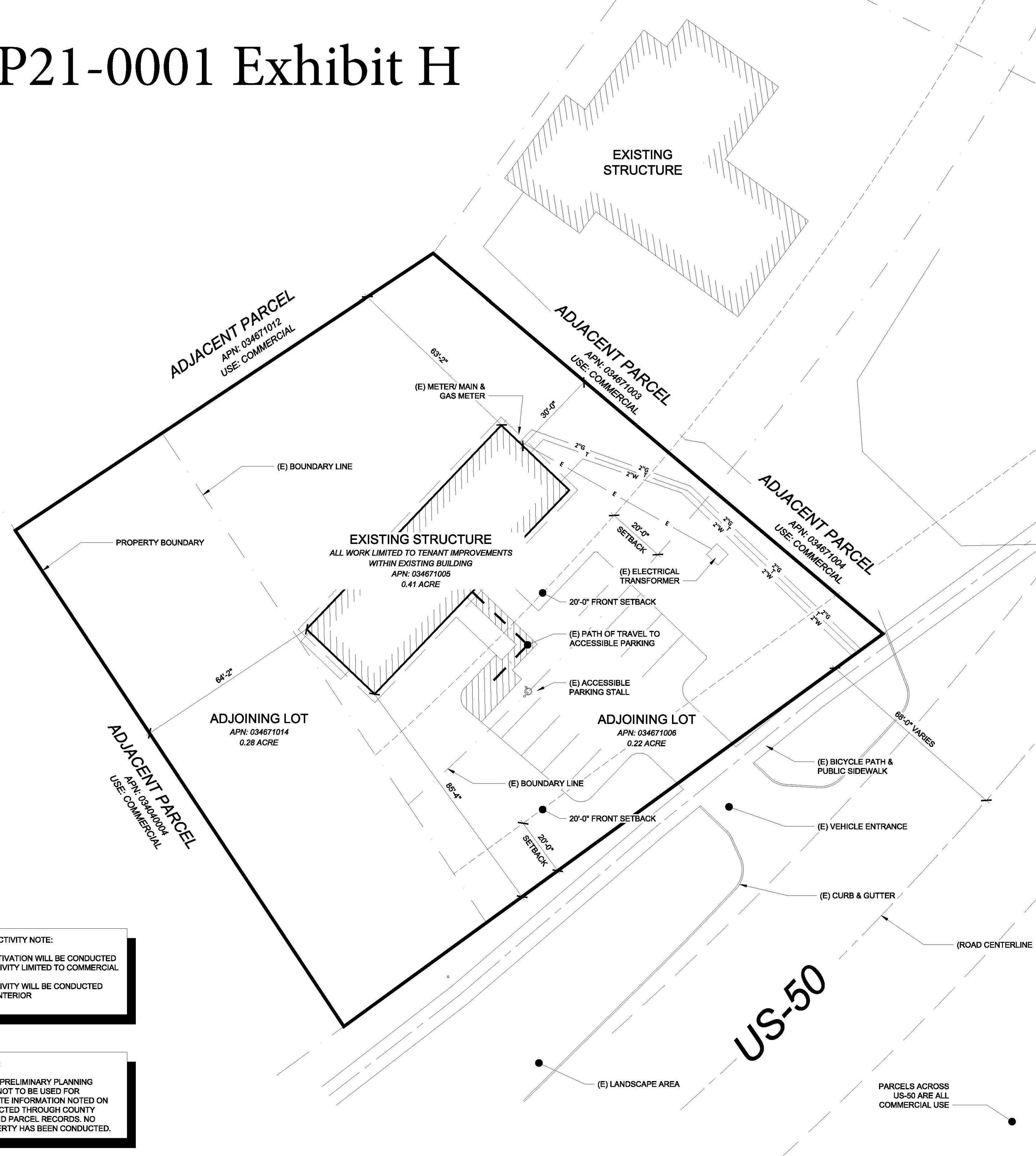


CCUP21-0001 Exhibit H



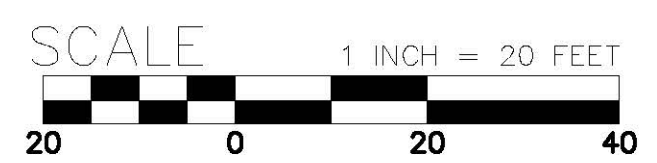
CANNABIS BUSINESS ACTIVITY NOTE:

- NO CANNABIS CULTIVATION WILL BE CONDUCTED
- ALL CANNABIS ACTIVITY LIMITED TO COMMERCIAL BUSINESS
- ALL CANNABIS ACTIVITY WILL BE CONDUCTED WITHIN BUILDING INTERIOR

SITE PLAN DISCLAIMER:

THIS SITE PLAN IS FOR PRELIMINARY PLANNING PURPOSES ONLY AND NOT TO BE USED FOR CONSTRUCTION. ALL SITE INFORMATION NOTED ON THIS PAGE WAS COLLECTED THROUGH COUNTY IMAGERY, GIS DATA, AND PARCEL RECORDS. NO SURVEY OF THE PROPERTY HAS BEEN CONDUCTED.

1 PRELIMINARY SITE PLAN
1" = 20'



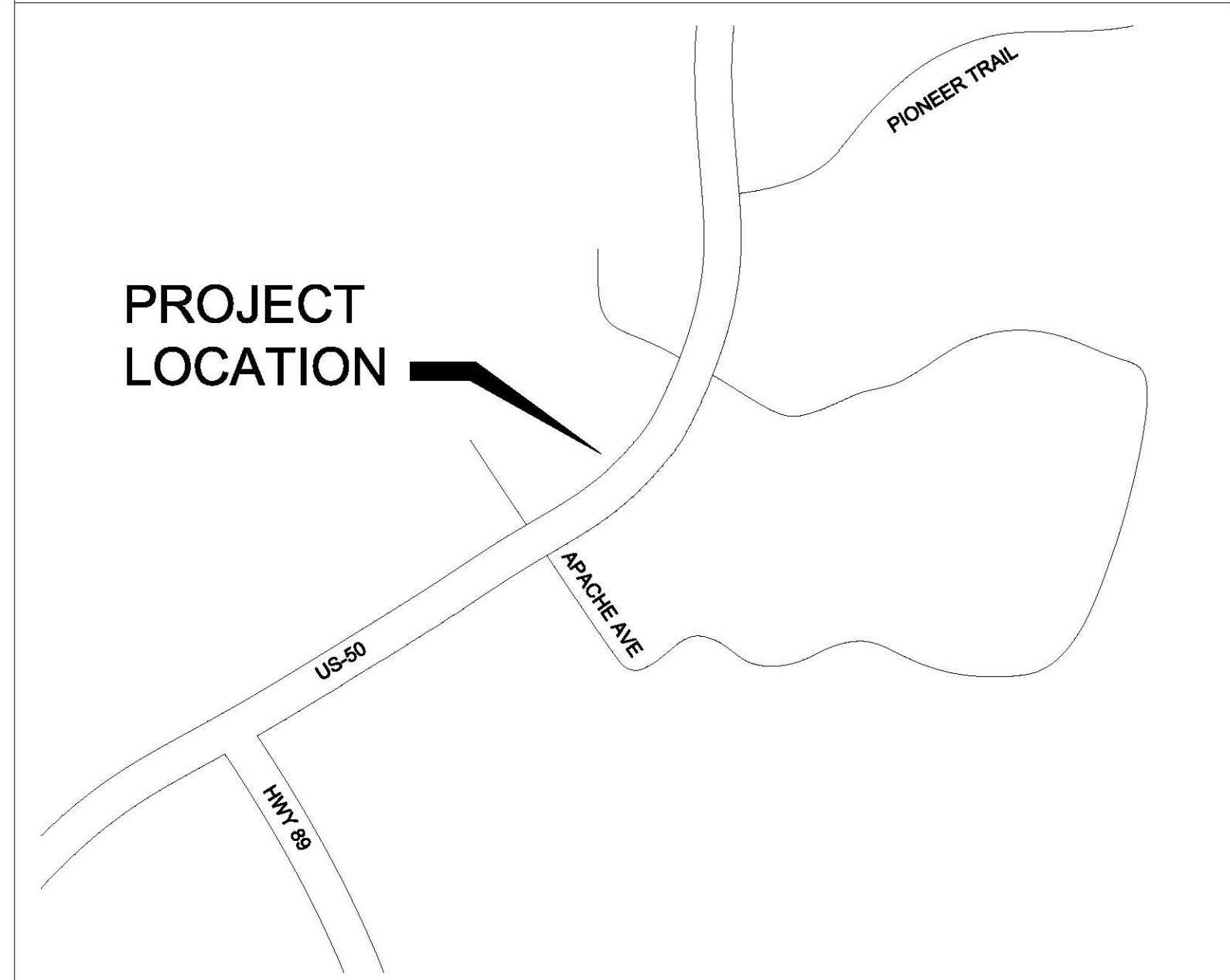
INDEX OF DRAWINGS

- A00 PRELIMINARY SITE PLAN
- A01 EXISTING FIRST AND SECOND FLOOR PLANS
- A02 PROPOSED FIRST AND SECOND FLOOR PLANS

PROJECT DATA

| | |
|---|-----------------------------|
| APPLICANT INFORMATION | |
| EMBARC MEYERS C/O GREGORY DAUM 3008 US HWY 50 MEYERS, CA (530) 600-3040 | |
| PROPERTY OWNER INFORMATION | |
| LAD SIERRA, LLC MARJORIE DAUM & GREGORY DAUM | |
| GENERAL PLAN: | AP |
| ZONE: | MCP-1 (MAP-1) |
| USE: | MARJUANA DISPENSARY |
| OCCUPANCY GROUP: | M |
| SPECIAL REQUIREMENTS: | NONE |
| FIRE SPRINKLER: | NOT SPRINKLERED |
| FLOOR LEVELS: | TWO (2) EXISTING |
| ALLOWABLE: | ONE (1) |
| CONSTRUCTION TYPE: | VB |
| TOTAL GROSS BUILDING AREA: | 6,142 S.F. |
| TOTAL OCCUPANT LOAD: | 103 |
| NUMBER OF EXITS REQUIRED: | 2 |
| NUMBER OF EXITS PROVIDED: | 2 |
| EGRESS WIDTH REQUIRED: | 20.6" |
| EGRESS WIDTH PROVIDED: | 72" |
| OCCUPANCY SEPARATIONS: | NONE |
| WALL CONSTRUCTION: | |
| EXTERIOR WALLS | WOOD SIDING OVER WOOD FRAME |
| INTERIOR WALLS | 5/8" GWB OVER WOOD STUD. |
| OPENING PROTECTION: | |
| MAX HEIGHT: | NONE |
| MAX HEIGHT: | 42'-0" |
| SETBACKS: | |
| FRONT: | 25' |
| SIDE | 0 |
| REAR | 0 |
| ALLOWABLE AREA: | |
| BASIC ALLOWABLE PER FLOOR | 9,000 |
| SPRINKLER INCREASE | N/A |
| FRONTAGE INCREASE | N/A |
| MAX. ALLOWABLE | 9,000 |
| ACTUAL FLOOR AREA: | |
| FIRST FLOOR | 3,071 SF (EXISTING) |
| SECOND FLOOR | 3,071 SF (EXISTING) |
| UTILITY DISTRICT: | |
| SOUTH TAHOE PUD | |
| FIRE DISTRICT: | |
| LAKE VALLEY FPD | |
| SCHOOL DISTRICT: | |
| LAKE TAHOE UNIFIED | |

VICINITY MAP



SITE ACCESSIBILITY NOTES

- ACCESSIBLE PATH OF TRAVEL (POT), AS INDICATED SHALL COMPLY WITH 11B-402 OF THE CALIFORNIA BUILDING CODE. POT SHALL BE AN IDENTIFIABLE ACCESSIBLE ROUTE WITHIN AN EXISTING SITE, BUILDING OR FACILITY BY MEANS OF WHICH A PARTICULAR AREA MAY BE APPROACHED, ENTERED AND EXITED, AND WHICH CONNECTS A PARTICULAR AREA WITH AN EXTERIOR APPROACH (INCLUDING SIDEWALKS, STREETS AND PARKING AREAS), AN ENTRANCE TO THE FACILITY, AND OTHER PARTS OF THE FACILITY. ACCESSIBLE PATH SHALL BE:
 - THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT EXCEED 1:20 EXCEPT FOR SIDEWALKS, WHICH SHALL NOT EXCEED THE GENERAL GRADE ESTABLISHED FOR THE ADJACENT STREET OR HIGHWAY)
 - CROSS SLOPE SHALL NOT EXCEED 1:48 (PER 11B-403.3).
 - CLEAR WIDTH OF SIDEWALKS AND WALKS SHALL BE 48" WIDE MINIMUM (PER 11B-403.5.1).
 - VERTICAL CHANGES IN LEVEL SHALL COMPLY WITH 11B-303.2 AND SHALL NOT EXCEED 1/2" MAXIMUM.
 - BEVELED CHANGES IN LEVEL SHALL COMPLY WITH 11B-303.3 AND SHALL NOT EXCEED 1/2" MAXIMUM, TO INCLUDE A 1/2" VERTICAL AND 1/2" BEVELED WITH A SLOPE NOT EXCEEDING 1:2.
- DOORS, DOORWAYS, AND GATES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH SECTION 11B-404, INCLUDING ALL GROUND LEVEL ENTRANCES AND EXITS.
- PER 11B-203.5 MACHINERY SPACES, SPACES FREQUENTED ONLY BY SERVICE PERSONNEL FOR MAINTENANCE, REPAIR OR OCCASIONAL MONITORING OF EQUIPMENT SHALL NOT BE REQUIRED TO COMPLY WITH CHAPTER 11B OF THE CALIFORNIA BUILDING CODE.



KM Architecture, Inc.
A Full Service Architectural Practice
3987 Missouri Flat Road, Suite 340-345
Placerville, CA 95667
(530) 344-4073

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EMBARC - MEYERS
3008 US-50
SOUTH LAKE TAHOE, CA
96150

DESIGN CONCEPT

APPROVED
EL DORADO COUNTY
PLANNING COMMISSION
DATE: September 8, 2022
EXECUTIVE SECRETARY: Karen L. Garner

APN(S):
034671005; 034671006;
034671014

| | |
|-------------------|-------------|
| Project Manager | KIRK MILLER |
| Project Architect | KIRK MILLER |
| Scale | AS NOTED |
| Date | 06/24/2020 |
| Project Number | 20112.03 |

This drawing is not final, or to be used for construction until the Architect's or Engineer's seal and signature appear above.

PRELIMINARY SITE PLAN

| MARK | DESCRIPTION | DATE |
|------|-------------|------|
| | | |

SHEET NO.
A00

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3008 US-50
 SOUTH LAKE TAHOE, CA
 96150

DESIGN CONCEPT



APPROVED
 EL DORADO COUNTY
 PLANNING COMMISSION
 DATE: September 8, 2022
 EXECUTIVE SECRETARY: Karen L. Garner

APN:
 034-671-05

Project Manager

KIRK MILLER

Project Architect

KIRK MILLER

Scale

AS NOTED

Date

06/24/2020

Project Number

20112.03

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SHEET TITLE

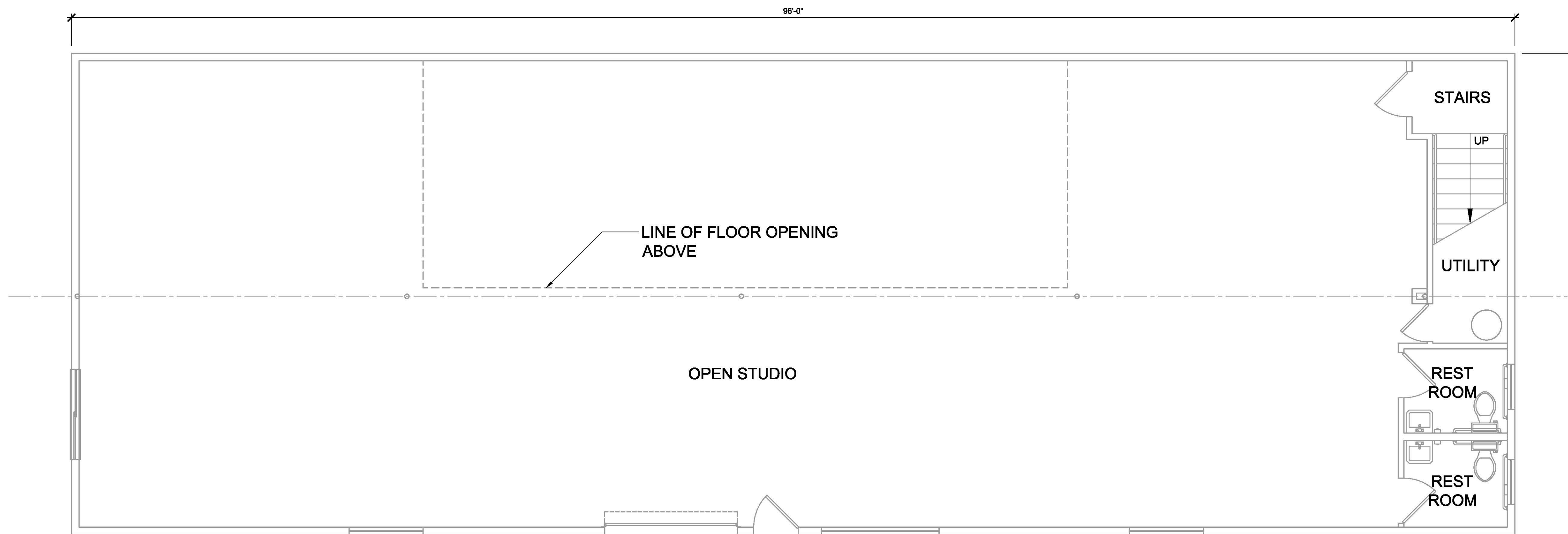
EXISTING FIRST AND SECOND
 FLOOR PLANS

| MARK | DESCRIPTION | DATE |
|------|-------------|------|
| | | |
| | | |
| | | |

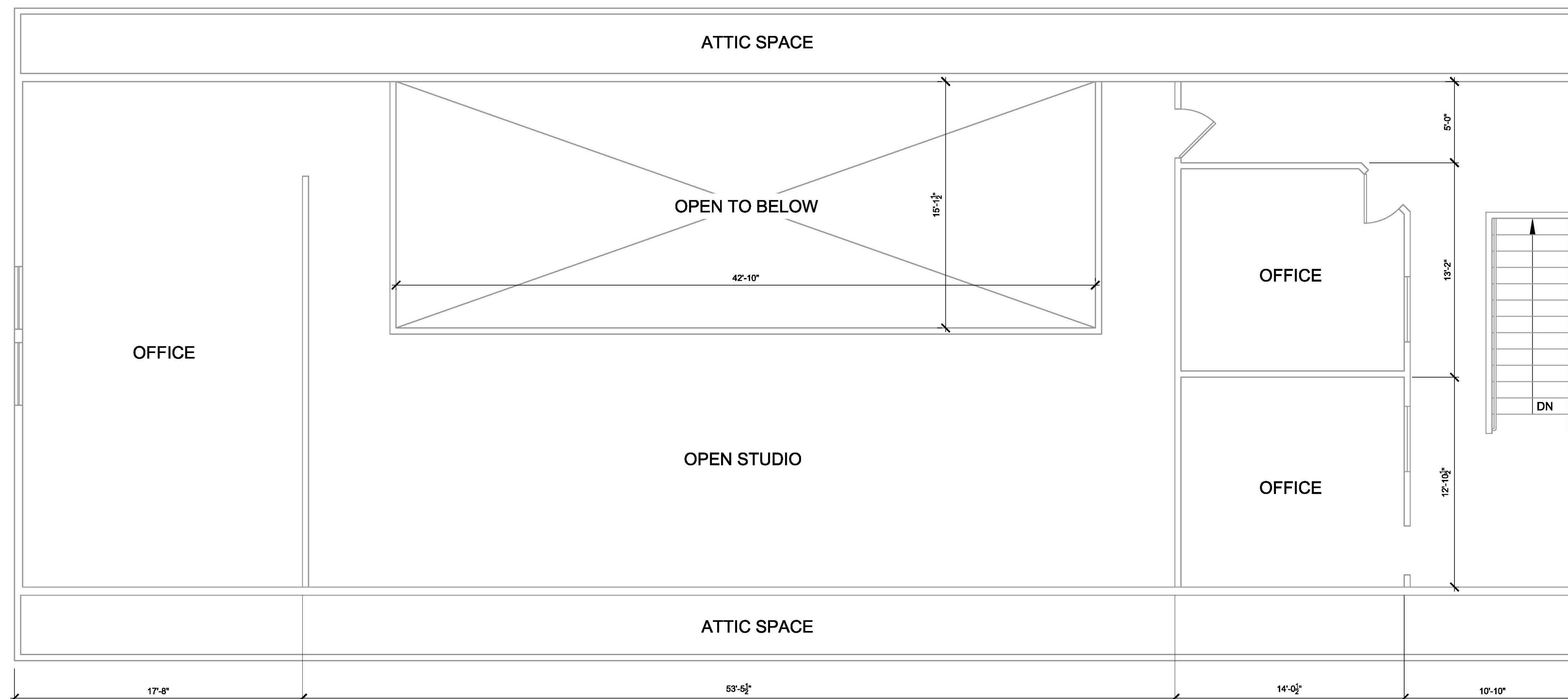
SHEET NO.

A01

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1 FIRST FLOOR PLAN - EXISTING
 1/4" = 1'-0" NORTH



2 SECOND FLOOR PLAN - EXISTING
 1/4" = 1'-0" NORTH



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 EXECUTIVE SECRETARY: Karen L. Garner

APN:
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Project Manager
 KIRK MILLER
 Project Architect
 KIRK MILLER
 Scale
 AS NOTED
 Date
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 Project Number
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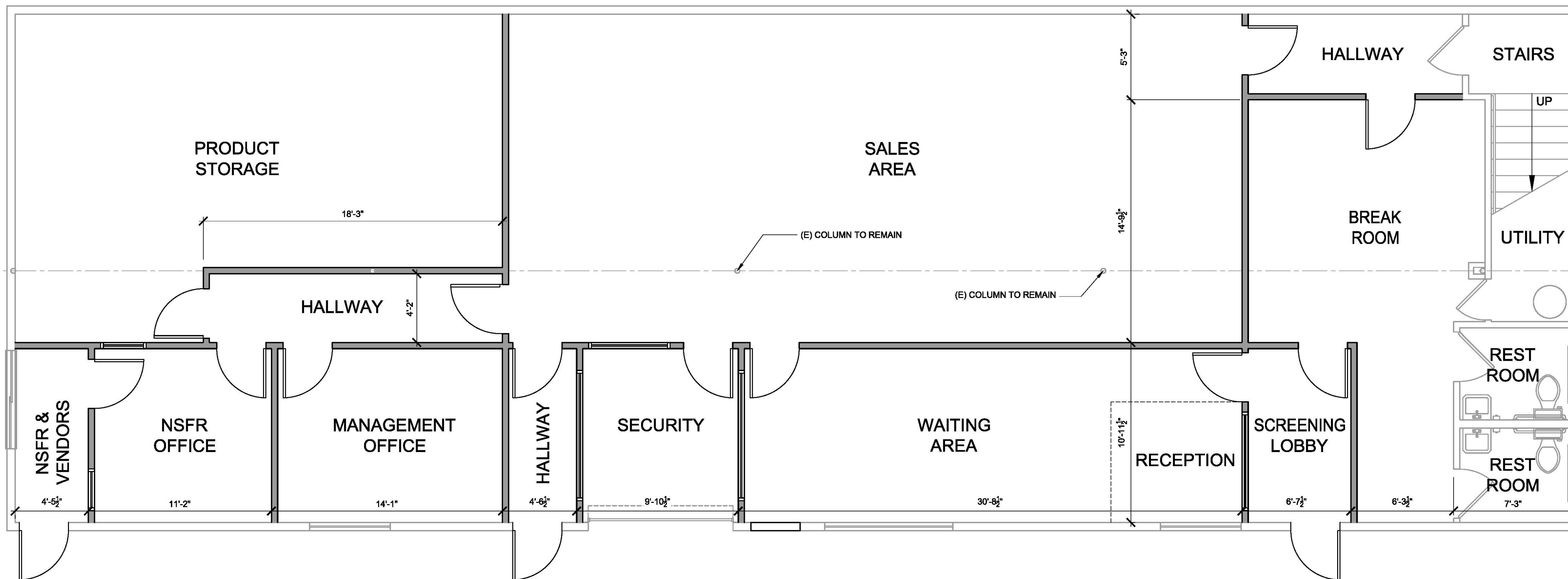
PROPOSED FIRST AND SECOND FLOOR PLANS

| MARK | DESCRIPTION | DATE |
|------|-------------|------|
| | | |
| | | |
| | | |

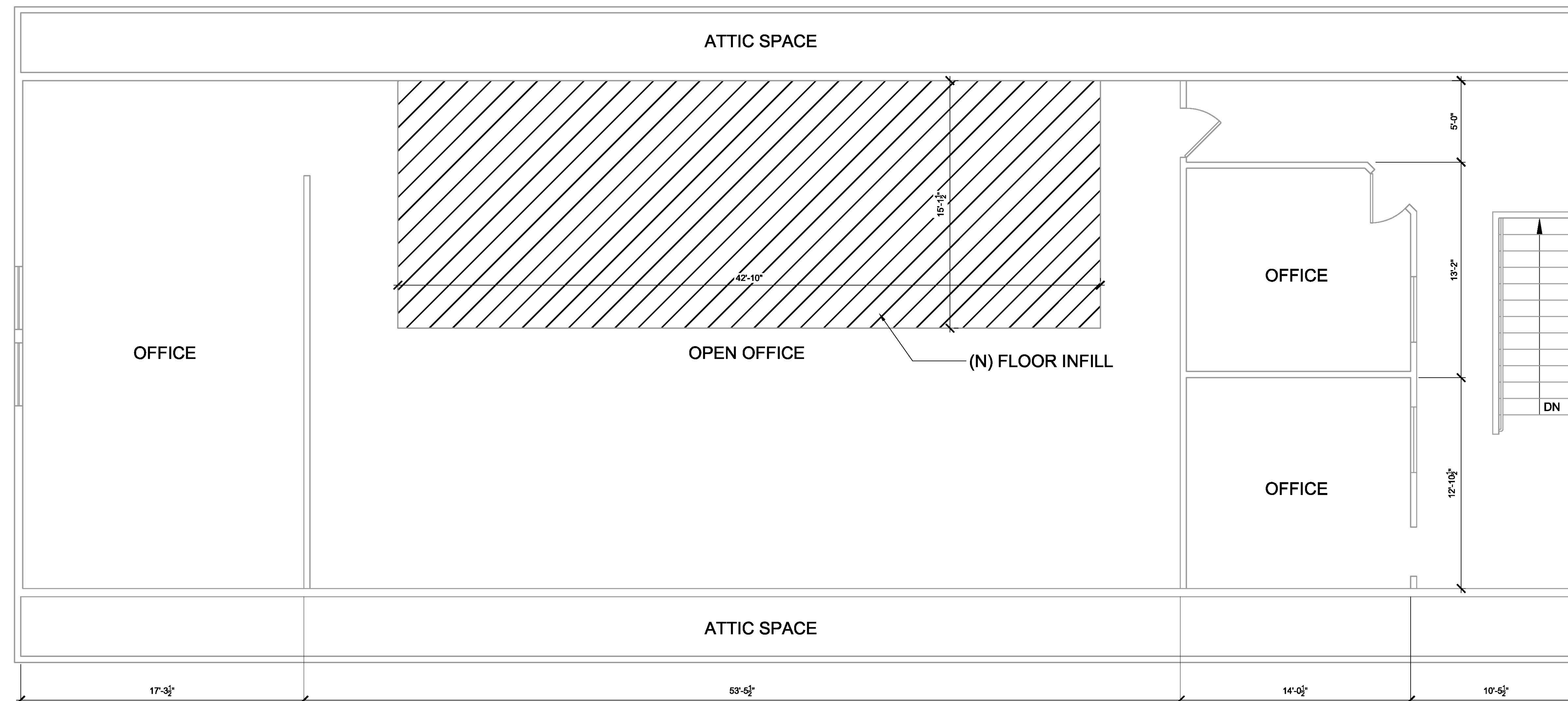
SHEET NO.

A02

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1 FIRST FLOOR PLAN - PROPOSED
 1/4" = 1'-0" NORTH



2 SECOND FLOOR PLAN - PROPOSED
 1/4" = 1'-0" NORTH