

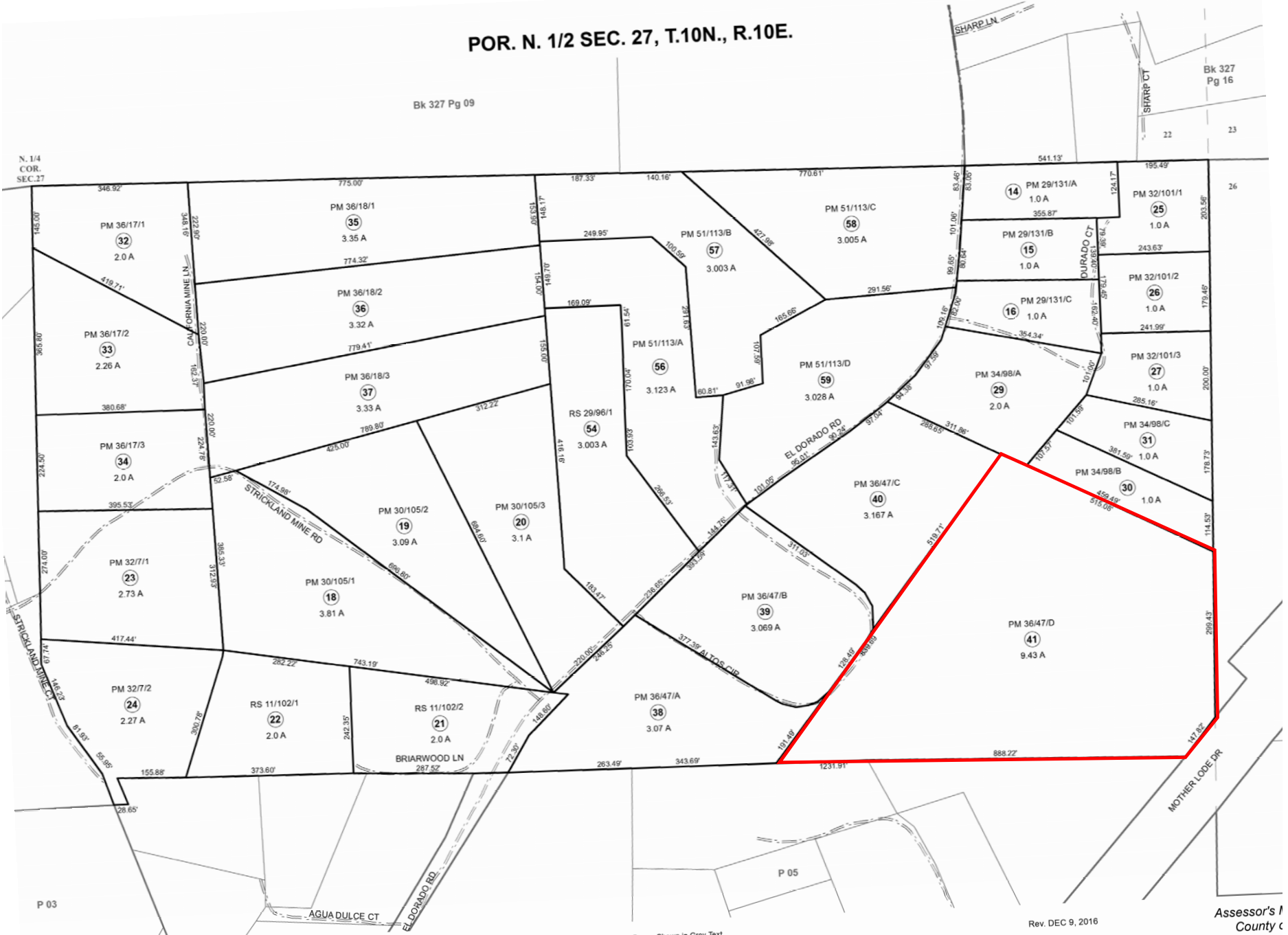
Exhibit A: Location/Vicinity Map
CUP22-0015/Farrell Nonconforming Use (New Build)

POR. N. 1/2 SEC. 27, T.10N., R.10E.

Bk 327 Pg 09

Bk 327 Pg 16

N. 1/4 COR. SEC. 27



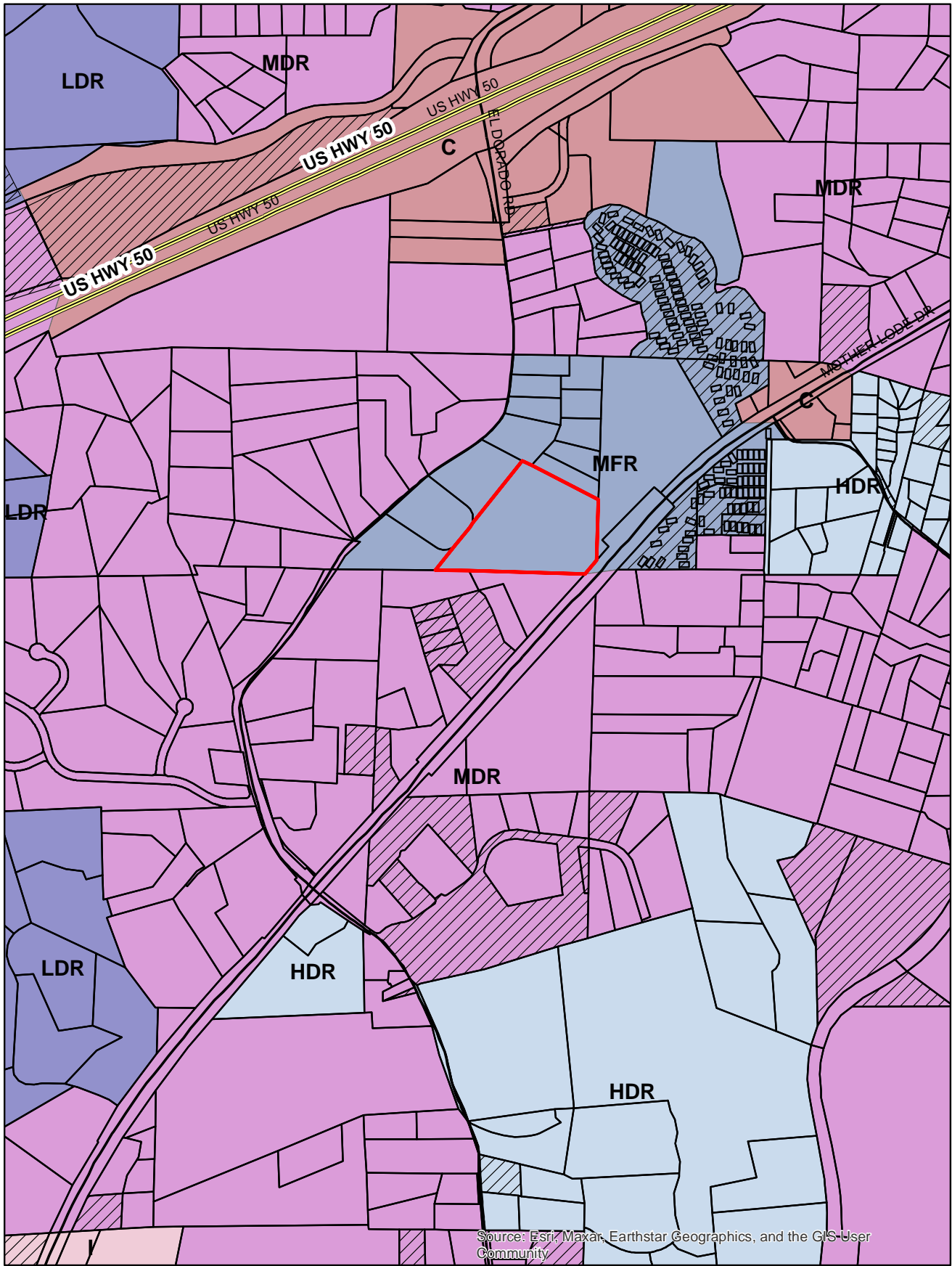
VEY, it is prepared by the El Dorado Co assessment purposes only. Area calculations are not guaranteed. Users should verify items created.

Acreages Are Estimates

Adjacent Map Pages Shown in Grey Text
Assessor's Parcel Numbers Shown in Circles
Exhibit B: Assessor's Parcel Map
CUP22-0015/Farrell Nonconforming Use (New Build)

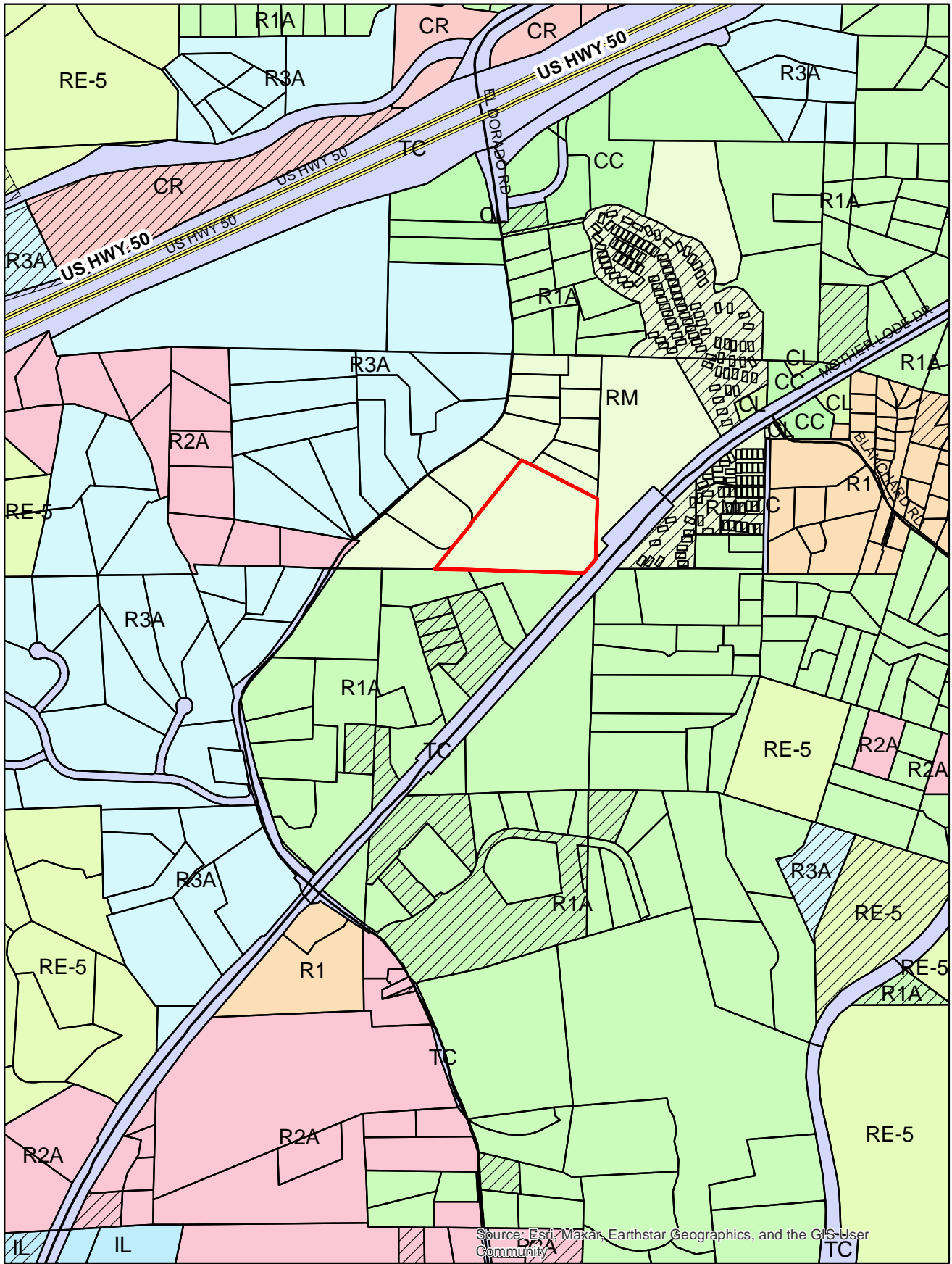
Rev. DEC 9, 2016

Assessor's Office
County of El Dorado



Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community

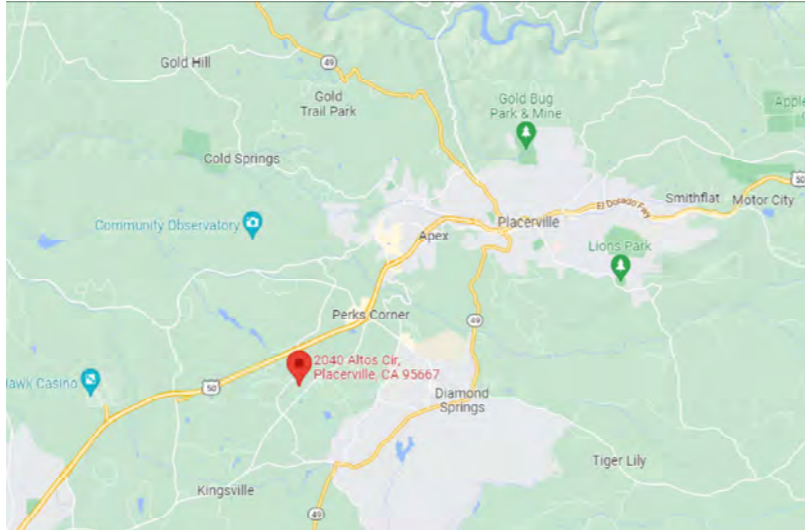
Exhibit C: General Plan Land Use Map
 CUP22-0015/Farrell Nonconforming Use (New Build)



Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community

Exhibit D: Zoning Map
 CUP22-0015/Farrell Nonconforming Use (New Build)

LIVING ROOM AND POOL HOUSE ADDITION 2040 ALTOS CIRCLE, PLACERVILLE, CA 95667



1 VICINITY MAP
C-000 SCALE: NTS

SHEET INDEX:

| | |
|-------|--------------------------------|
| C-000 | COVER SHEET |
| C-100 | SITE PLAN |
| A-100 | HOUSE EXISTING FLOOR PLAN |
| A-101 | HOUSE NEW FLOOR PLAN |
| A-102 | POOL HOUSE FLOOR PLAN |
| A-200 | ELEVATIONS |
| A-201 | ELEVATIONS |
| A-202 | ELEVATIONS |
| A-300 | SECTIONS |
| A-301 | SECTIONS |
| A-400 | 3D VIEWS |
| A-401 | 3D VIEWS |
| E-100 | ELECTRICAL AND PLUMBING |
| E-101 | ELECTRICAL AND PLUMBING |
| S-000 | NOTES AND SPECIFICATIONS |
| S-001 | NOTES AND SPECIFICATIONS |
| S-100 | FOUNDATION PLAN - POOL HOUSE |
| S-101 | FRAMING PLAN - POOL HOUSE |
| S-102 | ROOF FRAMING PLAN - POOL HOUSE |
| S-103 | FOUNDATION PLAN |
| S-104 | FRAMING PLAN |
| S-105 | ROOF FRAMING PLAN |
| S-300 | SECTIONS |
| S-301 | SECTIONS |
| S-302 | SECTIONS |
| S-500 | STRUCTURAL DETAILS |
| S-501 | STRUCTURAL DETAILS |
| S-502 | STRUCTURAL DETAILS |
| S-503 | STRUCTURAL DETAILS |
| S-504 | STRUCTURAL DETAILS |
| S-505 | STRUCTURAL DETAILS |

NOTE:
THE SOLAR SYSTEM PLANS ARE A SEPARATE DRAWING SET. SEE THEM FOR INFORMATION REGARDING THAT SYSTEM.

| |
|--|
| OWNER |
| TOM AND KATIE FARRELL 2040 ALTOS CIRCLE PLACERVILLE, CA 95667 TOMFARRELLCEGE@LIVE.COM 530-408-2464 |
| PROJECT ADDRESS |
| 2040 ALTOS CIRCLE PLACERVILLE, CA 95667 |
| ASSESSOR PARCEL NUMBER (APN) |
| 329-040-041-000 |
| LEGAL DESCRIPTION |
| PARCEL MAP 36/47/D USED AS BOUNDARY REFERENCE |
| ZONE |
| RM |
| SITE AREA |
| 9.43 ACRES |
| JURISDICTION |
| COUNTY OF EL DORADO |
| FIRE DISTRICT |
| EL DORADO COUNTY FPD |
| WATER |
| EL DORADO IRRIGATION DISTRICT |
| SEWAGE DISPOSAL |
| ON SITE SEPTIC SYSTEM |
| OCCUPANCY |
| R |
| BUILDING TYPE |
| VB SINGLE LEVEL (NON FIRE-SPRINKLED) BUILT IN 2006 |
| BUILDING AREA |
| 5 BEDROOMS, 3 FULL BATHROOMS AND 1 HALF BATHROOM. EXISTING HOME SQUARE FOOTAGE = 3750 FT ² EXISTING DETACHED GARAGE = 1120 FT ² ADDITIONAL LIVING FOOTAGE SQUARE FIRST FLOOR = +120 FT ² NET ADDITIONAL CHANGE TO LIVING SQUARE FOOTAGE OF THE HOME = +120 FT ² ADDITIONAL COVERED PATIO SQUARE FOOTAGE = +1477 FT ² REPLACE/REMODEL EXISTING DECK OF 669 FT ² WITH A 576 FT ² DECK. POOL HOUSE = +854 FT ² |
| SCOPE OF WORK |
| LIVING ROOM ADDITION TO THE EXISTING HOUSE. ADD FOUR PATIO COVERS TO THE EXISTING HOUSE. REPLACE/REMODEL EXISTING DECK ON THE EXISTING HOUSE AND ADD A NEW POOL HOUSE. ELECTRICAL SERVICE UPGRADE FROM 200 AMPS TO 400 AMPS. |
| CIVIL ENGINEER |
| SETH REAL REAL ENGINEERING, INC. 2669 SANDERS DR., #450 POLLOCK PINES, CA 95726 SETH@REALENGR.COM 530-401-3452 |
| APPLICABLE BUILDING CODES: |
| 2019 CALIFORNIA BUILDING CODE (CBC) 2019 CALIFORNIA EXISTING BUILDING CODE (CEBC) 2019 CALIFORNIA ELECTRIC CODE (CEC) 2019 CALIFORNIA PLUMBING CODE (CPC) 2019 CALIFORNIA MECHANICAL CODE (CMC) 2019 CALIFORNIA ENERGY CODE REQUIREMENTS (CESC) 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE REFERENCE STANDARDS: ASCE 7-16 MINIMUM DESIGN LOADS AND ASSOCIATED CRITERIA FOR BUILDINGS AND OTHER STRUCTURES NDS 2019 NATIONAL DESIGN STANDARD FOR WOOD CONSTRUCTION ACI 318-14 BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE |



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POLLOCK PINES, CA 95726
SETH@REALENGR.COM
530-401-3452

CLIENT:

TOM AND KATIE FARRELL
2040 ALTOS CIR,
PLACERVILLE, CA 95667

REVISIONS:

| NO. | DESCRIPTION | DATE |
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CLIENT NAME:

TOM AND KATIE FARRELL

PROJECT NAME:

LIVING ROOM AND POOL HOUSE
ADDITION

SHEET NUMBER:

C-000

SHEET NAME:

COVER SHEET

PROJECT NUMBER:

185

DATE:

12/08/2022

CHECKED BY:

SR

DRAWN BY:

SR

SCALE:

NTS

November 19, 2022

GENERAL NOTES

ALL CONSTRUCTION SHALL CONFORM WITH THE 2019 CALIFORNIA RESIDENTIAL CODE (CRC), 2019 CALIFORNIA ELECTRIC CODE (CEC), 2019 CALIFORNIA PLUMBING CODE (CPC), 2019 CALIFORNIA MECHANICAL CODE (CMC), THE 2019 CALIFORNIA ENERGY CODE REQUIREMENTS (CESC), 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (LOW-RISE RESIDENTIAL) AND LOCAL ORDINANCES TO ASSURE THE SAFETY AND COMPLIANCE OF THE BUILDINGS CONSTRUCTED FROM THESE PLANS.

THE CONTRACTOR(S) SHALL REMAIN RESPONSIBLE FOR ALL DETAILING, FABRICATION AND CORRECT FITTING OF MATERIALS, INCLUDING COORDINATION WITH OTHER TRADES.

ANY DISCREPANCIES IN THESE PLANS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER, BEFORE PROCEEDING WITH THE WORK.

CONTRACTORS AND SUB-CONTRACTOR ARE RESPONSIBLE FOR COMPLETE JOB SITE SAFETY PER THE "CONSTRUCTION SAFETY ORDERS" ISSUED BY THE STATE OF CALIFORNIA AND ALL OSHA REQUIREMENTS. THE PROJECT OWNERS, ENGINEERS AND DESIGN CONSULTANTS SHALL NOT BE HELD RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO COMPLY WITH THESE REQUIREMENTS.

FILL PLACEMENT: FILLS SHALL BE CONSTRUCTED IN LAYERS (MAXIMUM LOOSE THICKNESS OF 8") OF EARTHEN MATERIAL WITH NO DETRIMENTAL AMOUNTS OF ORGANIC MATTER AND NO ROCKS LARGER THAN 12". PLACEMENT OF LARGER ROCK MAY BE PERMITTED UNDER THE AUTHORITY OF A GEOTECHNICAL OR CIVIL ENGINEER.

FILL COMPACTION: ALL FILLS MUST BE COMPACTED TO A MINIMUM OF 90%, EXCEPT FOR THE TOP 6 INCHES.

GROUND PREPARATION FOR FILL PLACEMENT: THE NATURAL GROUND MUST BE PREPARED FOR RECEIVING FILL BY REMOVING VEGETATION, TOP SOIL, UNSUITABLE MATERIAL AND EXISTING NON-COMPLYING FILL. WHERE THE EXISTING SLOPE IS 5:1 OR STEEPER, THE FILL MUST BE BENCHED INTO COMPETENT ORIGINAL MATERIAL WITH A 10' MINIMUM WIDTH KEY WAY AT THE BOTTOM.

SETBACKS: ALL GRADING MUST COMPLY WITH THE SETBACKS SPECIFIED IN THE CALIFORNIA BUILDING CODE.

DRAINAGE: DRAINAGE MUST BE DESIGNED TO PROTECT CUT AND FILL SLOPES AND STRUCTURES FROM EROSION AND WATER DAMAGE AND SHALL DIRECT FLOWS TO THE NEAREST ADEQUATE STREET, STORM DRAIN, OR NATURAL WATER COURSE. WHEN SURFACE DRAINAGE IS DISCHARGED ONTO ADJOINING PROPERTY, IT SHALL BE IN SUCH A MANNER THAT IT WILL NOT CAUSE EROSION OR SEDIMENTATION OR ENDANGER ANY CUTS, FILLS OR STRUCTURES ON THE ADJOINING PROPERTY.

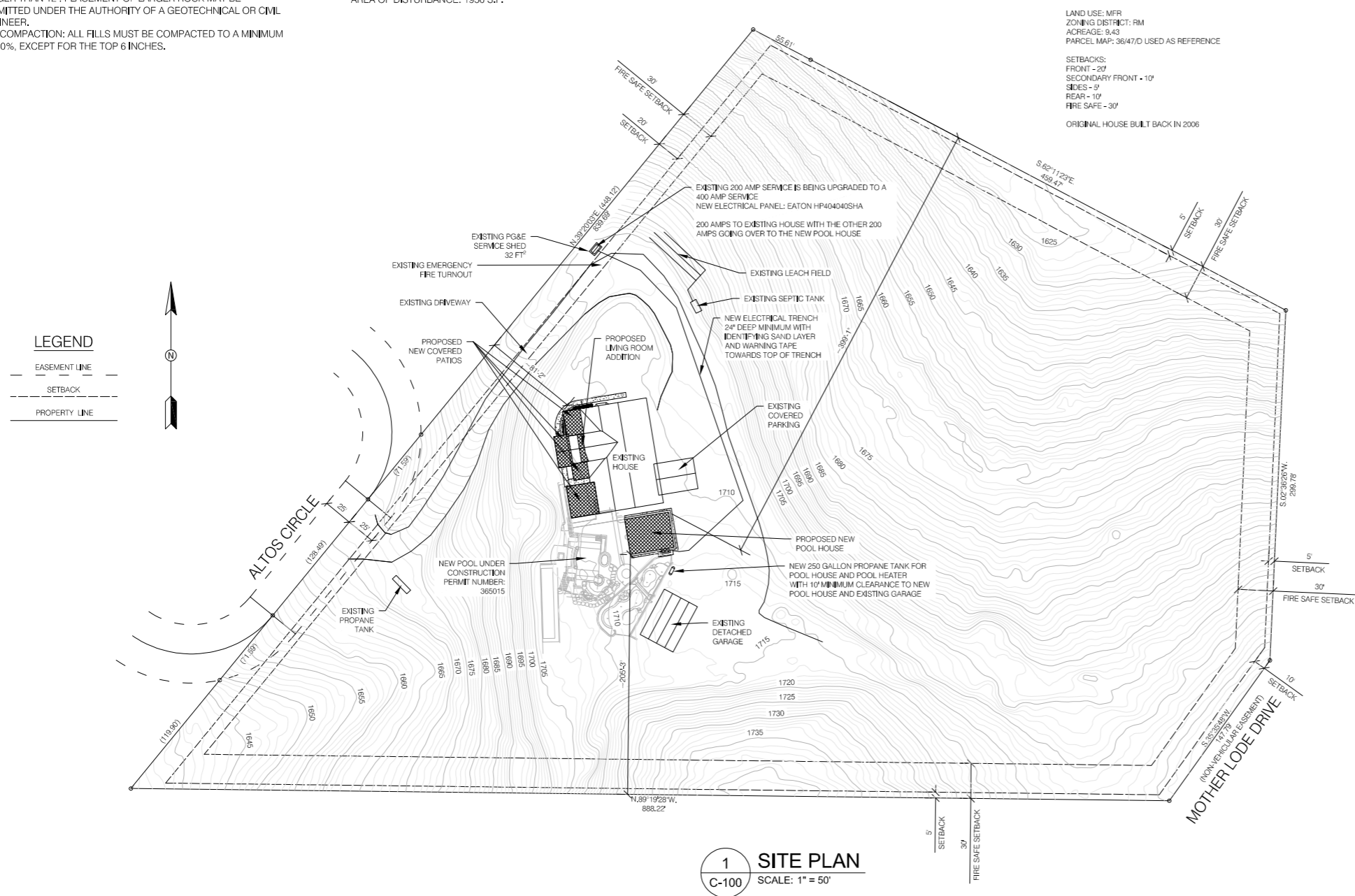
ANY FILL PLACED WITHIN THE BUILDING ENVELOPE, SHALL BE DONE UNDER THE SUPERVISION OF A SOILS ENGINEER.

OWNER TO VERIFY THAT ALL IMPROVEMENTS TO BE MADE TO THE PROPERTY ARE NOT WITHIN RESTRICTED AREAS (EASEMENTS, SETBACKS, ETC.) AND ARE IN CONFORMANCE WITH C.C. AND P.S. (IF ANY).

ESTIMATED EARTHWORK: 18 ± C.Y.S
AREA OF DISTURBANCE: 1950 S.F.

EROSION CONTROL AND WINTERIZATION

- A. SEDIMENT CONTROL MEASURES SHALL BE UTILIZED WHENEVER A 3-DAY FORECAST OF RAIN IS MADE BY THE NATIONAL WEATHER SERVICE ANY TIME DURING THE YEAR. PERMANENT EROSION CONTROL MEASURES MUST BE IN PLACE PRIOR TO FINAL APPROVAL OF THE PERMITTED STRUCTURE OR BY OCTOBER 15 TO MAY 1 IN ANY GIVEN YEAR.
- B. MAN-MADE SLOPES SHALL BE HAND- OR HYDRO-SEEDED AND COVERED WITH PROPERLY-ANCHORED BURLAP JUTE OR STRAW MULCH, OR BE PLANTED WITH PERMANENT GROUND COVER.
- C. DITCHES OR SWALES STEEPER THAN 10% SHALL BE COBBLE-LINED, OR PROTECTED WITH AN APPROVED ALTERNATE MATERIAL.
- D. RUNOFF FROM ALL DISTURBED AREAS WILL BE RUN THROUGH A STRAW BALE CHECK DAM OR SEDIMENT BASIN AT POINTS OF CONCENTRATION.



LAND USE: MFR
ZONING DISTRICT: RM
ACREAGE: 9.43
PARCEL MAP: 36/47/D USED AS REFERENCE

SETBACKS:
FRONT - 20'
SECONDARY FRONT - 10'
SIDES - 5'
REAR - 10'
FIRE SAFE - 30'

ORIGINAL HOUSE BUILT BACK IN 2008



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530-401-3452

CLIENT:

TOM AND KATIE FARRELL
2040 ALTOS CR.
PLACERVILLE, CA 95667

REVISIONS:

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CLIENT NAME:
TOM AND KATIE FARRELL

PROJECT NAME:
LIVING ROOM AND POOL HOUSE ADDITION

SHEET NUMBER:
C-100

SHEET NAME:
SITE PLAN

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| PROJECT NUMBER: | 185 | DATE: | 12/08/2022 |
| CHECKED BY: | SR | DRAWN BY: | SR |
| SCALE: | 1" = 50' | | |

November 19, 2022

Exhibit E: Project Plan Sheets
CUP22-0015/Farrell Nonconforming Use (New Build)



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TOM AND KATIE FARRELL
2040 ALTOS CIR.
PLACERVILLE, CA 95667

REVISIONS:

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CLIENT NAME:
TOM AND KATIE FARRELL

PROJECT NAME:
LIVING ROOM AND POOL HOUSE ADDITION

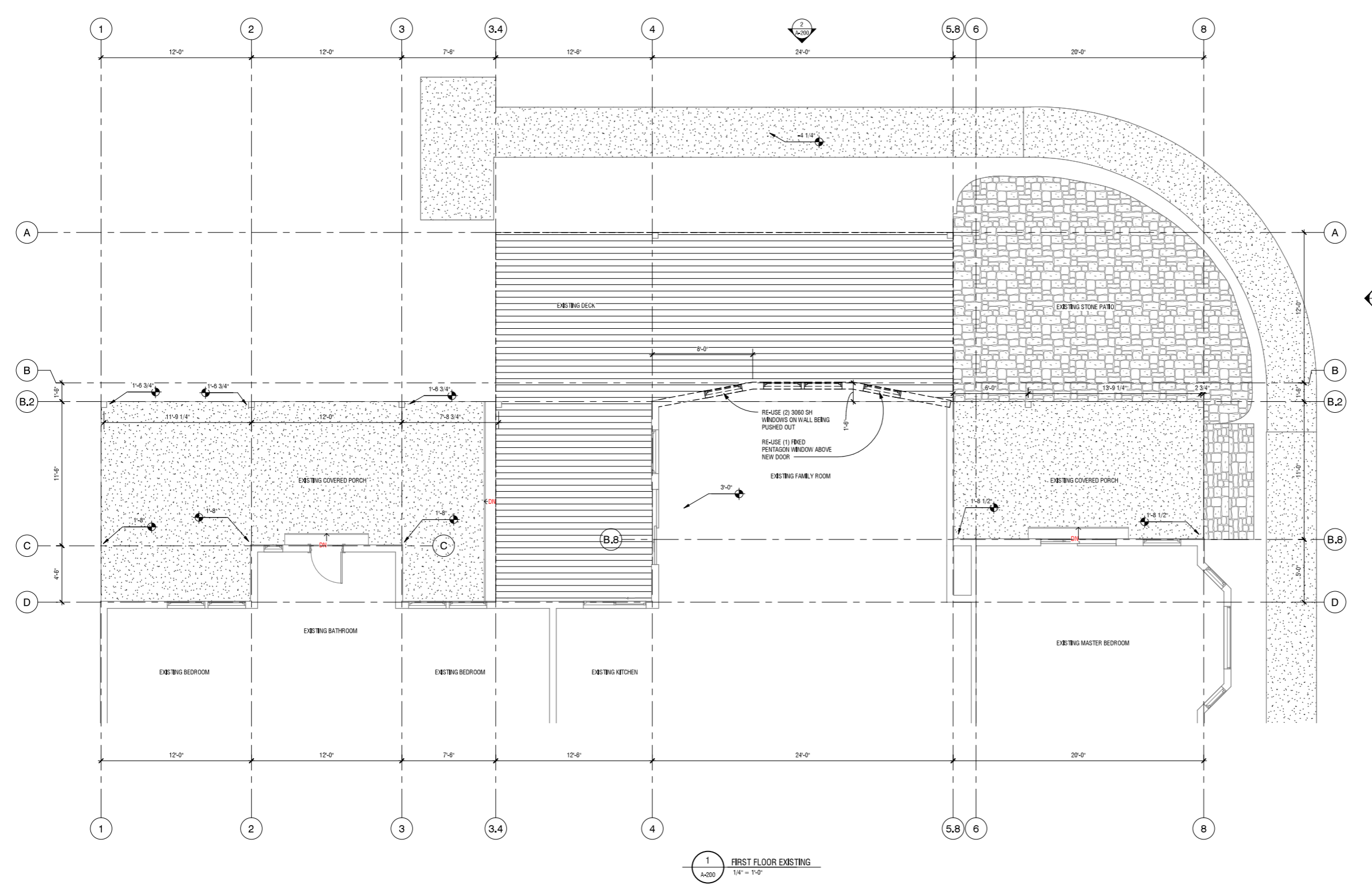
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A-100

SHEET NAME:
HOUSE EXISTING FLOOR PLAN

PROJECT NUMBER: 185 DATE: 3/29/2022

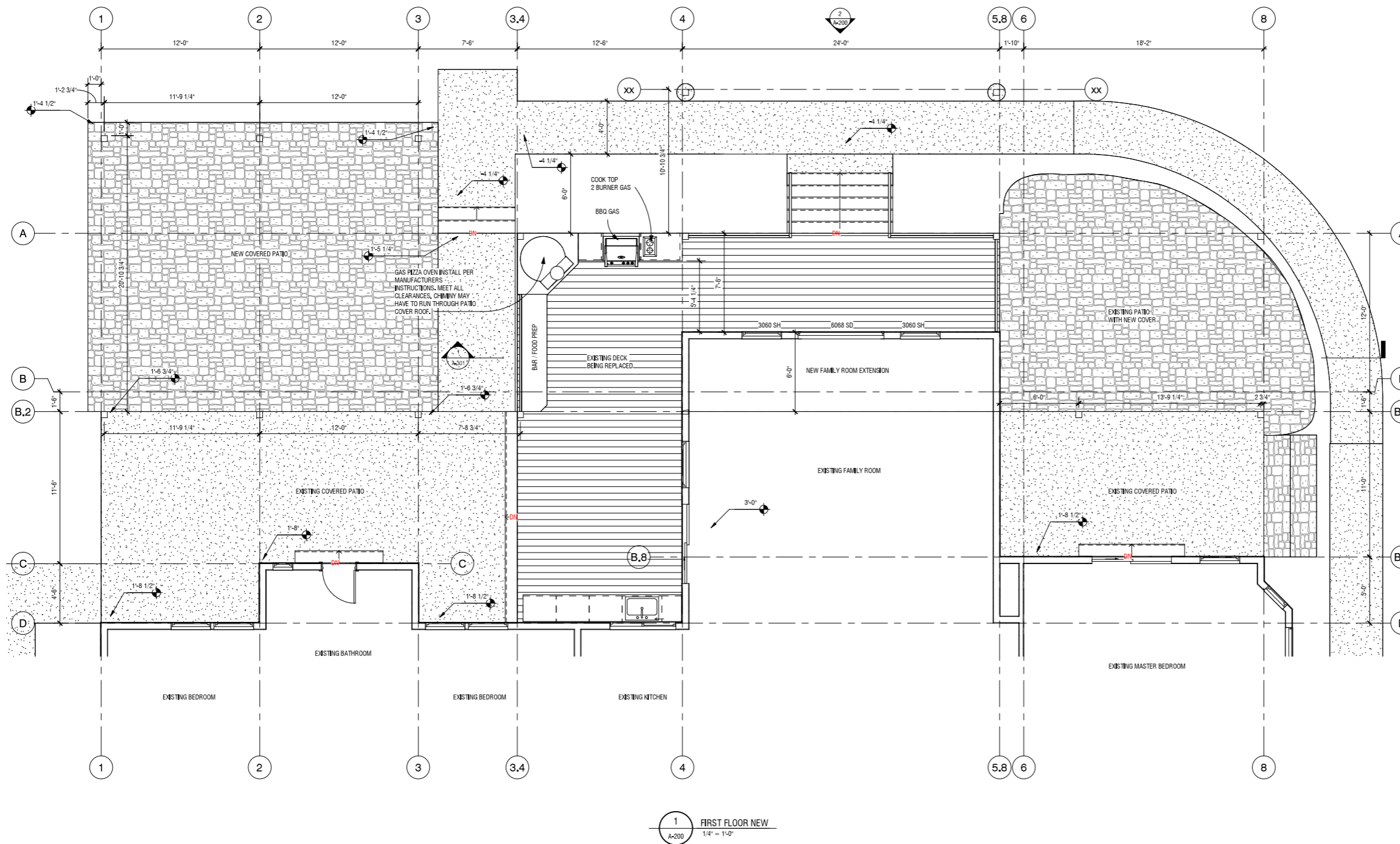
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SCALE: 1/4" = 1'-0"



1 FIRST FLOOR EXISTING
A-200 1/4" = 1'-0"

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1 FIRST FLOOR NEW
A-200 1/4" = 1'-0"

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PLACERVILLE, CA 95667

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CLIENT NAME:

TOM AND KATIE FARRELL

PROJECT NAME:

LIVING ROOM AND POOL HOUSE ADDITION

SHEET NUMBER:

A-101

SHEET NAME:

HOUSE NEW FLOOR PLAN

PROJECT NUMBER:

185

DATE:

3/29/2022

CHECKED BY:

SR

DRAWN BY:

SR

SCALE:

1/4" = 1'-0"

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Exhibit E: Project Plan Sheets
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PLACERVILLE, CA 95667

REVISIONS:

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CLIENT NAME:

TOM AND KATIE FARRELL

PROJECT NAME:

LIVING ROOM AND POOL HOUSE ADDITION

SHEET NUMBER:

A-102

SHEET NAME:

POOL HOUSE FLOOR PLAN

PROJECT NUMBER:

185

DATE:

3/29/2022

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SR

SCALE:

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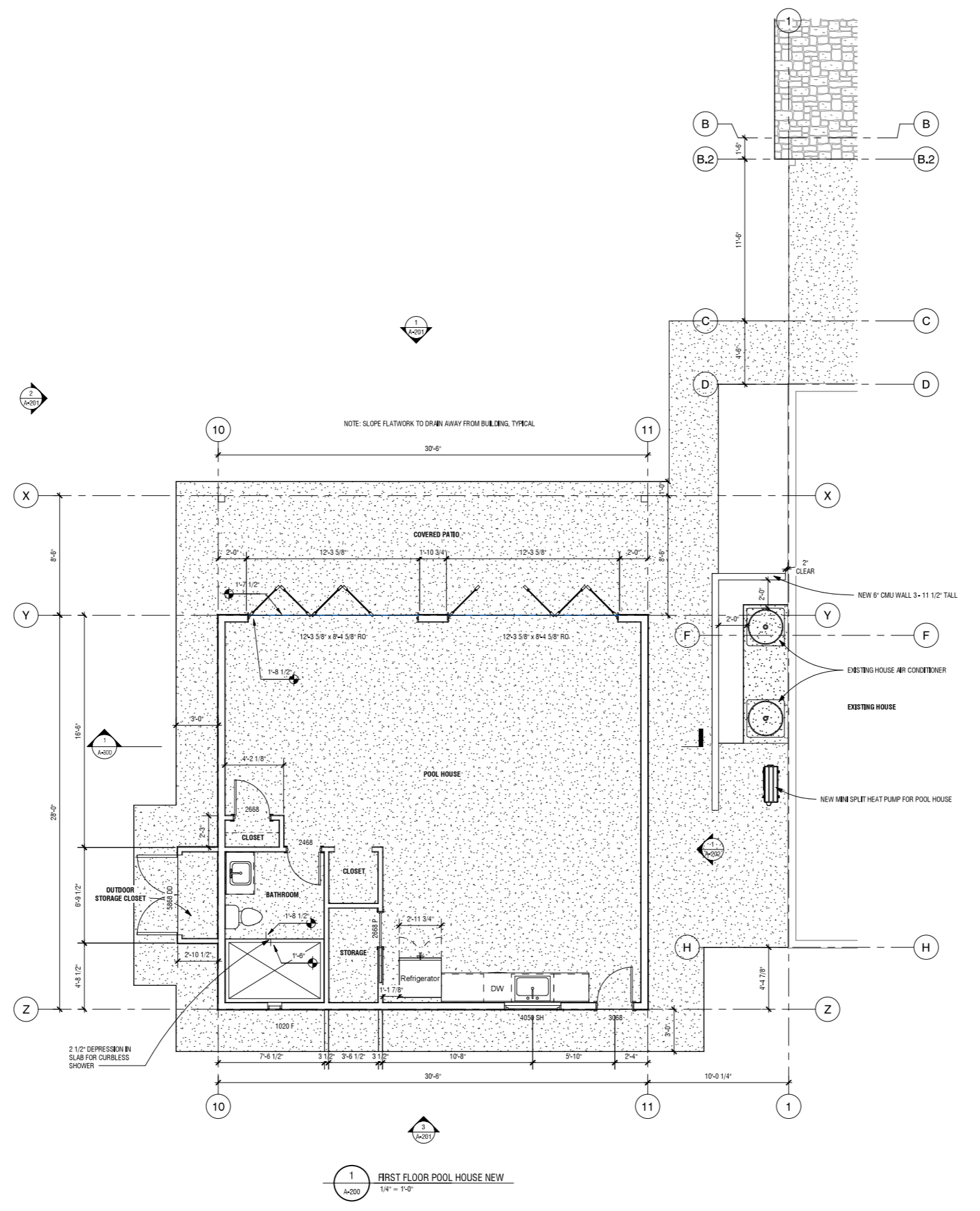


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PLACERVILLE, CA 95667

REVISIONS:

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CLIENT NAME:

TOM AND KATIE FARRELL

PROJECT NAME:

**LIVING ROOM AND POOL HOUSE
ADDITION**

SHEET NUMBER:

A-200

SHEET NAME:

ELEVATIONS

PROJECT NUMBER:

185

DATE:

3/29/2022

CHECKED BY:

SR

DRAWN BY:

SR

SCALE:

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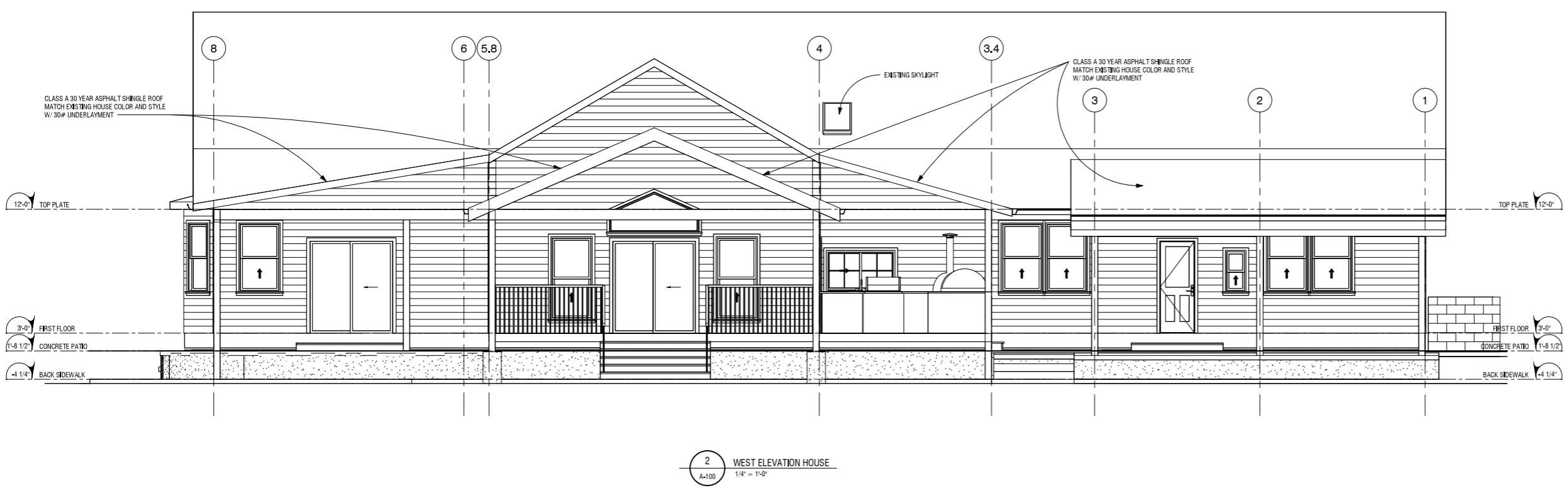
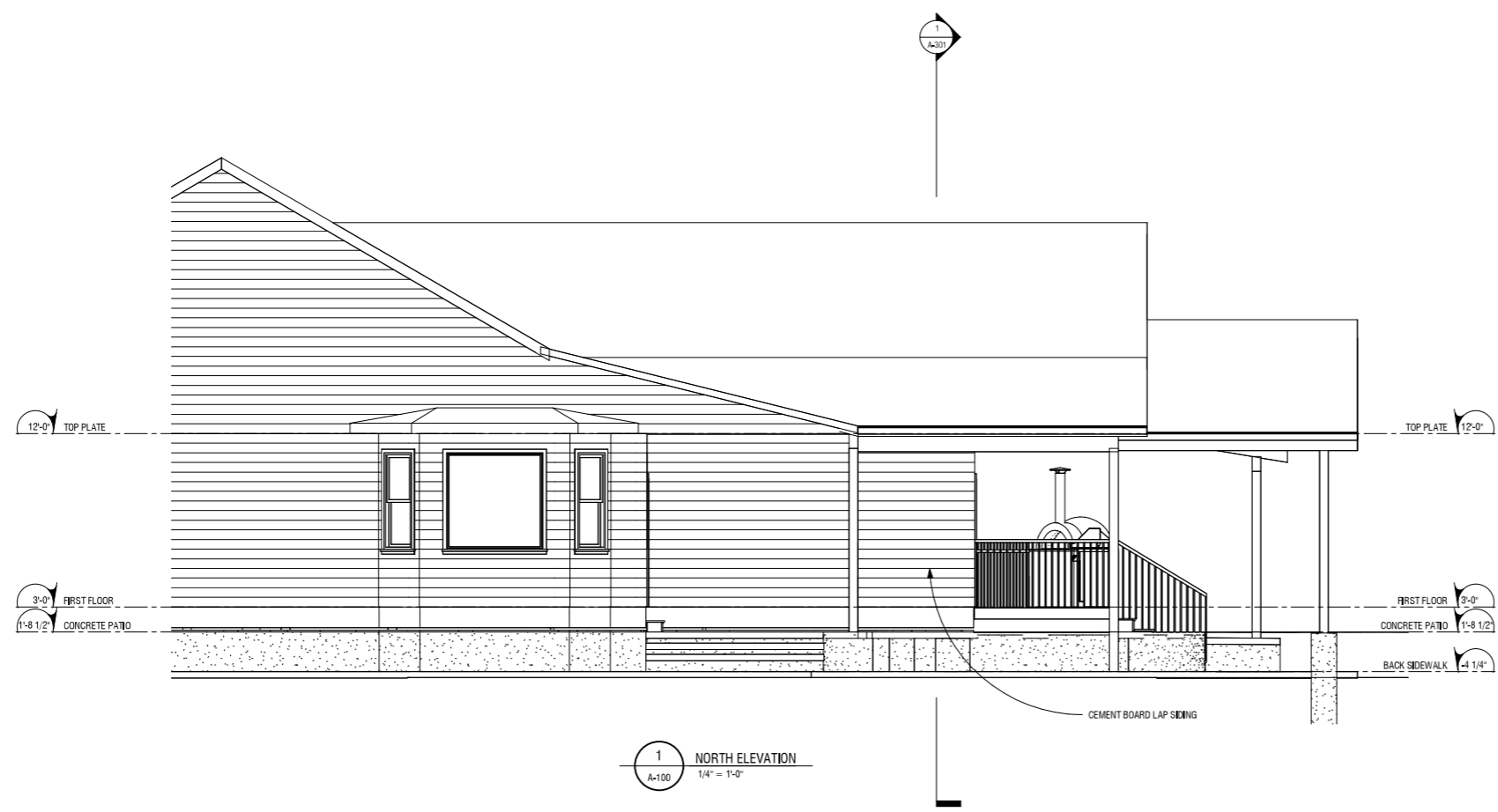


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PLACERVILLE, CA 95667

REVISIONS:

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CLIENT NAME:
TOM AND KATIE FARRELL

PROJECT NAME:
LIVING ROOM AND POOL HOUSE ADDITION

SHEET NUMBER:
A-201

SHEET NAME:
ELEVATIONS

PROJECT NUMBER: 185 DATE: 12/8/2022

CHECKED BY: SR DRAWN BY: SR

SCALE: 1/4" = 1'-0"

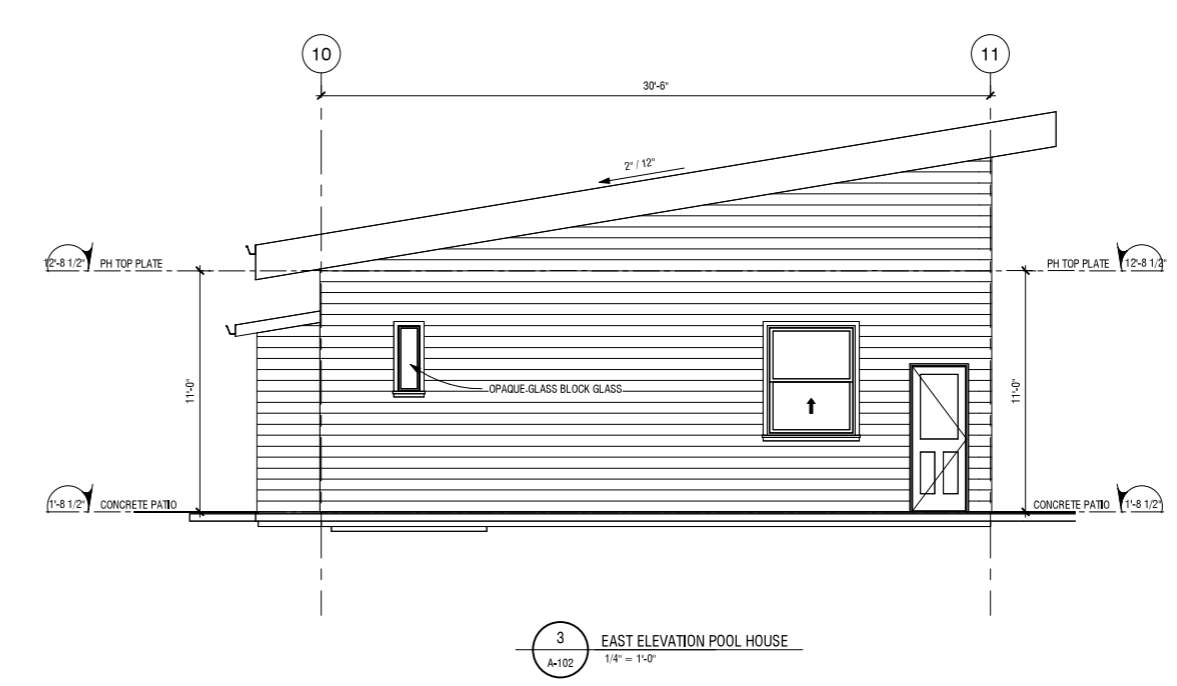
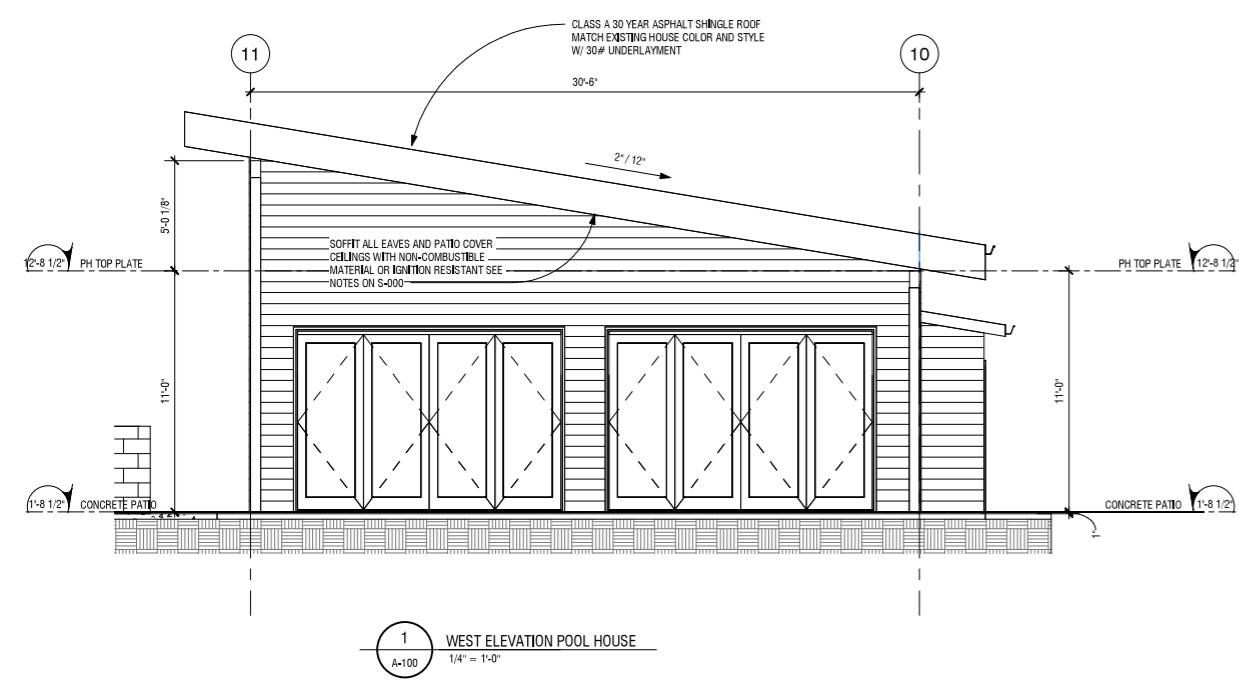


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CLIENT NAME:

TOM AND KATIE FARRELL

PROJECT NAME:

**LIVING ROOM AND POOL HOUSE
ADDITION**

SHEET NUMBER:

A-202

SHEET NAME:

ELEVATIONS

PROJECT NUMBER:

185

DATE:

3/29/2022

CHECKED BY:

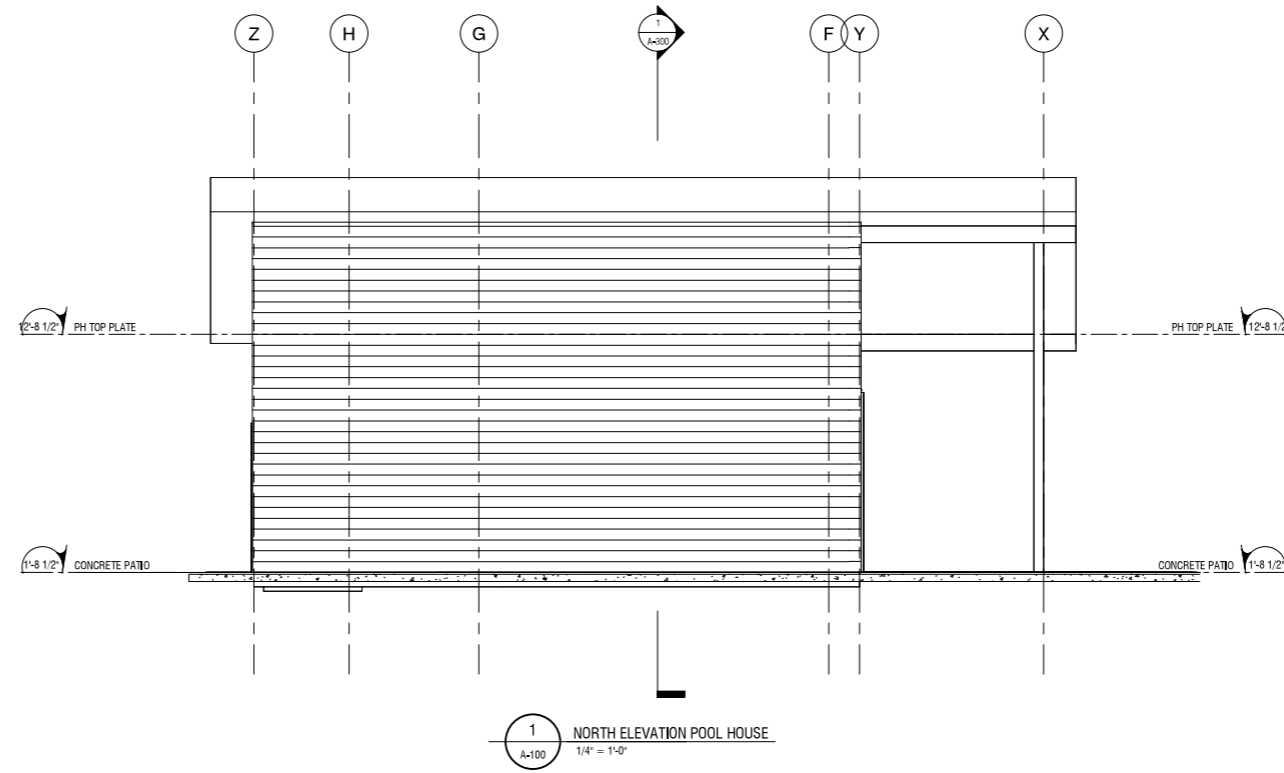
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SCALE:

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CLIENT NAME:
TOM AND KATIE FARRELL

PROJECT NAME:
**LIVING ROOM AND POOL HOUSE
ADDITION**

SHEET NUMBER:
A-400

SHEET NAME:
3D VIEWS

PROJECT NUMBER: 185 DATE: 3/29/2022

CHECKED BY: SR DRAWN BY: SR

SCALE:

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Exhibit E: Project Plan Sheets
CUP22-0015/Farrell Nonconforming Use (New Build)



1 3D View 4



2 3D View 5


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CLIENT:

TOM AND KATIE FARRELL
 2040 ALTOS CIR,
 PLACERVILLE, CA 95667

REVISIONS:

| NO. | DESCRIPTION | DATE |
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CLIENT NAME:

TOM AND KATIE FARRELL

PROJECT NAME:

**LIVING ROOM AND POOL HOUSE
 ADDITION**

SHEET NUMBER:

A-401

SHEET NAME:

3D VIEWS

PROJECT NUMBER:

185

DATE:

3/29/2022

CHECKED BY:

SR

DRAWN BY:

SR

SCALE:

11/18/2022 2:04:20 PM

Exhibit E: Project Plan Sheets
 CUP22-0015/Farrell Nonconforming Use (New Build)