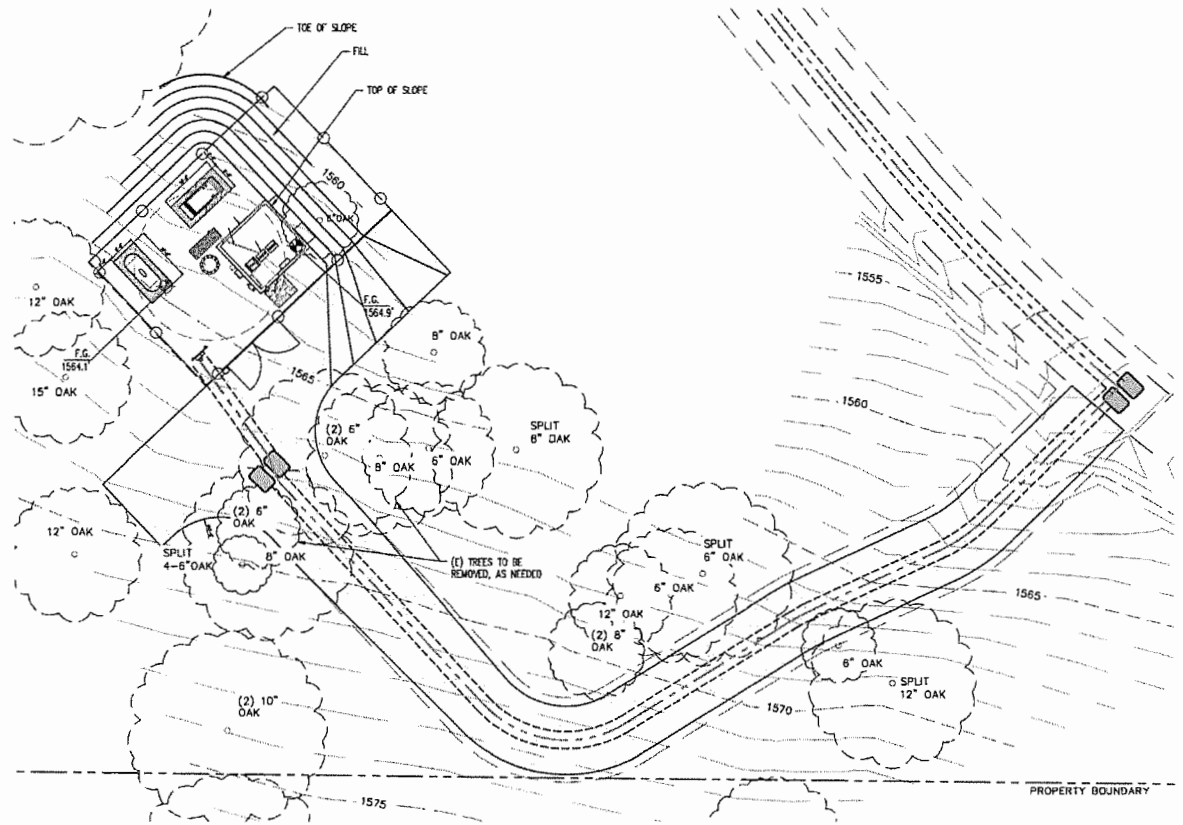
CHK. RB


DRAWN BY: RB

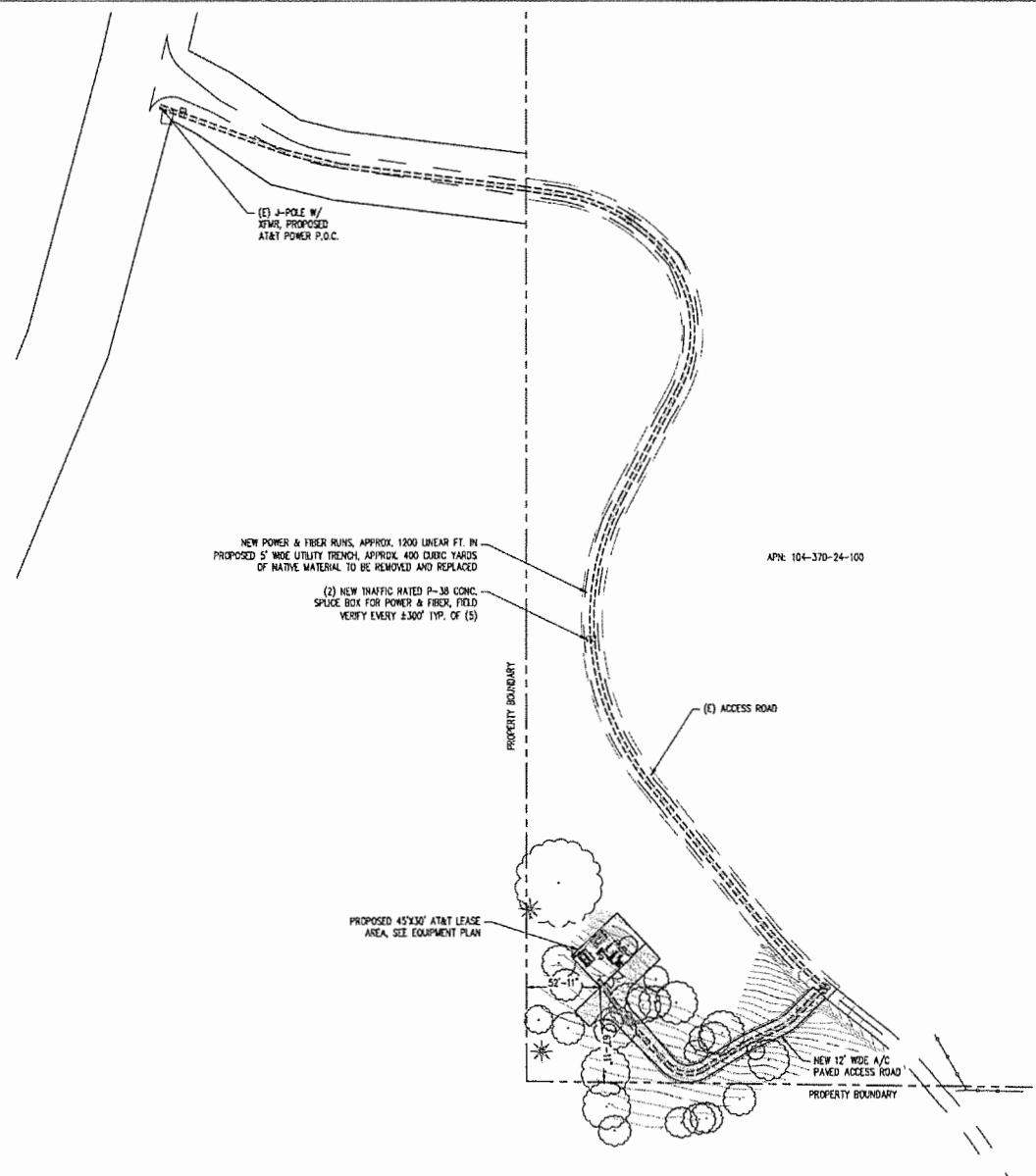
SHEET TITLE: **PRELIMINARY GROUNDING PLAN**

SHEET NUMBER: C-5

REVISION: 0



PRELIMINARY GRADING PLAN  SCALE: 1"=10'-0"



NEW POWER & FIBER RUNS, APPROX. 1000 LINEAR FT. IN PROPOSED 5' WIDE UTILITY TRENCH, APPROX. 400 CUBIC YARDS OF NATIVE MATERIAL TO BE REMOVED AND REPLACED

(2) NEW TRAFFIC RATED #38 CONC. SPLICE BOX FOR POWER & FIBER, FIELD VERIFY EVERY 1300' TYP. OF (5)

APN: 104-370-24-100

PROPRIETARY INFORMATION
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CLIENT:

5001 EXECUTIVE PKWY
 SAN RAMON, CA 94583

PROJECT INFORMATION:

ZEE ESTATES
 GATE LANE 1.000' SOUTH EAST OF THE INTERSECTION OF GATE LANE AND SALMON FALLS ROAD
 PUEBLO, CA 95668

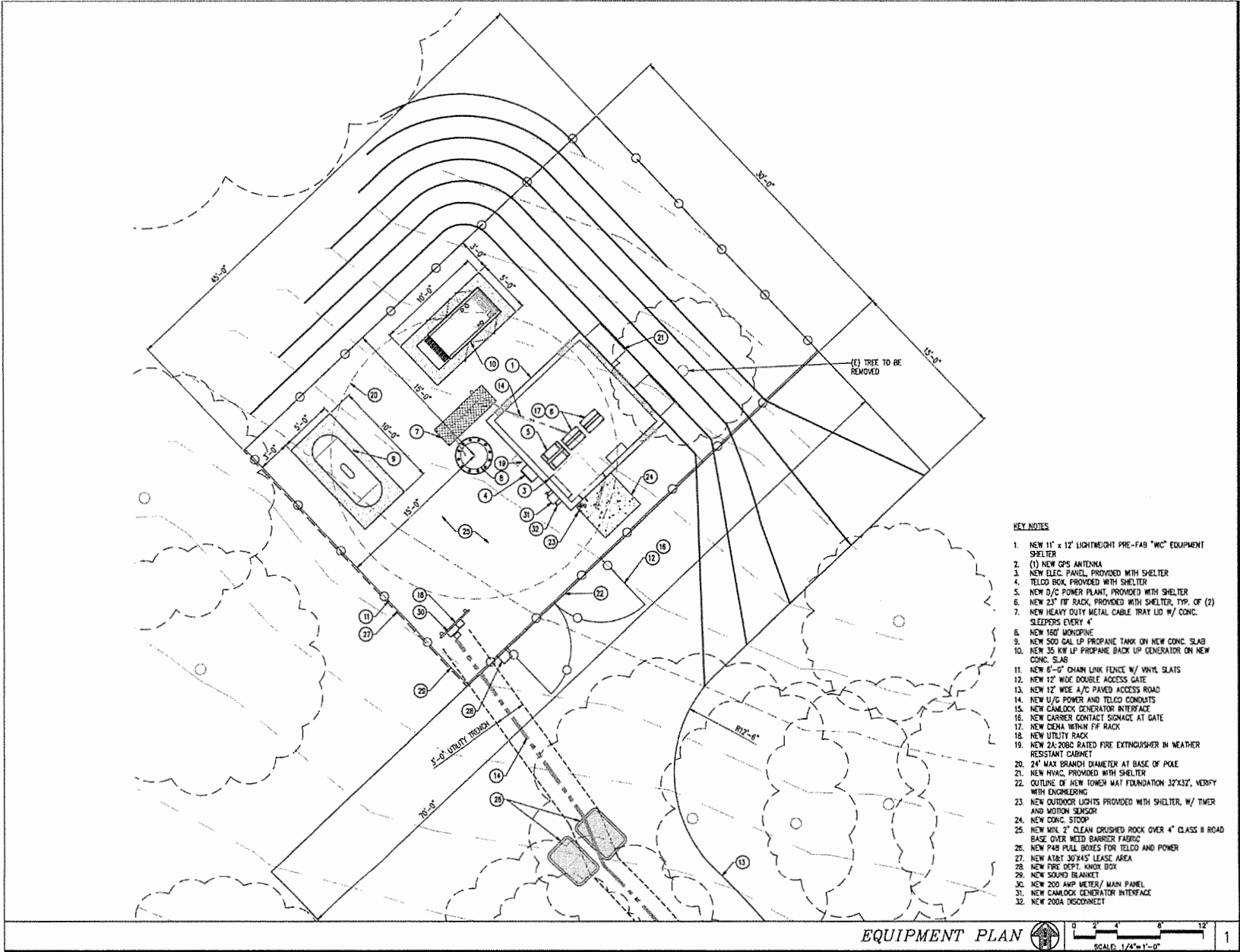
REV.	DATE	DESCRIPTION	BY
1	8-29-17	90% ZONING DOC'S	RB
1	8-3-17	90% ZONING DOC'S	ALP
2	8-9-17	100% ZONING DOC'S	ALP

COORDINATING ENGINEER:

Peek Site-Com
 12852 Earhart Ave., Suite 101
 Auburn, California 95602
 Phone (530) 885-6160
 E-Mail info@peeksitecom.com

SEAL:

SITE #	CHK.	DRAWN BY:
CVL03429	...	RB
SHEET TITLE:		
SITE PLAN		
SHEET NUMBER:	REVISION:	
A-1	0	



- KEY NOTES**
1. NEW 11' x 12' LIGHTWEIGHT PRE-FAB "WC" EQUIPMENT SHELTER
 2. (1) NEW GPS ANTENNA
 3. NEW ELEC. PANEL, PROVIDED WITH SHELTER
 4. TELCO BOX, PROVIDED WITH SHELTER
 5. NEW D/C POWER PLANT, PROVIDED WITH SHELTER
 6. NEW 23' TIF RACK, PROVIDED WITH SHELTER, TYP. OF (2)
 7. NEW HEAVY DUTY METAL CABLE TRAY LID W/ CONC. SLEEPERS EVERY 4'
 8. NEW 160' WORKBENCH
 9. NEW 500 GAL LP PROPANE TANK ON NEW CONC. SLAB
 10. NEW 35 KW LP PROPANE BACK UP GENERATOR ON NEW CONC. SLAB
 11. NEW 6'-0" CHAIN LINK FENCE W/ VINYL SLATS
 12. NEW 10' WIDE DOUBLE ACCESS ROAD
 13. NEW 12' WIDE A/C PAVED ACCESS ROAD
 14. NEW U/C POWER AND TELCO CONDUITS
 15. NEW CAMLOCK GENERATOR INTERFACE
 16. NEW GARNER CONTACT SIGNAGE AT GATE
 17. NEW CENNA WITHIN TIF RACK
 18. NEW UTILITY RACK
 19. NEW 2A-20BC RATED FIRE EXTINGUISHER IN WEATHER RESISTANT CABINET
 20. 24" MAX BRANCH DIAMETER AT BASE OF POLE
 21. NEW HVAC, PROVIDED WITH SHELTER
 22. OUTLINE OF NEW TOWER MAT FOUNDATION 32'X32', VERIFY WITH ENGINEERING
 23. NEW OUTDOOR LIGHTS PROVIDED WITH SHELTER, W/ TIMER AND MOTION SENSOR
 24. NEW CONC. STOOD
 25. NEW MIN. 2" CLEAN CRUSHED ROCK OVER 4" CLASS II ROAD BASE OVER WEED BARRIER FABRIC
 26. NEW PAB PULL BOXES FOR TELCO AND POWER
 27. NEW AT&T 30'X45' LEASE AREA
 28. NEW FIRE DEPT. KNOX BOX
 29. NEW SOUND BARRIER
 30. NEW 200 AMP METER/ MAIN PANEL
 31. NEW CAMLOCK GENERATOR INTERFACE
 32. NEW 200A DISCONNECT

PROPRIETARY INFORMATION
 THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO PEEK SITE-COM IS STRICTLY PROHIBITED

CLIENT:

5001 EXECUTIVE PKWY
 SAN RAMON, CA 94583

PROJECT INFORMATION:

ZEE ESTATES
 CAVE LAKE LANE SOUTH EAST OF THE INTERSECTION OF CAVE LAKE AND SAUGH FALLS ROAD
 PLOUT HILL, CA 95864

REV.	DATE	DESCRIPTION	BY
1	6-29-17	90% ZONING DOC'S	RE
1	8-3-17	90% ZONING DOC'S	ALP
2	8-9-17	100% ZONING DOC'S	ALP

COORDINATING ENGINEER:

Peek Site-Com
 12852 Earhart Ave., Suite 101
 Auburn, California 95602
 Phone (530) 885-6160
 E-Mail info@peeksitocom.com

SEAL:

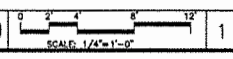
SITE #	CHK	DRAWN BY
CVL03629	...	RE

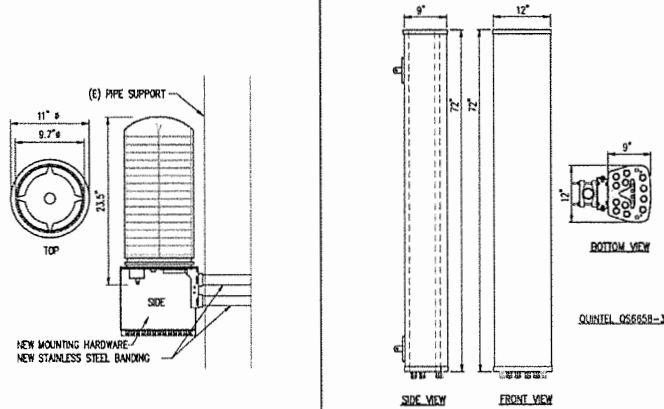
SHEET TITLE:

EQUIPMENT PLAN

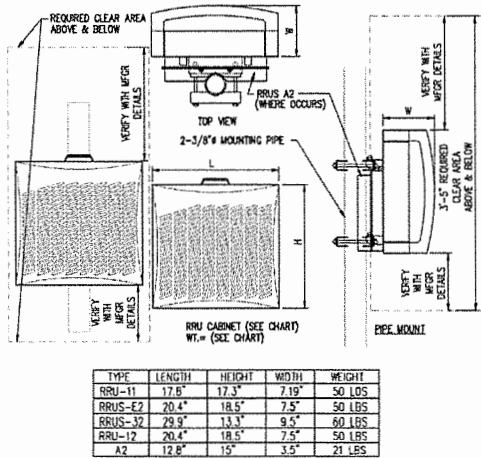
SHEET NUMBER	REVISION
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A-2 0





SURGE SUPP. DETAIL SCALE: N.T.S. 5 **ANTENNA DETAIL** SCALE: N.T.S. 3



TYPE	LENGTH	HEIGHT	WIDTH	WEIGHT
RRU-11	17.6"	17.3"	7.19"	50 LBS
RRUS-E2	20.4"	18.5"	7.5"	50 LBS
RRUS-32	28.9"	13.3"	9.5"	60 LBS
RRU-12	20.4"	18.5"	7.5"	50 LBS
A2	12.8"	15"	3.5"	21 LBS

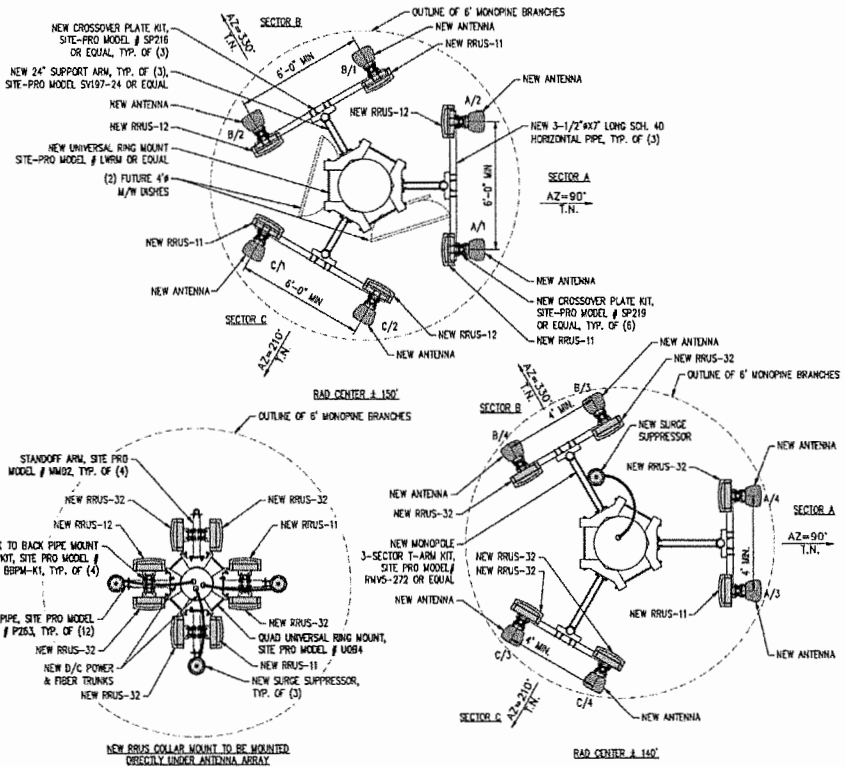
NOTE: SEE RF SHEET FOR RRU PLACEMENT

RRU DETAIL SCALE: N.T.S. 4

RF SCHEDULE

SECTOR/POS.	ANTENNA MODEL	RAD CENTER	PHYSICAL AZ/MUTH	RRU	TMA	FIBER LENGTH	COAX LENGTH	COAX DIA.	NO.
A/1	OS6656-3	± 150'	90°	(1) RRU-11 & (1) RRU-32 B2	N/A	± 220'	± N/A	N/A	-
A/2	OS6656-3	± 150'	90°	(1) RRU-12 & (1) RRU-32 B66	N/A	± 220'	± N/A	N/A	-
A/3	OS6656-3	± 140'	90°	(1) RRU-11	N/A	± 210'	± N/A	N/A	-
A/4	OS6656-3	± 140'	90°	(1) RRU-32 B30	N/A	± 210'	± N/A	N/A	-
B/1	OS6656-3	± 150'	330°	(1) RRU-11 & (1) RRU-32 B2	N/A	± 220'	± N/A	N/A	-
B/2	OS6656-3	± 150'	330°	(1) RRU-11, (1) RRU-12 & (1) RRU-32 B66	N/A	± 220'	± N/A	N/A	-
B/3	OS6656-3	± 140'	330°	(1) RRU-32 B30	N/A	± 210'	± N/A	N/A	-
B/4	OS6656-3	± 140'	330°	(1) RRU-32 B30	N/A	± 210'	± N/A	N/A	-
C/1	OS6656-3	± 150'	210°	(1) RRU-11 & (1) RRU-32 B2	N/A	± 220'	± N/A	N/A	-
C/2	OS6656-3	± 150'	210°	(1) RRU-11, (1) RRU-12 & (1) RRU-32 B66	N/A	± 220'	± N/A	N/A	-
C/3	OS6656-3	± 140'	210°	(1) RRU-32 B30	N/A	± 210'	± N/A	N/A	-
C/4	OS6656-3	± 140'	210°	(1) RRU-32 B30	N/A	± 210'	± N/A	N/A	-

RF SCHEDULE SCALE: N.T.S. 1



ANTENNA PLAN SCALE: 3/8"=1'-0" 2

PROPRIETARY INFORMATION
 THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO PEAK SITE-COM IS STRICTLY PROHIBITED

CLIENT:

5001 EXECUTIVE PKWY
 SAN RAMON, CA 94583

PROJECT INFORMATION:

ZEE ESTATES
 DATE LANE 1.000' SOUTH EAST OF THE INTERSECTION OF DATE LANE AND SALMON FALLS ROAD
 PLOT NO. CA 95564

REV #	DATE	DESCRIPTION	BY
1	6-29-17	50% ZONING DOC'S	RD
1	8-3-17	90% ZONING DOC'S	ALP
2	8-9-17	100% ZONING DOC'S	ALP

COORDINATING ENGINEER:

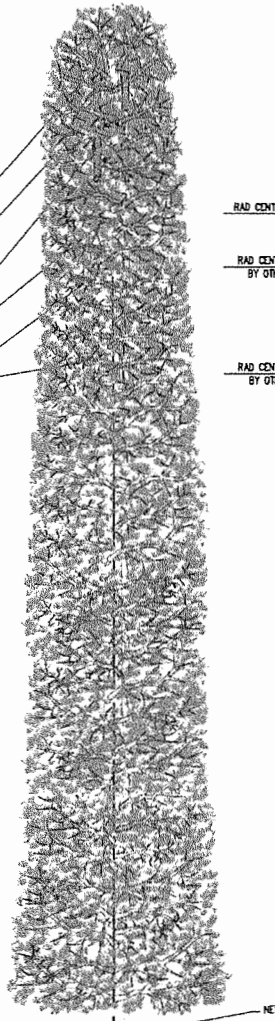
Peek Site-Com
 12852 Earhart Ave. Suite 101
 Auburn, California 95602
 Phone (530) 885-6160
 E-Mail info@peaksitecom.com

SEAL:

SITE #	CHK	DRAWN BY
CVL03629		RB
SHEET TITLE	ANTENNA PLAN & DETAILS	
SHEET NUMBER	REVISION	

A-3 0

- TOP OF MONOPINE BRANCHES @ ±160' AGL
- OVERALL HEIGHT OF MONOPINE @ ±153' AGL
- TOP OF AT&T ANTENNAS @ ±153' AGL
- AT&T RAD CENTER @ ±150' AGL
- AT&T RAD CENTER @ ±140' AGL
- BOTTOM OF AT&T ANTENNAS @ ±137' AGL
- NEW AT&T ANTENNA, TYP. OF (4) PER SECTOR FOR A TOTAL OF (12)
- NEW RSU, TYP. OF (21), MOUNTED ON RSU COLLAR MOUNT BELOW ANTENNAS
- NEW SURGE SUPPRESSOR, TYP. OF (3) (2) FUTURE 4' M/W DISHES
- FUTURE ANTENNAS BY OTHER CARRIERS



- RAD CENTER OF FUTURE MICROWAVE DISH @ ±152'-6" AGL
- RAD CENTER OF FUTURE ANTENNAS BY OTHER CARRIER @ ±125' AGL
- RAD CENTER OF FUTURE ANTENNAS BY OTHER CARRIER @ ±110' AGL

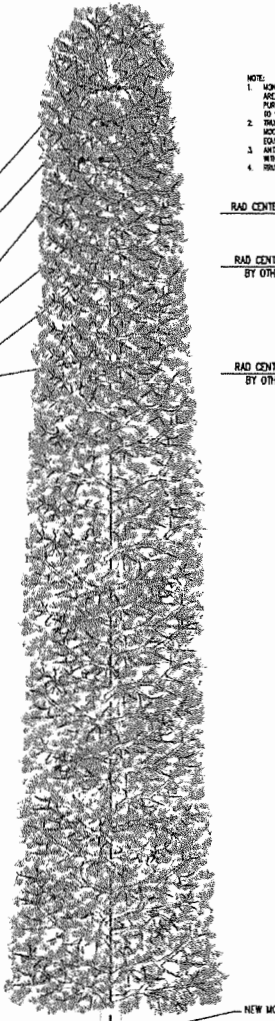
- START OF MONOPINE BRANCHES @ ±20' AGL
- FINISH GRADE @ 0' AGL

- NEW MONOPINE
- NEW D/C & FIBER TRUNK
- NEW GPS ANTENNA
- NEW LIGHTWEIGHT PRE-FAB SHELTER
- NEW 6' CHAIN LINK FENCE

SOUTH ELEVATION

SCALE: 1/8"=1'-0" 2

- TOP OF MONOPINE BRANCHES @ ±160' AGL
- OVERALL HEIGHT OF MONOPINE @ ±153' AGL
- TOP OF AT&T ANTENNAS @ ±153' AGL
- AT&T RAD CENTER @ ±150' AGL
- AT&T RAD CENTER @ ±140' AGL
- BOTTOM OF AT&T ANTENNAS @ ±137' AGL
- NEW AT&T ANTENNA, TYP. OF (4) PER SECTOR FOR A TOTAL OF (12)
- NEW RSU, TYP. OF (21), MOUNTED ON RSU COLLAR MOUNT BELOW ANTENNAS
- NEW SURGE SUPPRESSOR, TYP. OF (3) (2) FUTURE 4' M/W DISHES
- FUTURE ANTENNAS BY OTHER CARRIERS



- RAD CENTER OF FUTURE MICROWAVE DISH @ ±152'-6" AGL
- RAD CENTER OF FUTURE ANTENNAS BY OTHER CARRIER @ ±125' AGL
- RAD CENTER OF FUTURE ANTENNAS BY OTHER CARRIER @ ±110' AGL

- START OF MONOPINE BRANCHES @ ±20' AGL
- FINISH GRADE @ 0' AGL

- NEW MONOPINE
- NEW D/C & FIBER TRUNK
- NEW LIGHTWEIGHT PRE-FAB SHELTER
- NEW GPS ANTENNA
- NEW DOUBLE ACCESS GATE
- NEW CHAIN LINK FENCE

NORTH ELEVATION

SCALE: 1/8"=1'-0" 1

- NOTE:
1. MONOPINE BRANCHES SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE NOT TO SCALE.
 2. TRUNK TO BE PAINTED KELLY BROWN 100 GAIN BROWN OF EQUAL.
 3. ANTENNAS TO BE COLORED NEW ANTENNA SODS.
 4. RSUS TO BE PAINTED BROWN.

PROPRIETARY INFORMATION
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5001 EXECUTIVE PKWY
 SAN RAMON, CA 94583

PROJECT INFORMATION:

ZEE ESTATES
 GATE LANE 1.000' SOUTH EAST OF THE INTERSECTION OF GATE LANE AND SALMON FALLS ROAD
 PEAK, CALIF. 94564

REV.	DATE	DESCRIPTION	BY
1	6-29-17	SIX ZONING DOC'S	RB
1	8-3-17	SIX ZONING DOC'S	ALP
2	8-9-17	100% ZONING DOC'S	ALP

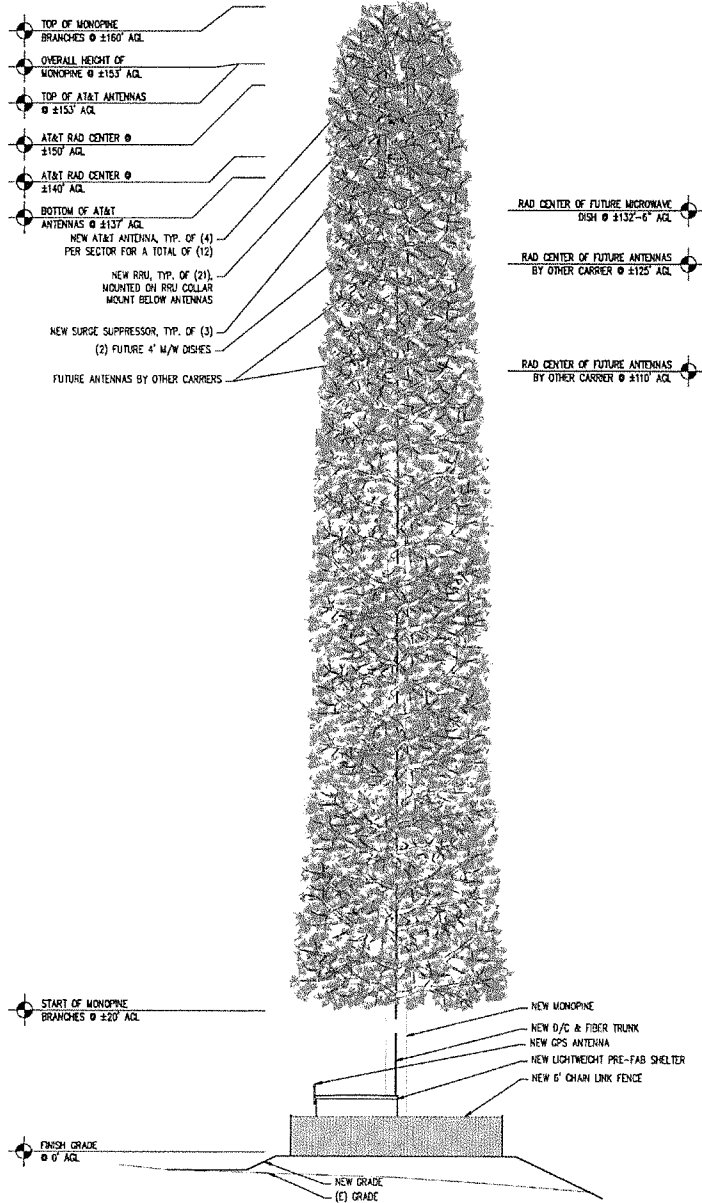
COORDINATING ENGINEER:

Peek Site-Com
 12852 Earhart Ave., Suite 101
 Auburn, California 95602
 Phone (530) 855-6160
 E-Mail info@peeksitecom.com



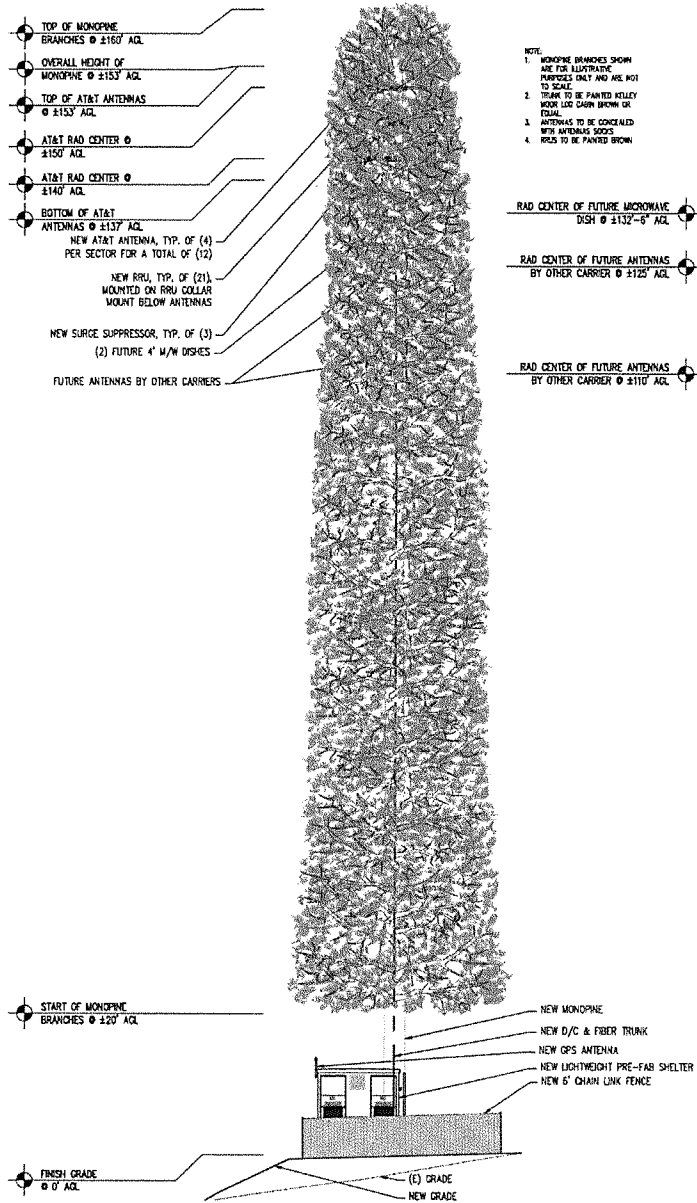
SHEET TITLE: **ELEVATIONS**

SITE #	CHK.	DRAWN BY:
CAL03629		RB
SHEET NUMBER:	REVISION:	
A-4	0	



WEST ELEVATION

SCALE: 1/8"=1'-0" 2




EAST ELEVATION

SCALE: 1/8"=1'-0" 1

NOTE:
 1. MONOPINE BRANCHES SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE NOT TO SCALE.
 2. TRUNK TO BE PAINTED KELLEY WOOD LOG DARK BROWN OR RED.
 3. ANTENNAS TO BE CONCEALED WITH ANTENNAS SOCKS.
 4. HOLES TO BE PAINTED BROWN.

PROPRIETARY INFORMATION
 THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY BY NATURE. ANY USE, OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO PEAK SITE-CDM IS STRICTLY PROHIBITED

CLIENT: _____



5001 EXECUTIVE PKWY
 SAN RAMON, CA 94583

PROJECT INFORMATION:


ZEE ESTATES
 GATE LANE 1,000' SOUTH EAST OF THE INTERSECTION OF GATE LANE AND SALMON FALLS ROAD
 PLOTT HILL, CA 95664

REV	DATE	DESCRIPTION	BY:
1	8-29-17	50% ZONING DOC'S	RB
1	8-3-17	50% ZONING DOC'S	ALP
2	8-9-17	100% ZONING DOC'S	ALP

COORDINATING ENGINEER: _____

Peek Site-Com
 12852 Earhart Ave. Suite 101
 Auburn, California 95602
 Phone (530) 885-8160
 E-Mail info@peeksitacom.com

SEAL: _____



SITE # _____ CHK _____ DRAWN BY: _____
 CVL03629 ... RB
 SHEET TITLE:
ELEVATIONS
 SHEET NUMBER: _____ REVISION: _____
A-4.1 0

APPROVED
EL DORADO COUNTY

PLANNING COMMISSION
Board of Supervisors
September 2013
Rogers Road
SECRET

Existing



Proposed



view from Gate Lane looking northwest at site


 **AT&T Wireless**
C/L 01629 Zee Estates
850 Gate Lane, Pitt Hill, CA
Photos were Produced on 7-25-2017

Exhibit G

AdvanceSim
PLANNING CONSULTANTS
CONTACT (925) 202-8507

Site 6 Zee Estates

Existing



Proposed



view from Safest Trail looking southeast at site

AdvanceSim
Photo Simulation Software
Contact (925) 202-8507

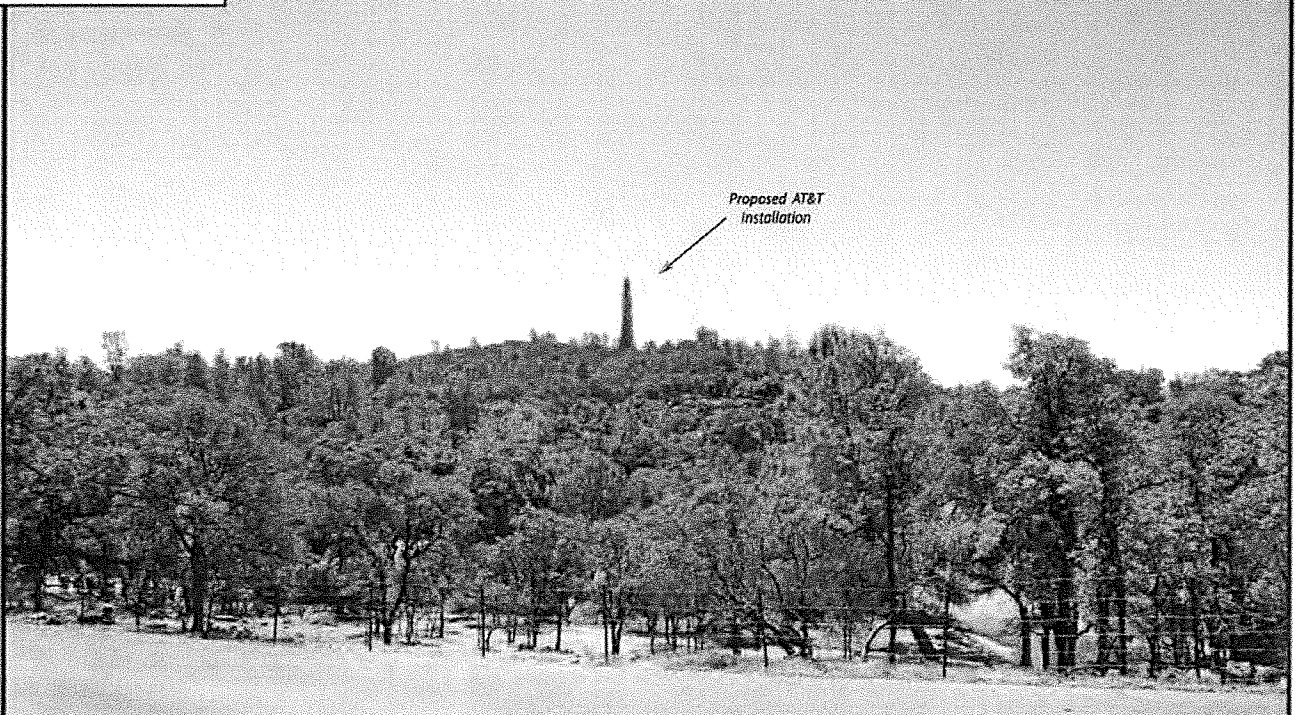
 **AT&T Wireless**

CYL03629 Zoo Entries
850 Gate Lane, Pitts Hill, CA
Photosims Produced on 7-21-2017

Existing



Proposed



view from Pilot View Drive looking southeast at site



CVL03629 Zee Estates
850 Gate Lane, Pilot Hill, CA
Photosims Produced on 7-21-2017

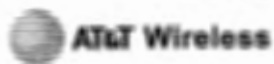
Existing



Proposed



view from Salmon Falls Road looking southwest at site



*CVL00629 Zoo Encms
850 Gate Lane, Pitts Hill, CA
Photosims Produced on 7-25-2017*





CVL03629 Zoo Estates
850 Gate Lane, Pilot Hill, CA
Photosim Produced on 7-25-2017



CVL03629 Zoning Propagation Map

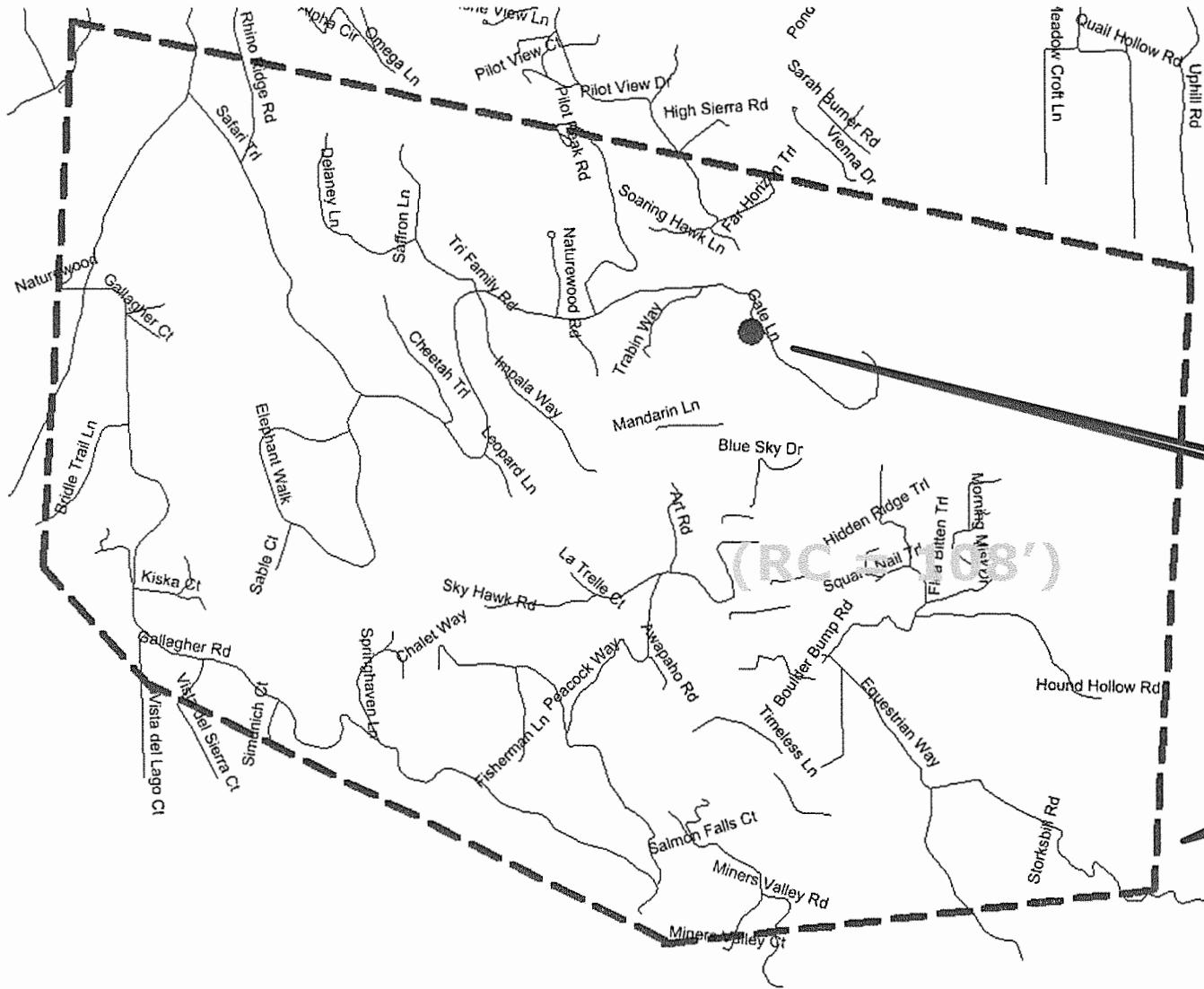
June 13, 2017

APPROVED
EL DORADO COUNTY
ZONING COMMISSION
Board of Supervisors
September 11, 2018
Roger [unclear]
SECRET






Exhibit H

Site 6 Zee Estates

EXISTING LTE 700 Coverage (RC = 150')



Legend

-  In-Building Service
-  In-Transit Service
-  Outdoor Service
-  Existing site
-  Proposed site

Zee Estates

Living Units Polygon

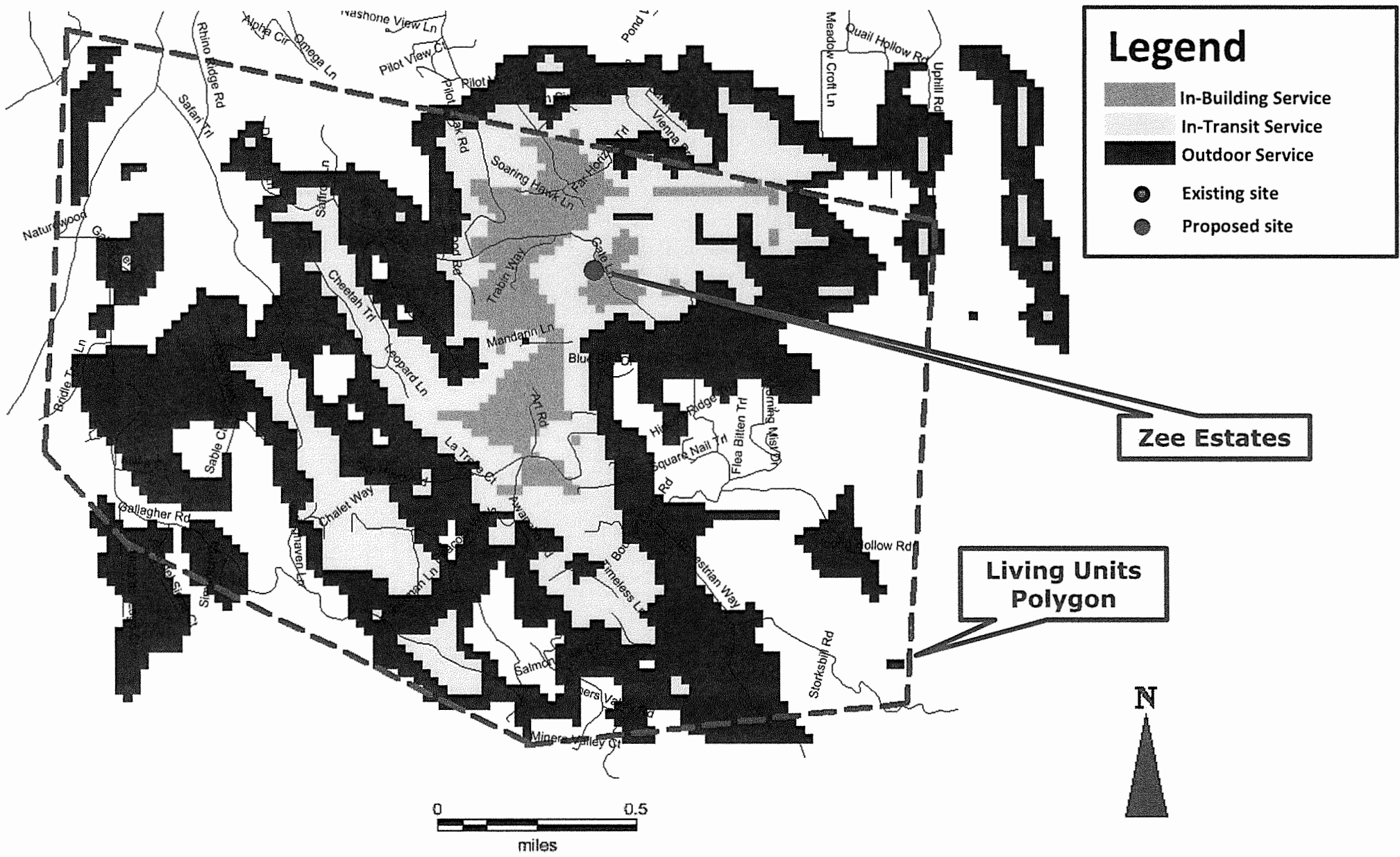
June 13, 2017



Scale: 1:22,660



PROPOSED LTE 700 Coverage (RC = 150')

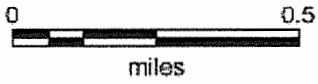


Legend

- In-Building Service
- In-Transit Service
- Outdoor Service
- Existing site
- Proposed site

Zee Estates

Living Units Polygon



June 13, 2017

Scale: 1:22,660





WATERFORD
COMPLIANCE...FROM START TO SIGNAL

APPROVED
EL DORADO COUNTY
PLANNING COMMISSION
Board of Supervisors
DATE September 11, 2018
BY Roger Trout / Cont

Radio Frequency Emissions Compliance Report For AT&T Mobility

Site Name: Zee Estates	Site Structure Type: Monopine
Address: Gate Lane 1,000' South East of the intersection of Gate Lane and Salmon Falls Road Pilot Hill, CA	Latitude: 38.810023
Report Date: July 17, 2017	Longitude: -121.020325
	Project: New Build

General Summary

AT&T Mobility has contracted Waterford Consultants, LLC to conduct a Radio Frequency Electromagnetic Compliance assessment of the proposed Zee Estates site located at Gate Lane 1,000' South East of the intersection of Gate Lane and Salmon Falls Road, Pilot Hill, CA. This report contains information about the radio telecommunications equipment to be installed at this site and the surrounding environment with regard to RF Hazard compliance. This assessment is based on installation designs and operational parameters provided by AT&T Mobility.

The compliance framework is derived from the Federal Communications Commission (FCC) Rules and Regulations for preventing human exposure in excess of the applicable Maximum Permissible Exposure ("MPE") limits. At any location at this site, the power density resulting from each transmitter may be expressed as a percentage of the frequency-specific limits and added to determine if 100% of the exposure limit has been exceeded. The FCC Rules define two tiers of permissible exposure differentiated by the situation in which the exposure takes place and/or the status of the individuals who are subject to exposure. General Population / Uncontrolled exposure limits apply to those situations in which persons may not be aware of the presence of electromagnetic energy, where exposure is not employment-related, or where persons cannot exercise control over their exposure. Occupational / Controlled exposure limits apply to situations in which persons are exposed as a consequence of their employment, have been made fully aware of the potential for exposure, and can exercise control over their exposure.

Frequency (MHz)	Limits for General Population/ Uncontrolled Exposure		Limits for Occupational/ Controlled Exposure	
	Power Density (mW/cm ²)	Averaging Time (minutes)	Power Density (mW/cm ²)	Averaging Time (minutes)
30-300	0.2	30	1	6
300-1500	f/1500	30	f/300	6
1500-100,000	1.0	30	5.0	6

f=Frequency (MHz)

In situations where the predicted MPE exceeds the General Population threshold in an accessible area as a result of emissions from multiple transmitters, FCC licensees that contribute greater than 5% of the aggregate MPE share responsibility for mitigation.

Based on the computational guidelines set forth in FCC OET Bulletin 65, Waterford Consultants, LLC has developed software to predict the overall Maximum Permissible Exposure possible at any particular location given the spatial orientation and operating parameters of multiple RF sources. These theoretical results represent worst-case predictions as emitters are assumed to be operating at 100% duty cycle.

Exhibit I Site 6 Zee Estates

For any area in excess of 100% General Population MPE, access controls with appropriate RF alerting signage must be put in place and maintained to restrict access to authorized personnel. Signage must be posted to be visible upon approach from any direction to provide notification of potential conditions within these areas. Subject to other site security requirements, occupational personnel should be trained in RF safety and equipped with personal protective equipment (e.g. RF personal monitor) designed for safe work in the vicinity of RF emitters. Controls such as physical barriers to entry imposed by locked doors, hatches and ladders or other access control mechanisms may be supplemented by alarms that alert the individual and notify site management of a breach in access control. Waterford Consultants, LLC recommends that any work activity in these designated areas or in front of any transmitting antennas be coordinated with all wireless tenants.

Analysis

AT&T Mobility proposes the following installation at this location:

- Install twelve (12) new panel antennas
- Install six (6) new RRUS-11, three (3) RRUS-12, twelve (12) RRUS-32

The antennas will be mounted on a 160-foot Monopine with centerlines at 150 and 140 feet above ground level. The antennas will be oriented toward 90, 330 and 210 degrees. The Effective Radiated Power (ERP) in any direction from all AT&T Mobility operations will not exceed 26,556 Watts. Other appurtenances such as RRUs and hybrid cable are not sources of RF emissions. From this site, AT&T Mobility will enhance voice and data services to surrounding areas in licensed 700, 850, 1900, 2100 and 2300 MHz bands. No other antennas are known to be operating in the vicinity of this site.

Power density decreases significantly with distance from any antenna. The panel-type antennas to be employed at this site are highly directional by design and the orientation in azimuth and mounting elevation, as documented, serve to reduce the potential to exceed MPE limits at any location other than directly in front of the antennas. For accessible areas at ground level, the maximum predicted power density level resulting from all AT&T Mobility operations is 0.4105% of the FCC General Population limits (0.0821% of the FCC Occupational limits). Incident at adjacent buildings depicted in Figure 1, the maximum predicted power density level resulting from all AT&T Mobility operations is 0.7055% of the FCC General Population limits (0.1411% of the FCC Occupational limits). The proposed operation will not expose members of the General Public to hazardous levels of RF energy and will not contribute to existing cumulative MPE levels on walkable surfaces at ground or at adjacent buildings by 5% of the General Population limits.

Waterford Consultants, LLC recommends posting contact information signage at the gate that informs personnel entering the site of basic precautions to be followed when working around antennas. RF alerting signage (Caution) should be posted at the base of the proposed Monopine to inform authorized climbers of potential conditions near the antennas. These recommendations are depicted in Figure 2.

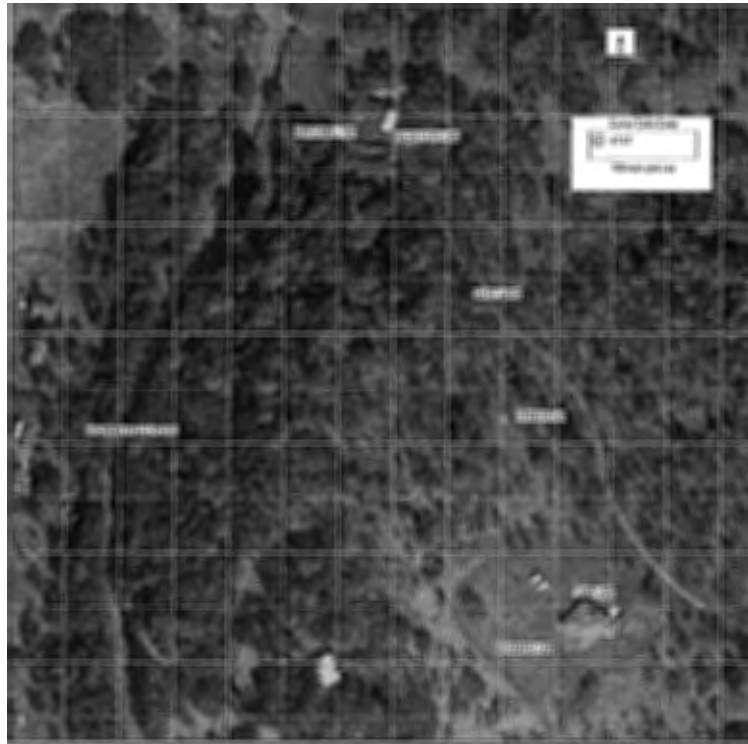


Figure 1: Antenna Locations

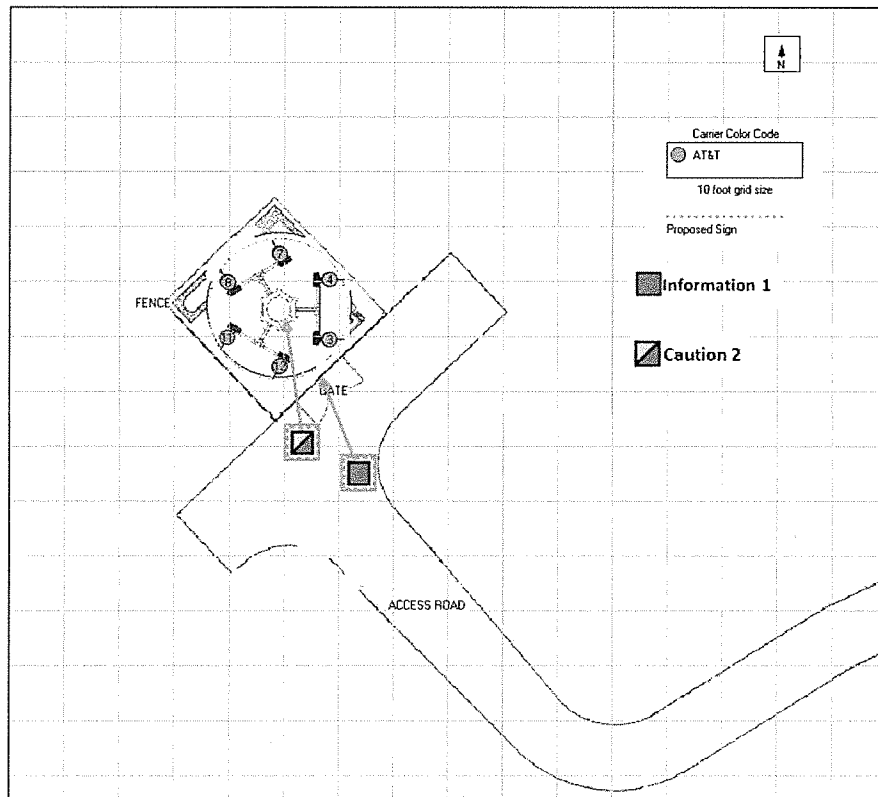


Figure 2: Mitigation Recommendations

Compliance Statement

Based on information provided by AT&T Mobility and predictive modeling, the installation proposed by AT&T Mobility at Gate Lane 1,000' South East of the intersection of Gate Lane and Salmon Falls Road, Pilot Hill, CA will be compliant with Radiofrequency Radiation Exposure Limits of 47 C.F.R. § 1.1307(b)(3) and 1.1310. RF alerting signage and restricting access to the Monopine to authorized climbers that have completed RF safety training is required for Occupational environment compliance.

Certification

I, David H. Kiser, am the reviewer and approver of this report and am fully aware of and familiar with the Rules and Regulations of both the Federal Communications Commissions (FCC) and the Occupational Safety and Health Administration (OSHA) with regard to Human Exposure to Radio Frequency Radiation, specifically in accordance with FCC's OET Bulletin 65. I have reviewed this Radio Frequency Exposure Assessment report and believe it to be both true and accurate to the best of my knowledge.

