



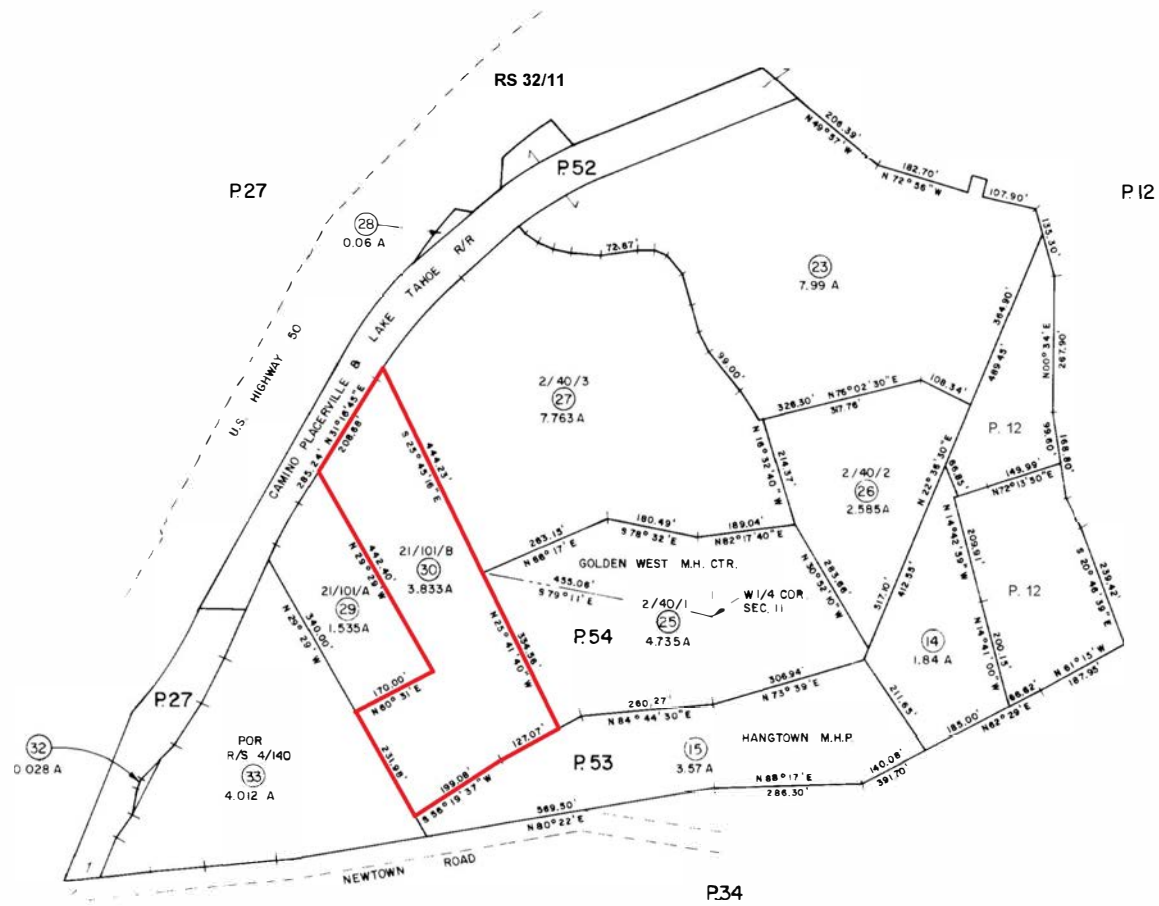
Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community

### CUP22-0011/Fuji Battery Storage Exhibit A: Location/Vicinity Map



POR. SEC. 10&11., T.10N., R.1E., M.D.M.  
 "MOTOR CITY" AREA

48:28

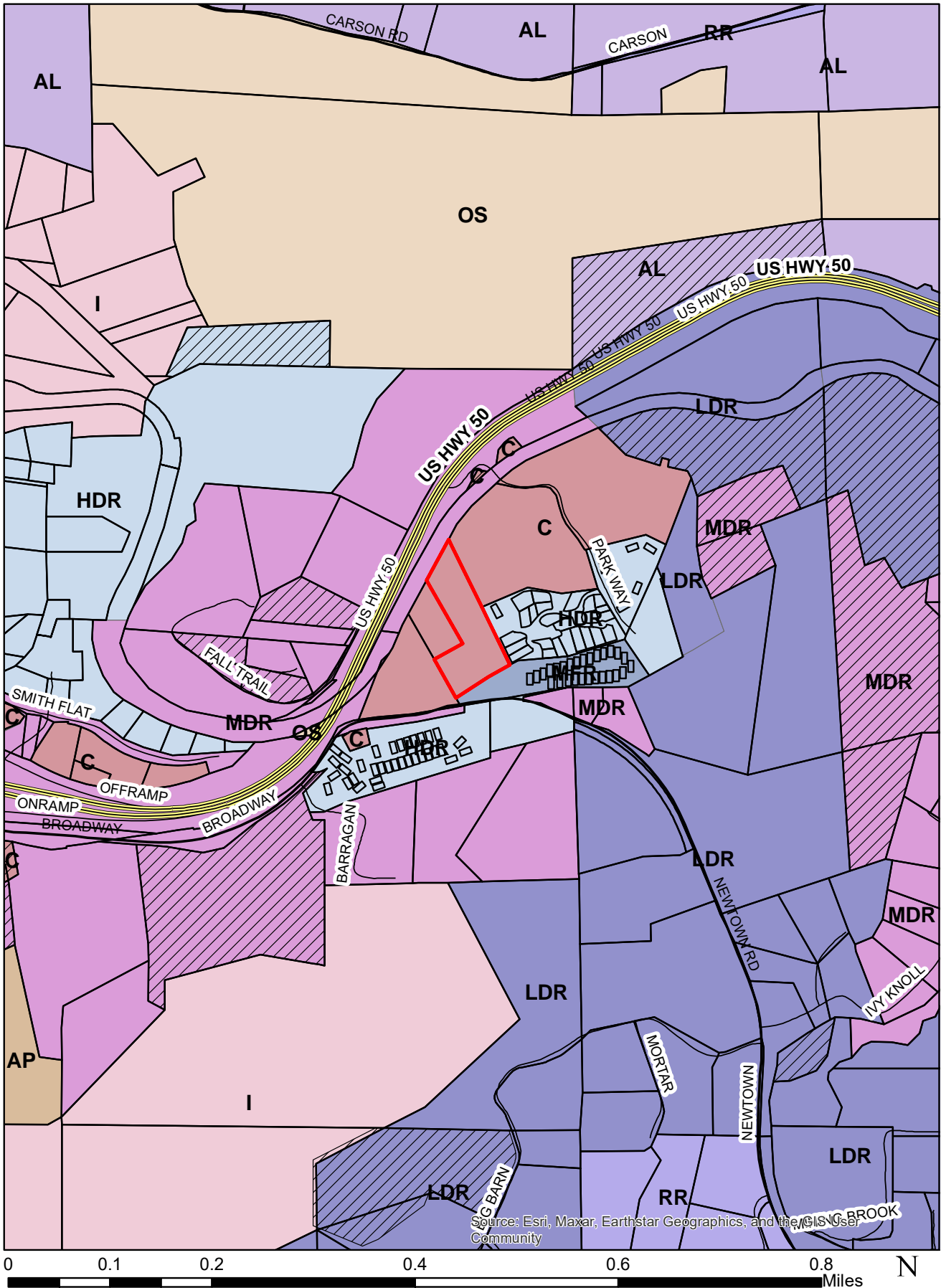


Rev. Nov. 16, 2009

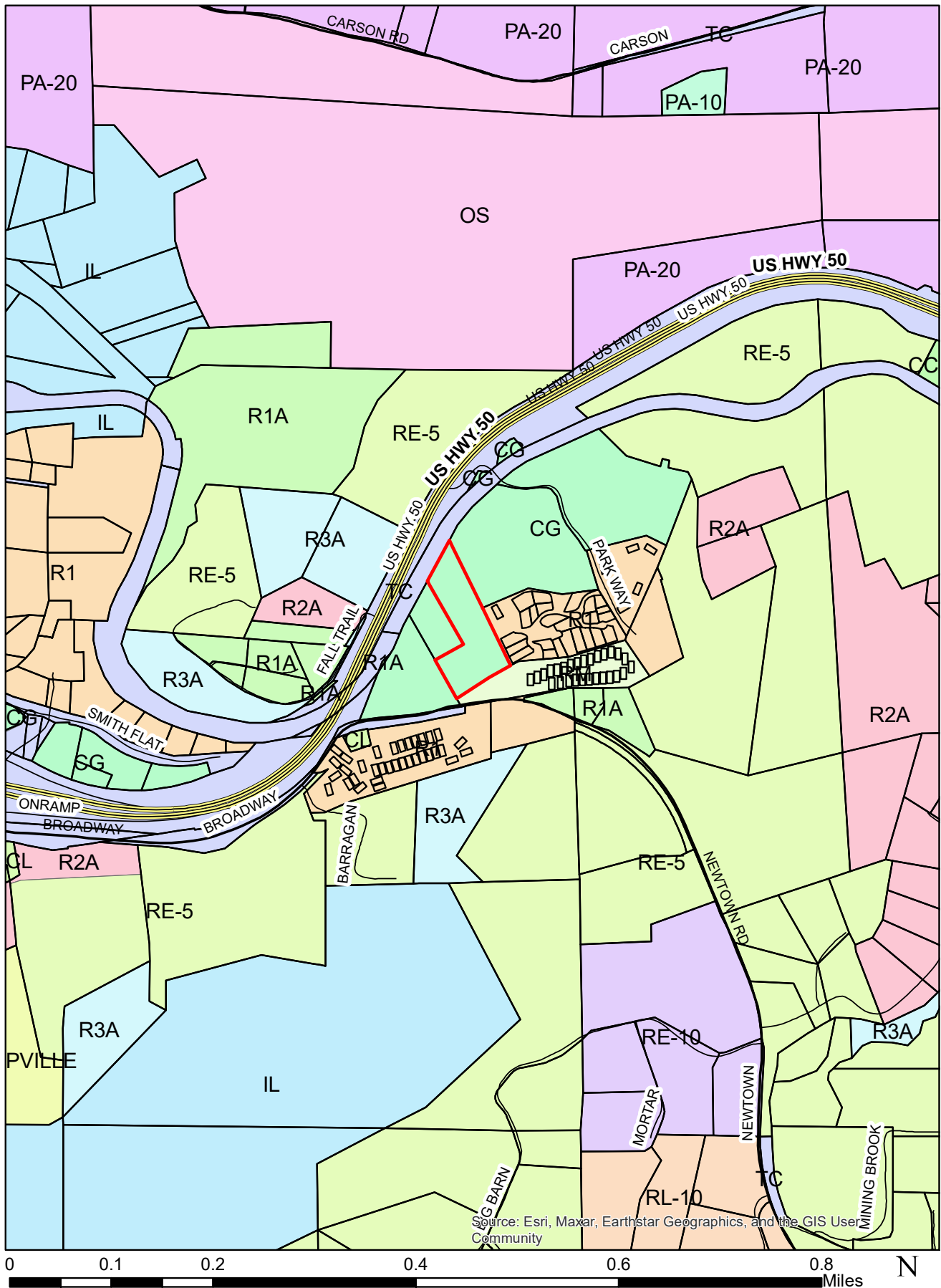
Assessor's Map Bk. 4R -- Pg. 2R  
 County of El Dorado, California

NOTE Assessor's Block Numbers Shown in Ellipses  
 Assessor's Parcel Numbers Shown in Circles

CUP22-0011/Fuji Battery Storage  
 Exhibit B: Assessor's Parcel Map



CUP22-0011/Fuji Battery Storage  
 Exhibit C: General Plan Land Use Map



CUP22-0011/Fuji Battery Storage  
 Exhibit D: Zoning Map



Project: Fuji Battery Storage  
 Applicant: Apex Energy Solutions LLC  
 APN:048-280-030-000  
 El Dorado County  
 Zoning: Industrial

**FUJI BATTERY PROJECT**

CONFIDENTIAL DOCUMENTS  
 THE INFORMATION EMBODIED ON THIS DRAWING IS STRICTLY CONFIDENTIAL AND IS SUPPLIED WITH THE UNDERSTANDING THAT IT WILL BE HELD CONFIDENTIAL AND NOT DISCLOSED TO THIRD PARTIES WITHOUT THE PRIOR WRITTEN CONSENT OF ZGLOBAL, INC.

REV.	BY	DESCRIPTION	DATE	APPROV BY
0	OI	SUBMITTAL #1	03/21/22	
1	OI	REV 1	11/21/22	



1 inch  
 Scale to Confirm 24"x36" Plot



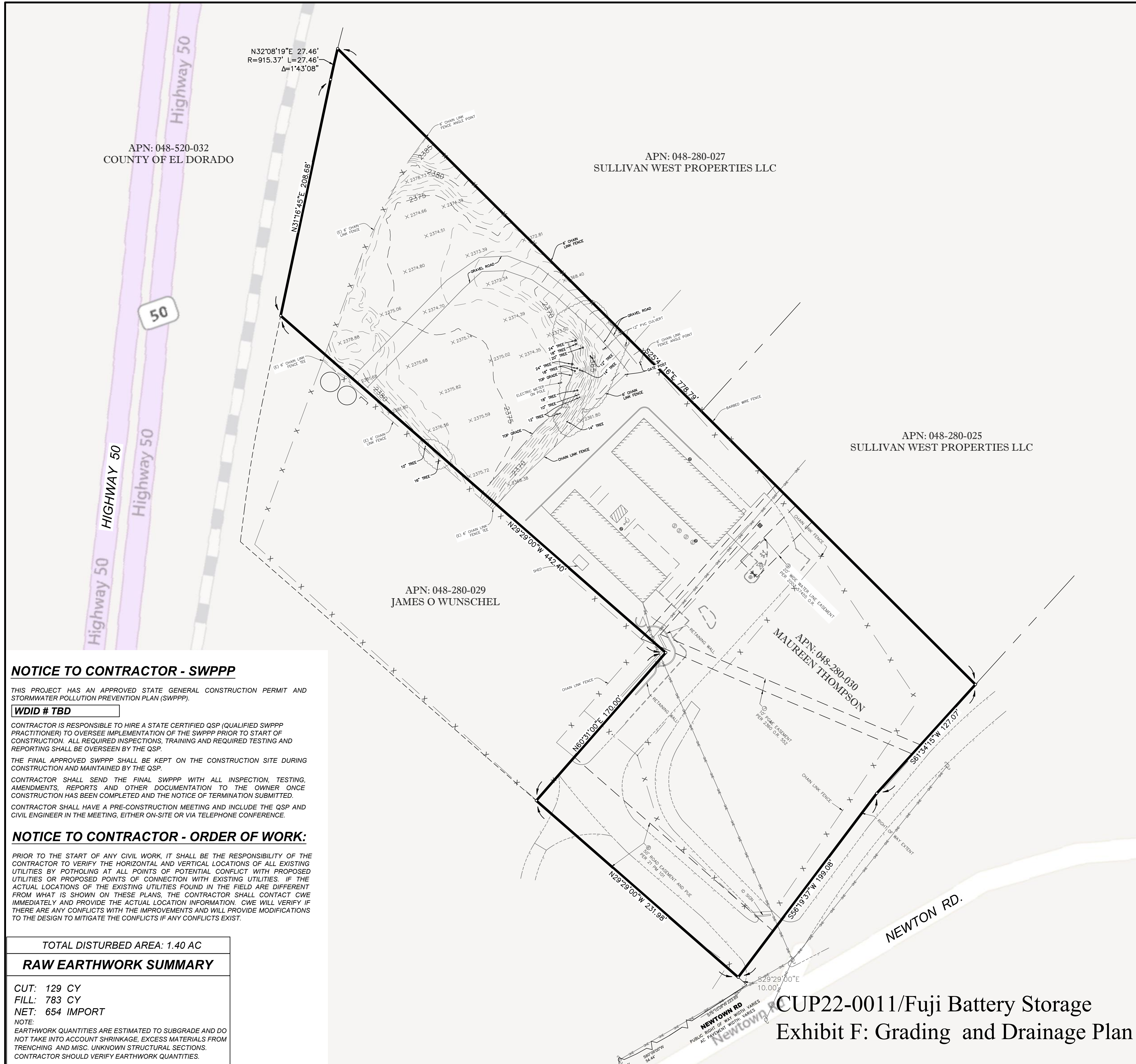
604 SUTTER ST, STE 250  
 FOLSOM, CA 95630  
 Phone : 916.985.9461  
 Fax: 916.985.9467

"THESE DRAWINGS AND SPECIFICATIONS HAVE BEEN PREPARED BY ZGLOBAL INC. FOR THEIR EXCLUSIVE USE IN ACCORD WITH SEC. 6737.3 OF THE 2012 PROFESSIONAL ENGINEERS ACT OF THE STATE OF CALIFORNIA"

**PRODUCT SPECIFICATION SHEETS**

DRAWN BY:	OI	DRAWING No.	
CHECKED:			
SCALE:	AS NOTED		<b>C-000</b>
JOB NO.:			
DATE:		REV No.	<b>1</b>





APN: 048-520-032  
COUNTY OF EL DORADO

APN: 048-280-027  
SULLIVAN WEST PROPERTIES LLC

APN: 048-280-025  
SULLIVAN WEST PROPERTIES LLC

APN: 048-280-029  
JAMES O WUNSCHEL

APN: 048-280-030  
MAUREN THOMPSON

**NOTICE TO CONTRACTOR - SWPPP**

THIS PROJECT HAS AN APPROVED STATE GENERAL CONSTRUCTION PERMIT AND STORMWATER POLLUTION PREVENTION PLAN (SWPPP).

WDID # TBD

CONTRACTOR IS RESPONSIBLE TO HIRE A STATE CERTIFIED QSP (QUALIFIED SWPPP PRACTITIONER) TO OVERSEE IMPLEMENTATION OF THE SWPPP PRIOR TO START OF CONSTRUCTION. ALL REQUIRED INSPECTIONS, TRAINING AND REQUIRED TESTING AND REPORTING SHALL BE OVERSEEN BY THE QSP.

THE FINAL APPROVED SWPPP SHALL BE KEPT ON THE CONSTRUCTION SITE DURING CONSTRUCTION AND MAINTAINED BY THE QSP.

CONTRACTOR SHALL SEND THE FINAL SWPPP WITH ALL INSPECTION, TESTING, AMENDMENTS, REPORTS AND OTHER DOCUMENTATION TO THE OWNER ONCE CONSTRUCTION HAS BEEN COMPLETED AND THE NOTICE OF TERMINATION SUBMITTED.

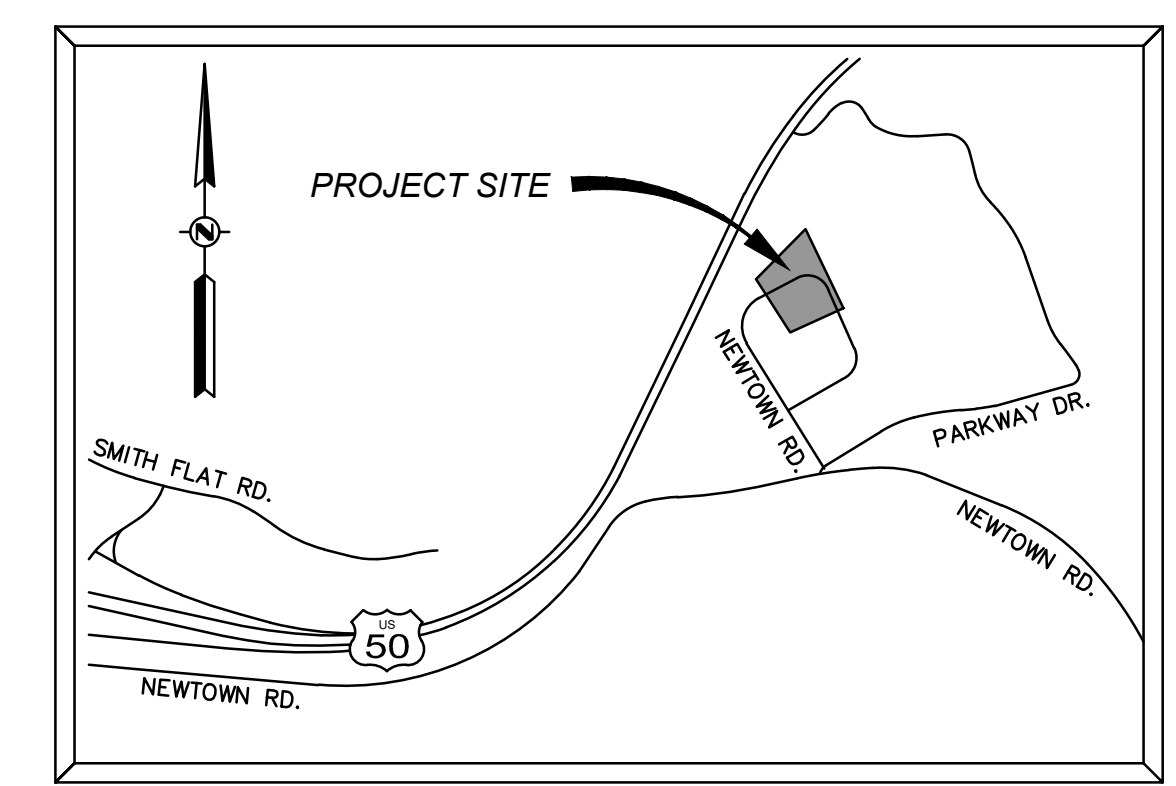
CONTRACTOR SHALL HAVE A PRE-CONSTRUCTION MEETING AND INCLUDE THE QSP AND CIVIL ENGINEER IN THE MEETING, EITHER ON-SITE OR VIA TELEPHONE CONFERENCE.

**NOTICE TO CONTRACTOR - ORDER OF WORK:**

PRIOR TO THE START OF ANY CIVIL WORK, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES BY POTHOLES AT ALL POINTS OF POTENTIAL CONFLICT WITH PROPOSED UTILITIES OR PROPOSED POINTS OF CONNECTION WITH EXISTING UTILITIES. IF THE ACTUAL LOCATIONS OF THE EXISTING UTILITIES FOUND IN THE FIELD ARE DIFFERENT FROM WHAT IS SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT CWE IMMEDIATELY AND PROVIDE THE ACTUAL LOCATION INFORMATION. CWE WILL VERIFY IF THERE ARE ANY CONFLICTS WITH THE IMPROVEMENTS AND WILL PROVIDE MODIFICATIONS TO THE DESIGN TO MITIGATE THE CONFLICTS IF ANY CONFLICTS EXIST.

TOTAL DISTURBED AREA: 1.40 AC
<b>RAW EARTHWORK SUMMARY</b>
CUT: 129 CY
FILL: 783 CY
NET: 654 IMPORT
NOTE: EARTHWORK QUANTITIES ARE ESTIMATED TO SUBGRADE AND DO NOT TAKE INTO ACCOUNT SHRINKAGE, EXCESS MATERIALS FROM TRENCHING AND MISC. UNKNOWN STRUCTURAL SECTIONS. CONTRACTOR SHOULD VERIFY EARTHWORK QUANTITIES.

**CUP22-0011/Fuji Battery Storage**  
**Exhibit F: Grading and Drainage Plan**



**VICINITY MAP**  
NOT TO SCALE

**SHEET INDEX:**

C1	EXISTING CONDITIONS
C2	GRADING AND DRAINAGE PLAN
C3	CONSTRUCTION BMP PLAN
C4	CONSTRUCTION AND EROSION CONTROL DETAILS

**BASIS OF BEARINGS:**

THE SOUTH EASTERLY LINE OF PARCEL B, BEING N56°19'37"E, AS SHOWN ON THAT CERTAIN MAP FILED FOR RECORD INBOOK 21 OF PARCEL MAPS, PAGE 101, RECORDS OF PLACER COUNTY WAS USED AS THE BASIS OF BEARINGS AS SHOWN AND STATED ON THE ALTA SURVEY PERFORMED BY BY MATT RUSSEL, LS9010, SLOOTEN CONSULTING, INC.

**BENCHMARK:**

THE ELEVATIONS ON THIS SITE WERE BASED ON AN ASSUMED DATUM BASED ON GOOGLE MAPS

**UTILITY NOTE:**

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

**NOTICE TO CONTRACTOR - ORDER OF WORK:**

PRIOR TO THE START OF ANY CIVIL WORK, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES BY POTHOLES AT ALL POINTS OF POTENTIAL CONFLICT WITH PROPOSED UTILITIES OR PROPOSED POINTS OF CONNECTION WITH EXISTING UTILITIES. IF THE ACTUAL LOCATIONS OF THE EXISTING UTILITIES FOUND IN THE FIELD ARE DIFFERENT FROM WHAT IS SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT CWE IMMEDIATELY AND PROVIDE THE ACTUAL LOCATION INFORMATION. RFE ENGINEERING WILL VERIFY IF THERE ARE ANY CONFLICTS WITH THE IMPROVEMENTS AND WILL PROVIDE MODIFICATIONS TO THE DESIGN TO MITIGATE THE CONFLICTS IF ANY CONFLICTS EXIST.

**FLOOD PLAIN:**

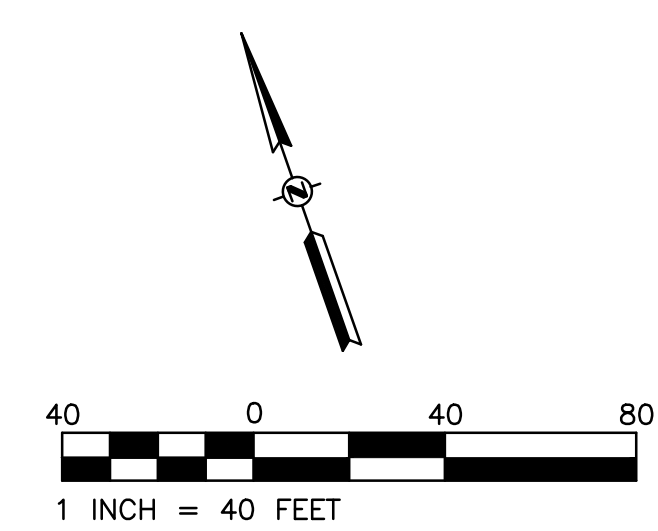
BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED IN ZONE "UNSHADED X" OF FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 0617C0800E, WHICH BEARS AN EFFECTIVE DATE OF 09/26/2008 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEY WAS PERFORMED TO DETERMINE THIS ZONE.

**ZONING:**

INDUSTRIAL

**SOIL TYPE:**

B



Know what's below.  
Call before you dig.  
or (800) 227-2600

APPROVD	BY	DATE	REVISION	CHECK NO.	BY	CHECK	NO.	DESIGN	QUANT.	SCALE
										1" = 40'
										ORIGINAL SCALE IS IN INCHES
<b>ZGLOBAL</b> 604 SUTTER ST. SUITE 250 FOLSOM, CA 95630 (916) 985-9481										
<b>FUJI BATTERY STORAGE</b> EL DORADO COUNTY, CA APN: 048-280-025-000 <b>EXISTING CONDITIONS</b>										
Sheet <b>C1</b> 1 of 4 03/10/2022										



APN: 048-520-032  
COUNTY OF EL DORADO

APN: 048-280-027  
SULLIVAN WEST PROPERTIES LLC



**LEGEND:**

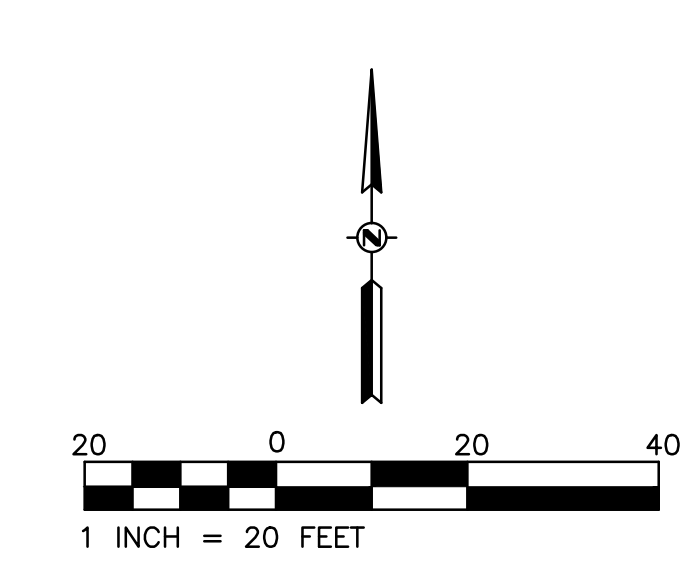
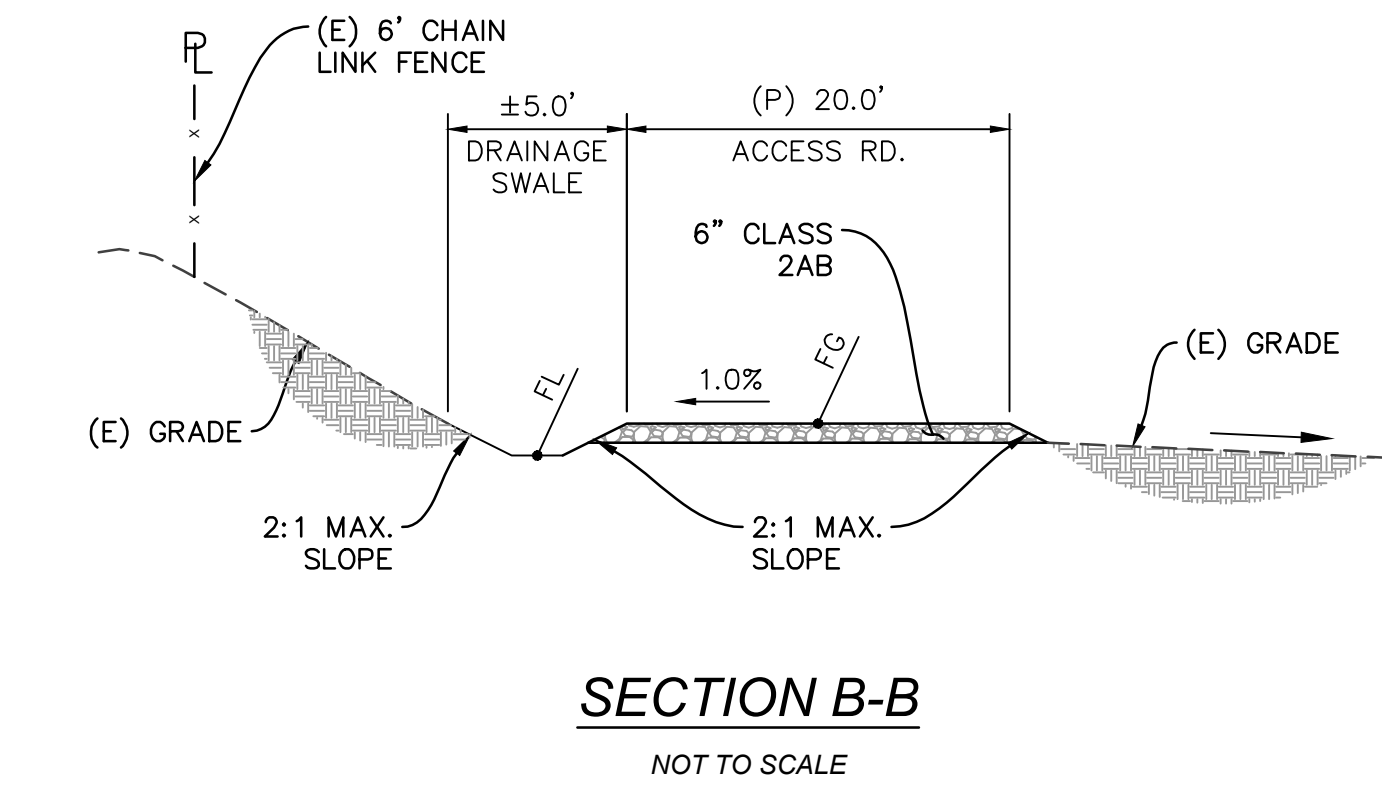
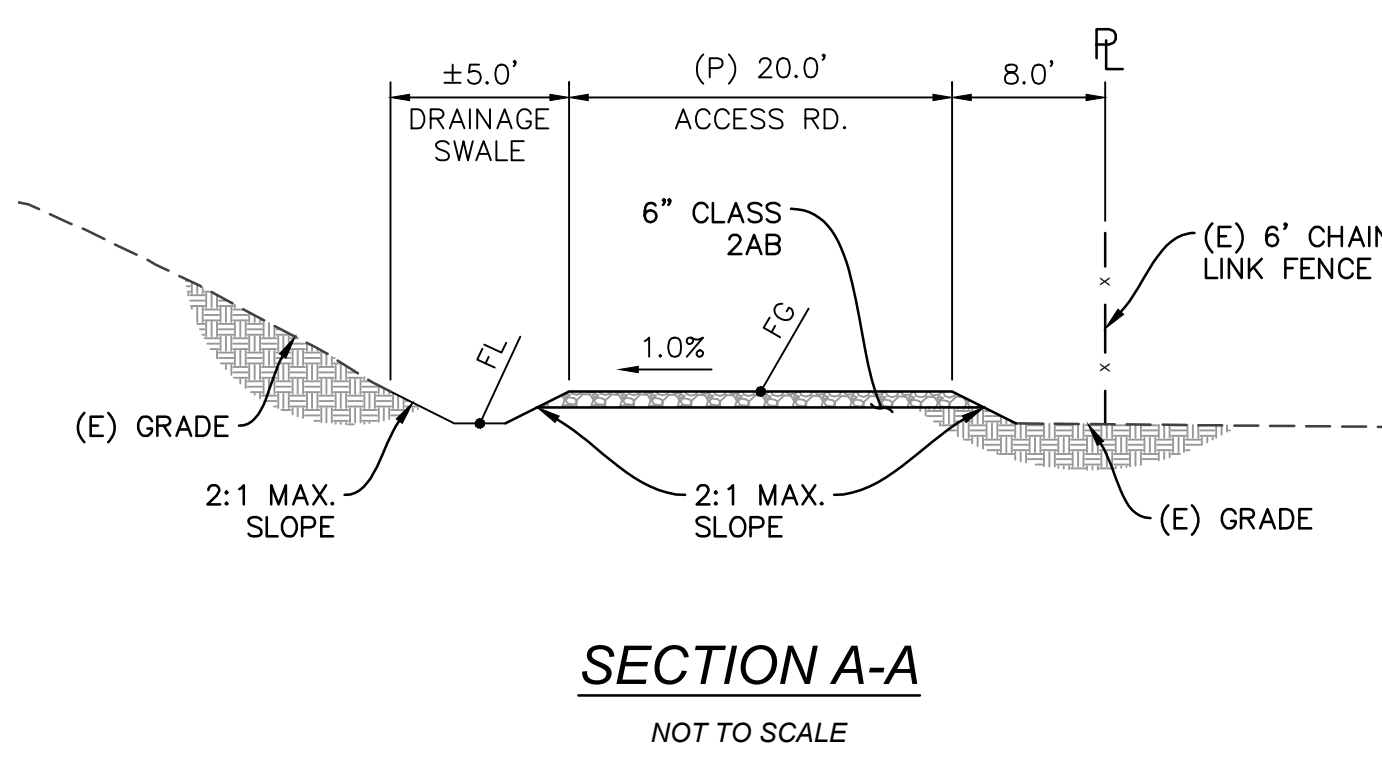
3" AC / 8" CLASS 2AB		(P) INTERMEDIATE CONTOURS	
6" CLASS 2AB		(P) INDEX CONTOUR	
CONCRETE		(E) INTERMEDIATE CONTOURS	
FLOWLINE ELEVATION	13.34 FL	(E) INDEX CONTOUR	
MATCH (E) GRADE ELEVATION	13.61 FG MATCH (E)	(P) FENCE LINE	
FINISH GRADE ELEVATION	13.34 FG	(E) FENCE LINE	
PROPOSED UTILITY POLE		(P) FLOW PATH	
SURFACE FLOW CHANNEL FLOW		DAYLIGHT LINE	
OVERLAND RELEASE			

**CONSTRUCTION KEYNOTES:**

- 1 PLACE NEW 20' WIDE GATE
- 2 EXTEND 12" STORM DRAIN PIPE AND OUTFALL BEYOND DAYLIGHT OF NEW ROAD  
INSTALL NEW OPI STEEL INLET PER CALTRANS STD. D95A

**GENERAL GRADING AND DRAINAGE NOTES:**

1. ALL VALVES, MANHOLES, CLEANOUTS, D'S, PULLBOXES, ETC. WITHIN LIMITS OF CONSTRUCTION TO BE ADJUSTED TO FINISH GRADE AS NEEDED.
2. GRADING AND PAVING SHALL BE IN ACCORDANCE WITH PROJECT GEOTECHNICAL REPORT.
3. VERIFY ALL UTILITY LOCATIONS, PIPE ELEVATIONS, ETC. PRIOR TO CONSTRUCTION.
4. SITE LIGHT LOCATIONS SHOWN FOR REFERENCE ONLY. VERIFY LOCATIONS WITH SITE ELECTRICAL PLANS.
5. ADD 2300 TO PROPOSED FINISHED GRADE AND FLOW LINE ELEVATION TO MATCH VERTICAL DATUM.
6. SCARIFY MINIMUM 12" BELOW SUBGRADE AND COMPACT TO 90% MIN. RELATIVE COMPACTION (FOR AB & CONCRETE SLABS)



Know what's below.  
Call before you dig.  
or (800) 227-2600

REVISION	DATE	BY	APPROVED

CHECK	NO.	BY	DATE
TSM			
TSM			

DESIGN	DRAWN	AEB	TSM	QUANT.

0 ORIGINAL SCALE IS IN INCHES 2

2860 Douglas Blvd., Suite 160, Roseville, CA 95681  
Ph: 916-772-7800 | www.wandengr.com

**ZGLOBAL**  
604 SUTTER ST., SUITE 250  
FOLSOM, CA 95630  
(916) 985-9461

**FUJI BATTERY STORAGE**  
EL DORADO COUNTY, CA  
APN: 048-280-029-000

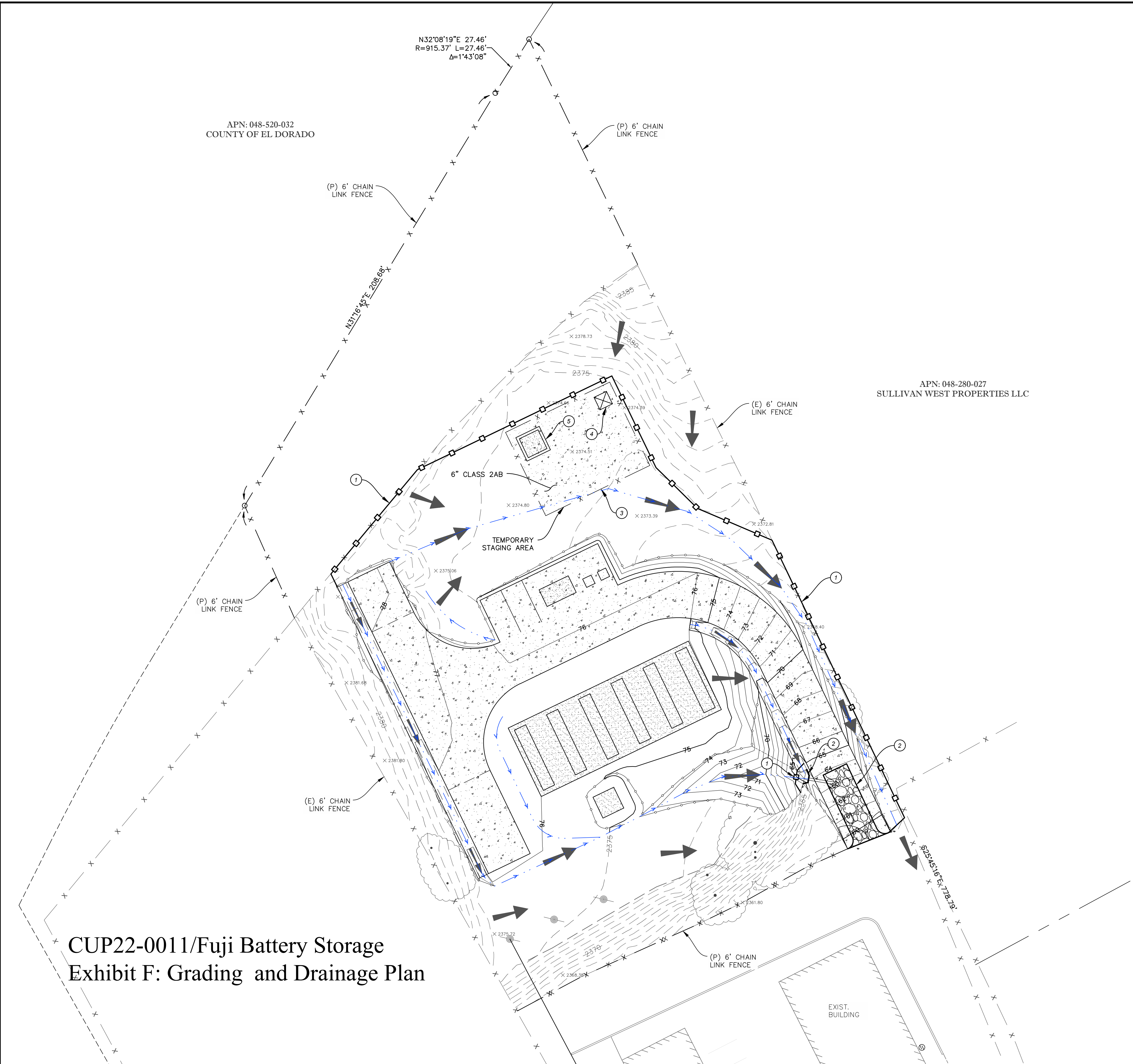
**GRADING & DRAINAGE PLAN**

Sheet  
**C2**  
2 of 4  
03/10/2022

CUP22-0011/Fuji Battery Storage  
Exhibit F: Grading and Drainage Plan





APN: 048-520-032  
COUNTY OF EL DORADO

APN: 048-280-027  
SULLIVAN WEST PROPERTIES LLC

# CUP22-0011/Fuji Battery Storage Exhibit F: Grading and Drainage Plan

### LEGEND:

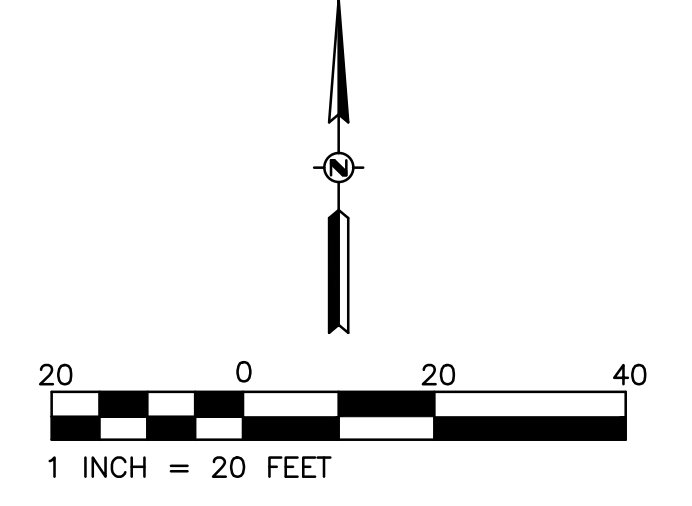
- TEMPORARY STAGING AREA FENCE
- FIBER ROLL
- CONCRETE WASHOUT
- PORTABLE TOILET
- OVERLAND RELEASE
- CHANNEL FLOW
- TEMPORARY CONSTRUCTION SITE ENTRANCE/EXIT

### CONSTRUCTION KEYNOTES:

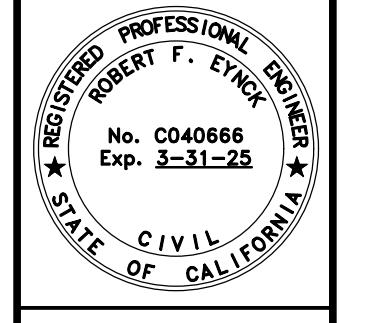
- ① PLACE FIBER ROLL PER DETAIL 1, SHEET C4. REF. CASQA BMP SE-5.
  - ② CONSTRUCT TEMPORARY CONSTRUCTION ENTRANCE / EXIT PER DETAIL 2, SHEET C4. REF. CASQA BMP TC-1.
  - ③ STAGING AREA, MATERIAL STORAGE, TEMPORARY STOCKPILE STORAGE AREA, FUELING AREA.
  - ④ PLACE PORTABLE TOILET(S) FOR USE DURING CONSTRUCTION. LOCATE 50' MIN FROM STORM DRAIN INLETS AND ANCHOR TO PREVENT OVERTURNING.
  - ⑤ CONSTRUCT CONCRETE WASHOUT PER DETAIL 3, SHEET C4 (OR USE APPROVED EQUIVALENT). REF. CASQA BMP WM-8.
- NOTE:  
CONTRACTOR TO DETERMINE SPECIFIC LOCATIONS AND BMPs EMPLOYED FOR EROSION AND SEDIMENT CONTROL, EITHER NOT SHOWN ON PLAN OR IN ADDITION TO PLAN (AS NEEDED). HYDROSEEDING (PER CASQA MANUAL) OF PERMANENTLY EXPOSED SOIL AND EROSION CONTROL BLANKETS TO BE USED IN COMBINATION (AS REQUIRED) DURING CONSTRUCTION TO PREVENT EROSION.



Know what's below.  
Call before you dig.  
or (800) 227-2600



BY	CHECK	NO.	REVISION		DATE	BY	APPRVD
			DESIGN	QUANT.			
	AEB						
	TSM						
	AEB						
	TSM						



ZGLOBAL  
604 SUTTER ST., SUITE 250  
FOLSOM, CA 95630  
(916) 985-9461

FUJI BATTERY STORAGE  
EL DORADO COUNTY, CA  
APN: 048-280-029-000  
**CONSTRUCTION BMP PLAN**



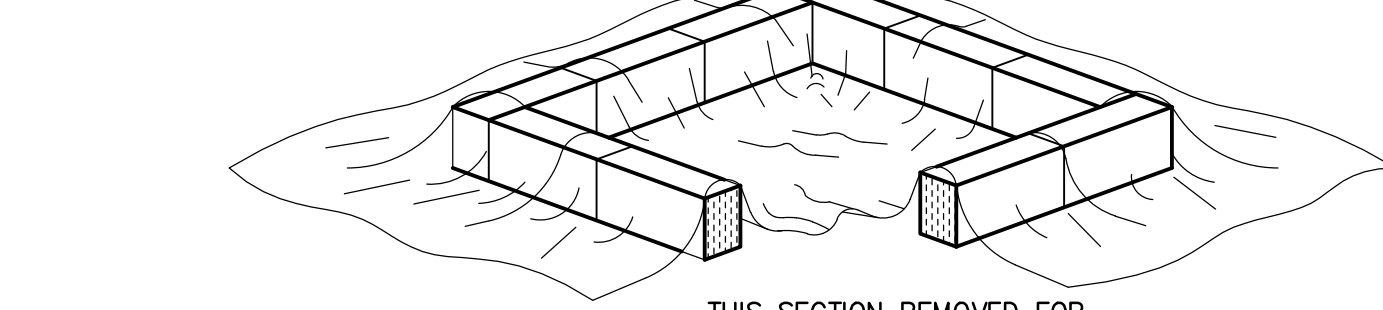
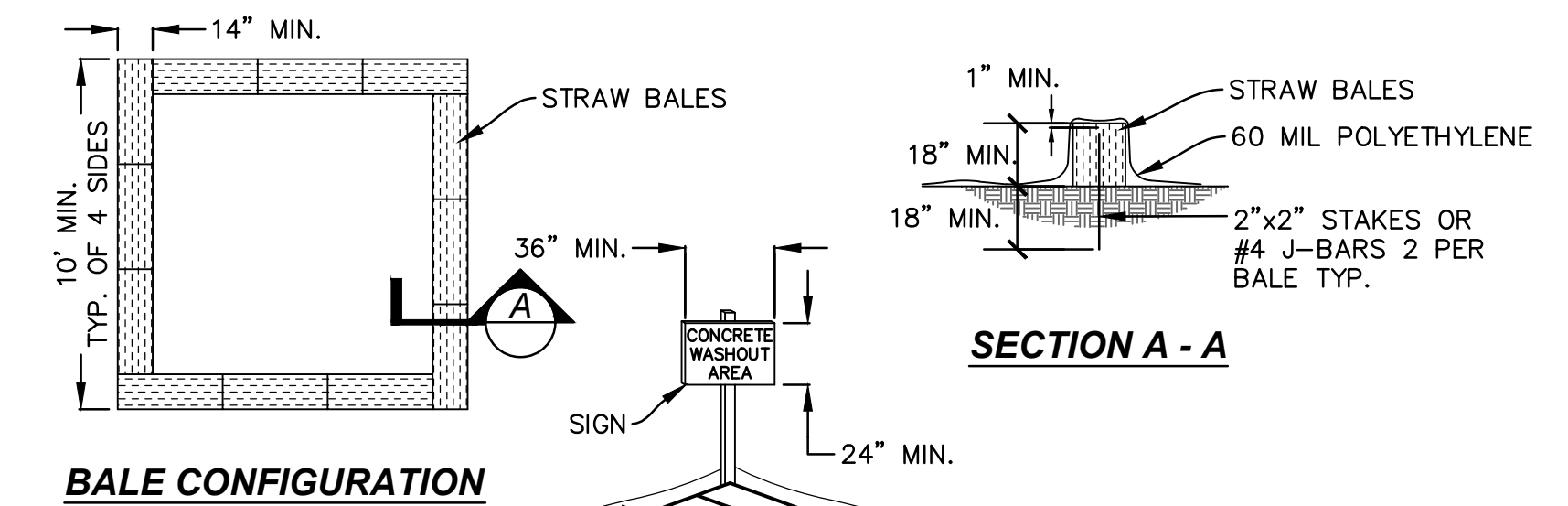
**EROSION AND SEDIMENT CONTROL NOTES:**

1. THE CONTRACTOR SHALL FOLLOW ALL JURISDICTIONAL GUIDELINES FOR GRADING AND THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN OR STATED ON THESE PLANS.
2. CONTRACTOR MUST ENSURE THAT THE CONSTRUCTION SITE IS PREPARED PRIOR TO THE ONSET OF ANY STORM. CONTRACTOR SHALL HAVE ALL EROSION AND SEDIMENT CONTROL MEASURES IN PLACE FOR THE WINTER MONTHS PRIOR TO OCTOBER 1.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED. CHANGES TO THIS EROSION AND SEDIMENT CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS ONLY WITH THE APPROVAL OF OR AT THE DIRECTION OF A REPRESENTATIVE OF THE DEPARTMENT OF UTILITIES.
4. THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS MAY BE MADE TO THE PLAN IN THE FIELD SUBJECT TO THE APPROVAL OF OR AT THE DIRECTION OF A REPRESENTATIVE OF THE DEPARTMENT OF UTILITIES.
5. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED BEFORE AND AFTER ALL STORMS TO ENSURE MEASURES ARE FUNCTIONING PROPERLY.
6. CONTRACTOR SHALL MAINTAIN A LOG AT THE SITE OF ALL INSPECTIONS OR MAINTENANCE OF BMPs, AS WELL AS, ANY CORRECTIVE CHANGES TO THE BMPs OR EROSION AND SEDIMENT CONTROL PLAN.
7. IN AREAS WHERE SOIL WILL BE EXPOSED LONGER THAN 14 DAYS, CONTRACTOR SHALL STABILIZE EXPOSED SOILS WITH HYDROSEEDING OR OTHER EQUIVALENT METHOD. CONTRACTOR SHALL ENSURE NO AREAS WILL BE LEFT EXPOSED OVER THE WINTER SEASON.
8. THE CONTRACTOR SHALL INSTALL THE STABILIZED CONSTRUCTION ENTRANCE PRIOR TO COMMENCEMENT OF GRADING. LOCATION OF THE ENTRANCE MAY BE ADJUSTED BY THE CONTRACTOR TO FACILITATE GRADING OPERATIONS. ALL CONSTRUCTION TRAFFIC ENTERING THE PAVED ROAD MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCE. THE STABILIZED CONSTRUCTION ENTRANCE SHALL REMAIN IN PLACE UNTIL THE ROAD BASE ROCK COURSE IS COMPLETED.
9. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY OR AS NECESSARY.
10. CONTRACTOR SHALL PLACE GRAVEL BAG BARRIERS AROUND ALL NEW DRAINAGE STRUCTURE OPENINGS IMMEDIATELY AFTER THE STRUCTURE OPENING IS CONSTRUCTED. THESE GRAVEL BAG BARRIERS SHALL BE MAINTAINED AND REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETED.
11. SOIL STOCKPILE SHALL BE SURROUNDED BY STRAW WATTLE. CONTRACTOR SHALL COVER STOCKPILE WHEN NOT IN USE.

12. CONTRACTOR SHALL IMPLEMENT HOUSEKEEPING PRACTICES AS FOLLOWS:
  - A. SOLID WASTE MANAGEMENT: PROVIDE DESIGNATED WASTE COLLECTION AREAS AND CONTAINERS. ARRANGE FOR REGULAR REMOVAL AND DISPOSAL. CLEAR SITE OF TRASH INCLUDING ORGANIC DEBRIS, PACKAGING MATERIALS, SCRAP OR SURPLUS BUILDING MATERIALS AND DOMESTIC WASTE DAILY.
  - B. MATERIAL DELIVERY AND STORAGE: PROVIDE A DESIGNATED MATERIAL STORAGE AREA WITH SECONDARY CONTAINMENT SUCH AS BERMING. STORE MATERIAL ON PALLETS AND PROVIDE COVERING FOR SOLUBLE MATERIALS. RELOCATE STORAGE AREA INTO BUILDING SHELL WHEN POSSIBLE. INSPECT AREA WEEKLY.
  - C. CONCRETE WASTE: PROVIDE A DESIGNATED AREA FOR A TEMPORARY PIT TO BE USED FOR CONCRETE TRUCK WASH-OUT. DISPOSE OF HARDENED CONCRETE OFFSITE. AT NO TIME SHALL A CONCRETE TRUCK DUMP ITS WASTE AND CLEAN ITS TRUCK INTO THE CITY STORM DRAINS VIA CURB AND GUTTER. INSPECT DAILY TO CONTROL RUNOFF, AND WEEKLY FOR REMOVAL OF HARDENED CONCRETE.
  - D. PAINT AND PAINTING SUPPLIES: PROVIDE INSTRUCTION TO EMPLOYEES AND SUBCONTRACTORS REGARDING REDUCTION OF POLLUTANTS INCLUDING MATERIAL STORAGE, USE, AND CLEAN UP. INSPECT SITE WEEKLY FOR EVIDENCE OF IMPROPER DISPOSAL.
  - E. VEHICLE FUELING, MAINTENANCE AND CLEANING: PROVIDE A DESIGNATED FUELING AREA WITH SECONDARY CONTAINMENT SUCH AS BERMING. DO NOT ALLOW MOBILE FUELING OF EQUIPMENT. PROVIDE EQUIPMENT WITH DRIP PANS. RESTRICT ON-SITE MAINTENANCE AND CLEANING OF EQUIPMENT TO A MINIMUM. INSPECT AREA WEEKLY.
  - F. HAZARDOUS WASTE MANAGEMENT: PREVENT THE DISCHARGE OF POLLUTANTS FROM HAZARDOUS WASTES TO THE DRAINAGE SYSTEM THROUGH PROPER MATERIAL USE, WASTE DISPOSAL AND TRAINING OF EMPLOYEES. HAZARDOUS WASTE PRODUCTS COMMONLY FOUND ON-SITE INCLUDE BUT ARE NOT LIMITED TO PAINTS & SOLVENTS, PETROLEUM PRODUCTS, FERTILIZERS, HERBICIDES & PESTICIDES, SOIL STABILIZATION PRODUCTS, ASPHALT PRODUCTS AND CONCRETE CURING PRODUCTS.
13. THE FOLLOWING SOIL WIND EROSION CONTROL (DUST CONTROL) METHODS ARE PROPOSED AS PART OF THESE IMPROVEMENT PLANS:
  - A. WATER THE SOIL OF THE SITE AND THE ADJACENT STREETS BEING USED IN CONNECTION WITH SOIL DISTURBANCE OPERATIONS ON THE SITE IN ACCORDANCE WITH CALTRANS STANDARDS.
  - B. COVER EXPOSED SOIL WITH GRAVEL OR ROCK LANDSCAPING.
  - C. COVER EXPOSED SOIL WITH ORGANIC MULCHES, SPRINKLER IRRIGATED.
  - D. IRRIGATE GRASSES.
  - E. MAINTAIN LANDSCAPE VEGETATION.

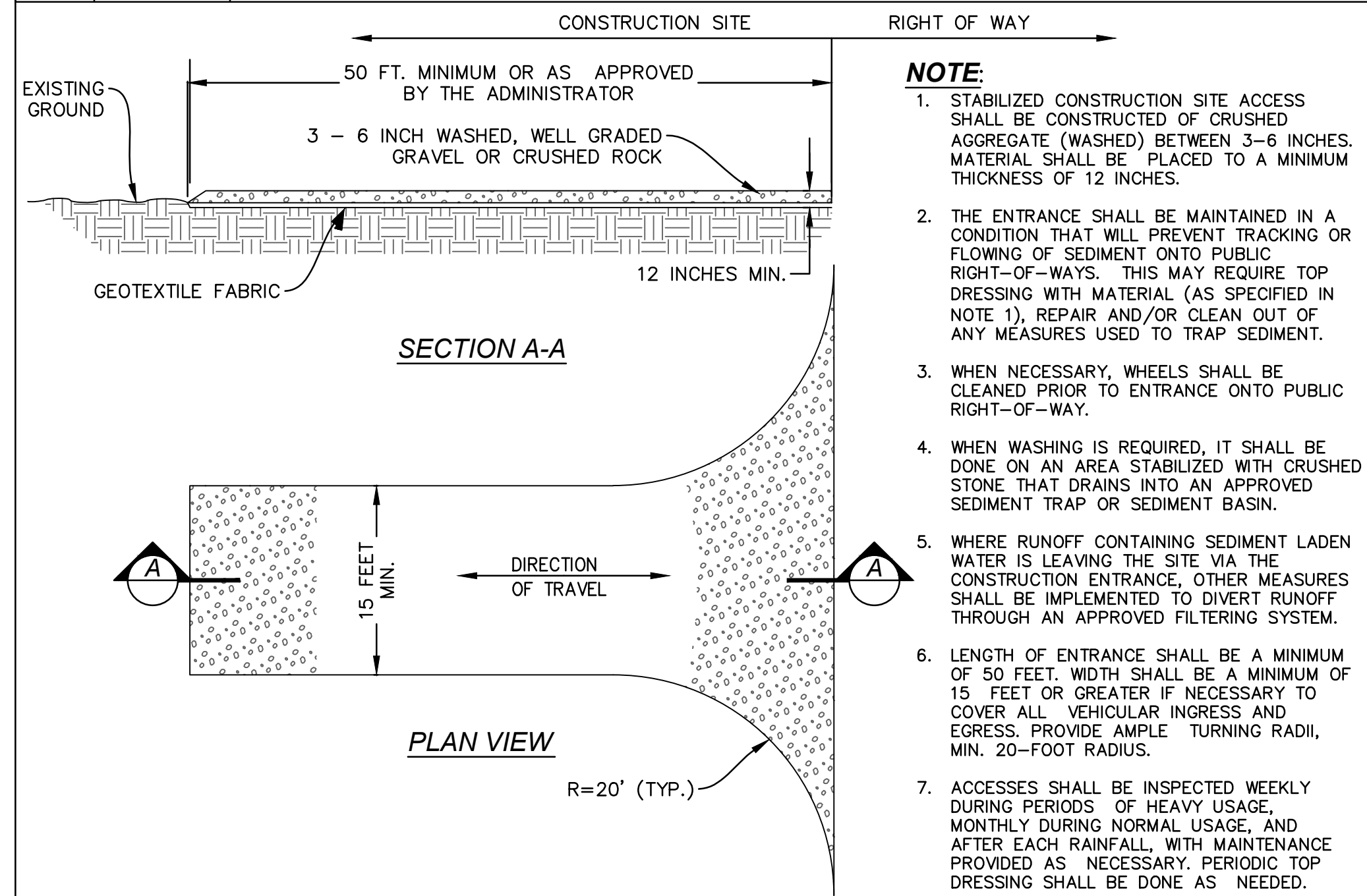
EROSION AND SEDIMENT CONTROL MEASURES													
PHASE OF CONSTRUCTION	(WET SEASON)						(WET AND DRY SEASON)						
	HYDRO-SEEDING	STRAW MULCHING & TACKIFIER	PRESERVATION OF EXISTING VEGETATION	SOIL BINDERS	FIBER ROLLS	OUTLET PROTECTION	STORM DRAIN INLET PROTECTION	DEWATERING	STABILIZED CONSTRUCTION ENTRANCE	MATERIAL & WASTE DISPOSAL LOCATION	CONCRETE WASHOUT	DUST CONTROL	SEDIMENT TRAP
PRE-GRADING			●		●		●		●	●		●	●
CUT AND FILL QUANTITIES	●	●		●				●				●	●
UNDERGROUND WORK												●	
STORM DRAIN IMPROVEMENTS						●					●	●	
CURB & GUTTER												●	
STREET IMPROVEMENTS					●							●	
POST CONSTRUCTION	●	●	●										

NOTES:  
 1. ALL EROSION BMPs SHALL BE IN PLACE PRIOR TO STORM EVENTS AND IN ACCORDANCE WITH THE LATEST EDITION OF SECTION II OF THE IMPROVEMENT STANDARDS AND THE CALIFORNIA STORM WATER HANDBOOK.  
 2. MAINTAIN BMPs AS NECESSARY.

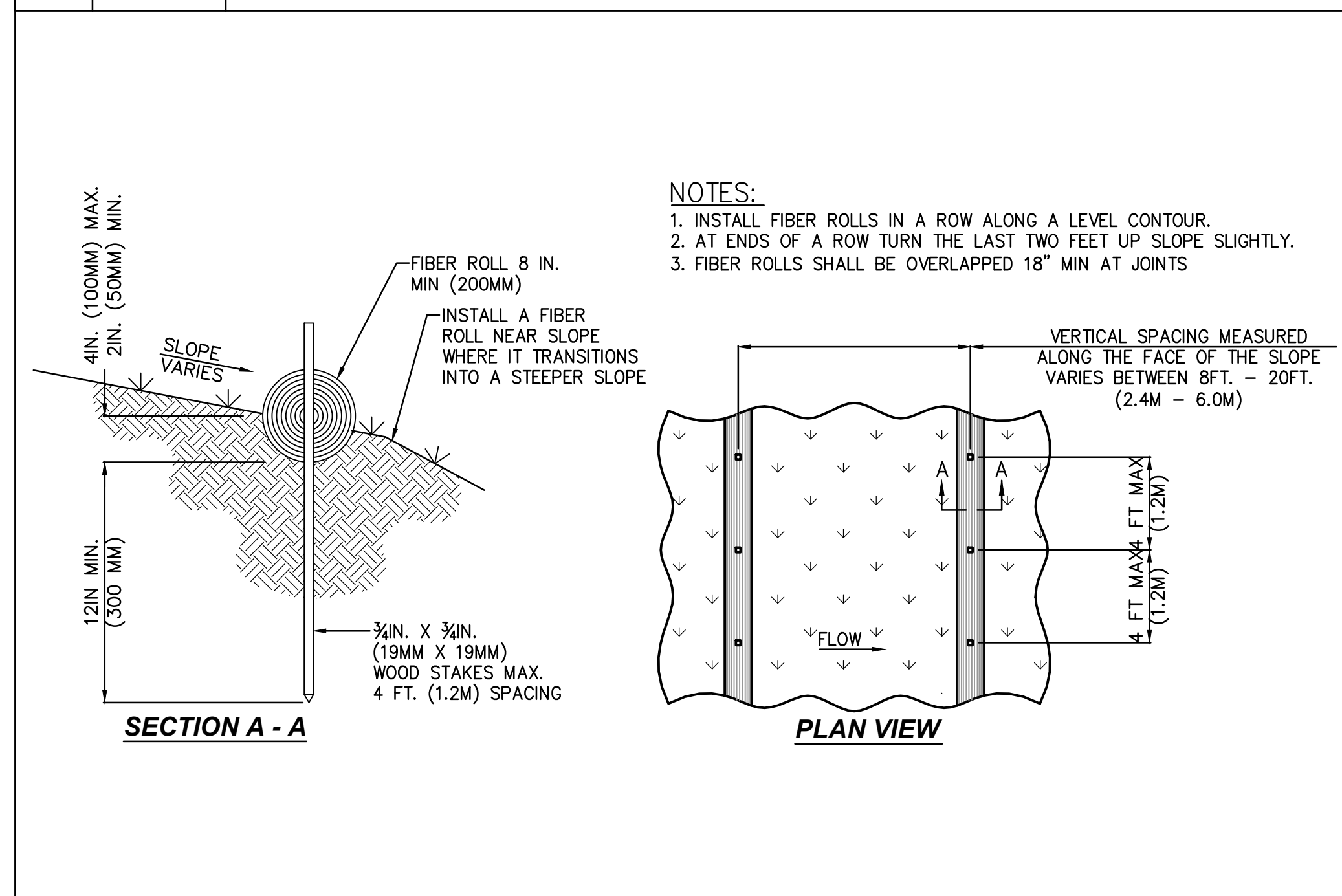


- NOTES:  
 1.) FACE SIGN TOWARD NEAREST STREET OR ACCESS POINT.  
 2.) CONCRETE WASHOUT SHALL BE LOCATED BEHIND THE CURB AND 50 FT. MINIMUM FROM DRAINAGE INLETS OR WATERCOURSES

3 NTS CONCRETE WASHOUT



2 NTS CONSTRUCTION ENTRANCE



1 NTS FIBER ROLL

APPROVED	DATE	REVISION	CHECK	BY	DESIGN	DRAWN	QUANT.	NO.	1	2	ORIGINAL SCALE IS IN INCHES
			TSM	AEB	AEB						

REGISTERED PROFESSIONAL ENGINEER  
 ROBERT F. EVANS  
 No. C0-0668  
 Exp. 7-31-25  
 CIVIL  
 STATE OF CALIFORNIA

2960 Douglas Blvd., Suite 460, Roseville, CA 95661  
 Ph. 916-772-7801 www.RFEEngineering.com

ZGLOBAL  
 604 SUTTER ST., SUITE 250  
 FOLSOM, CA 95630  
 (916) 985-9481

FUJI BATTERY STORAGE  
 EL DORADO COUNTY, CA  
 APN: 048-280-029-000

CONSTRUCTION & EROSION  
 CONTROL DETAILS

Sheet  
**C4**  
 4 of 4  
 03/02/2022

PROJECT R23001 - FUJI, EL DORADO COUNTY  
 24-0735 B 9 of 12



# FUJI BATTERY STORAGE EXISTING CONDITIONS SHED MAP

APN: 048-520-032  
COUNTY OF EL DORADO

APN: 048-280-027  
SULLIVAN WEST PROPERTIES LLC

### LEGEND

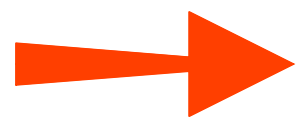
DRAINAGE AREA  
DESIGNATIONS & AREA



DRAINAGE AREA BOUNDARY

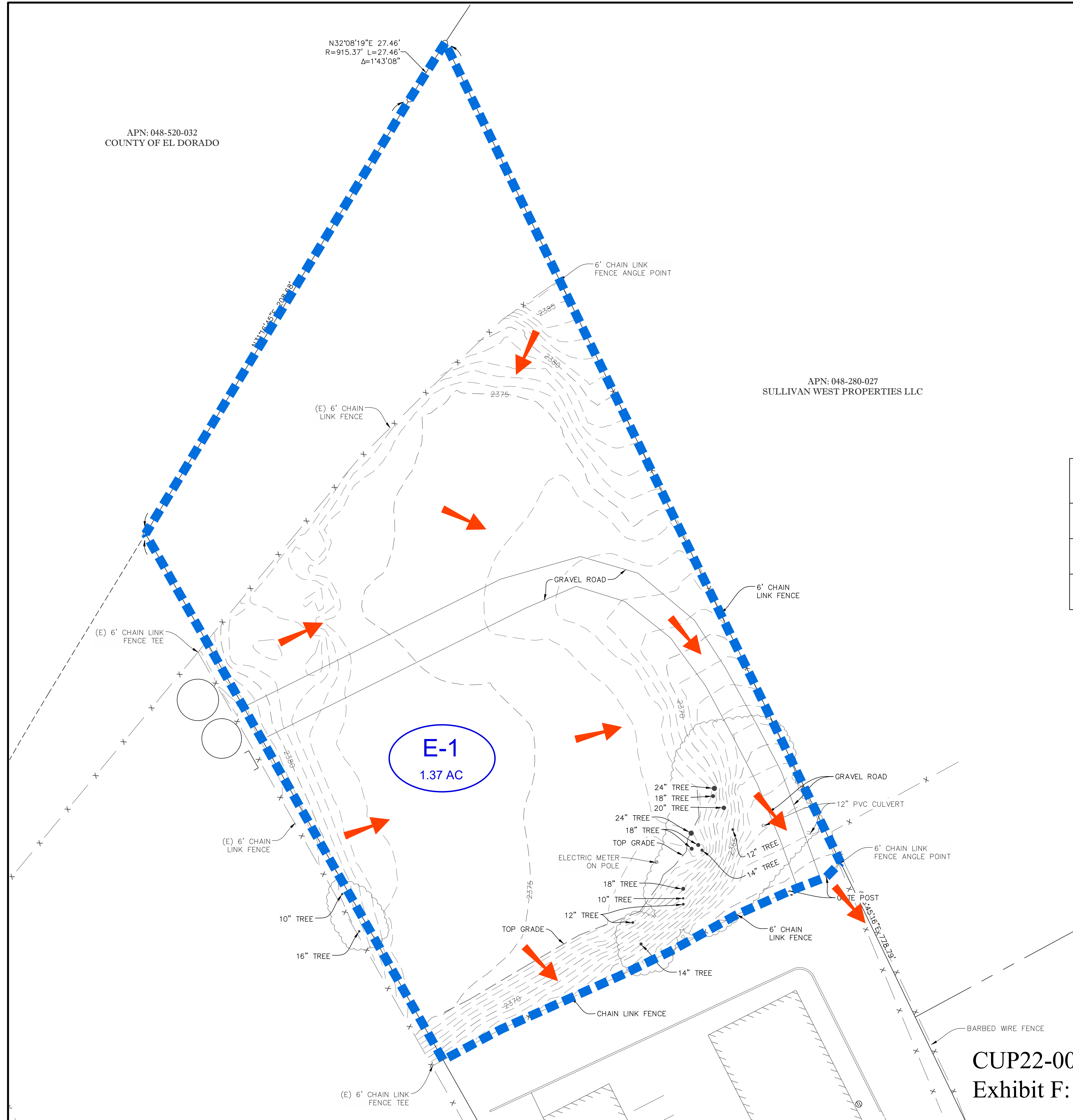


OVERLAND RELEASE



### PRE-CONSTRUCTION SHED AREAS (ACRES)

SHED	IMPERVIOUS	PERVIOUS	TOTAL	% IMPERVIOUS
E-1	0.00	1.37	1.37	0%
TOTAL	0.00	1.37	1.37	0%



APPROVD		REVISION		DATE		BY	
DESIGN		CHECK NO.		BY		DRAWN	
QUANT.		DESIGN		DRAWN		QUANT.	
0 ORIGINAL SCALE IS IN INCHES 2							
<b>ZGLOBAL</b> 604 SUTTER ST, SUITE 250 FOLSOM, CA 95630 (916) 985-9461							
<b>FUJI BATTERY STORAGE</b> 3073 NEWTOWN RD PLACERVILLE, CA <b>EXISTING CONDITIONS</b>							
Sheet <b>SM1</b> 1 of 2 03/10/2023							
PROJECT R23001 - FUJI, EL DORADO COUNTY 24-0735 B 10 of 12							

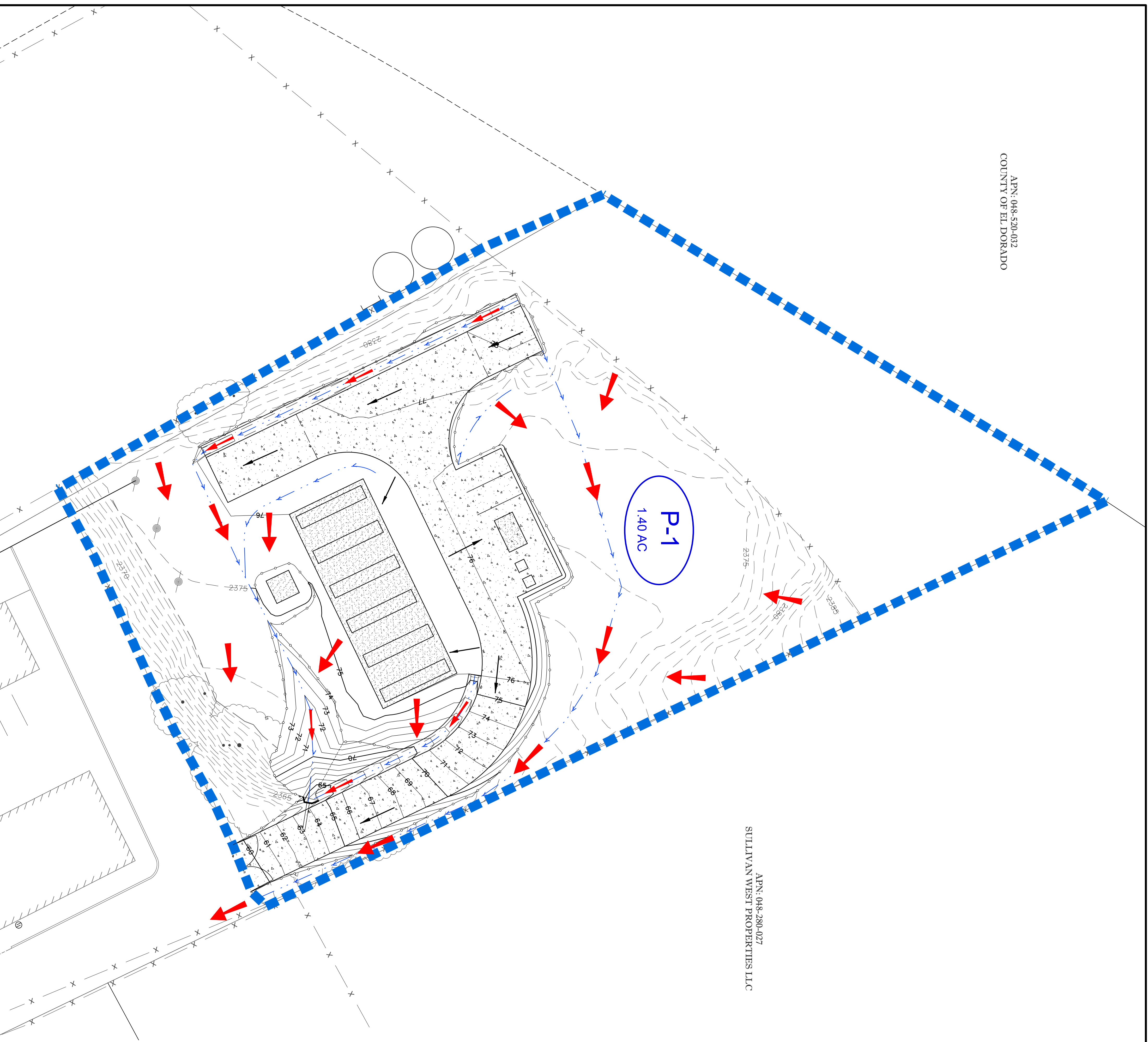
CUP22-0011/Fuji Battery Storage  
Exhibit F: Grading and Drainage Plan



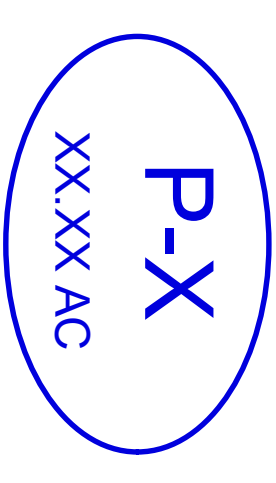





# FUJI BATTERY STORAGE PROPOSED CONDITIONS SHED MAP

APN: 048-520-032  
COUNTY OF EL DORADO

APN: 048-280-027  
SULLIVAN WEST PROPERTIES LLC

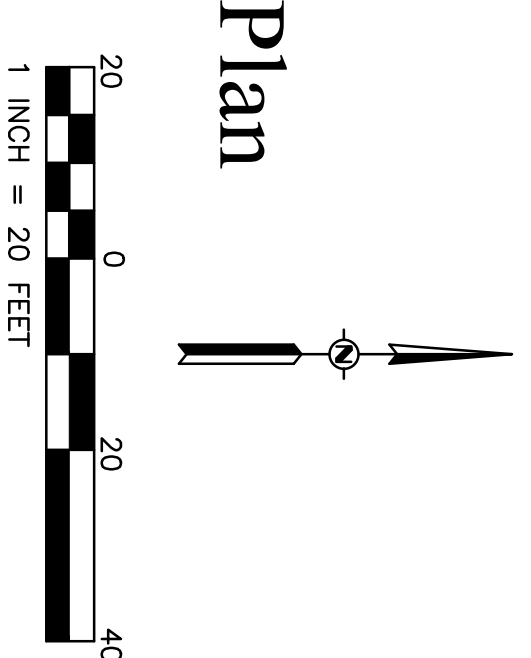


## LEGEND

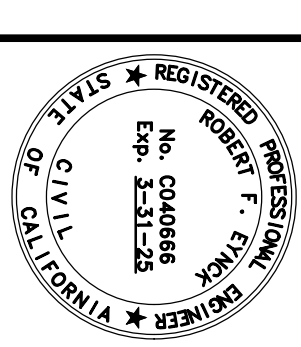
- 
 DRAINAGE AREA DESIGNATIONS & AREA
- 
 DRAINAGE AREA BOUNDARY
- 
 OVERLAND RELEASE
- 
 CHANNEL FLOW
- 
 SURFACE FLOW
- 
 (P) FLOW PATH

POST-CONSTRUCTION SHED AREAS (ACRES)				
SHED	IMPERVIOUS	PERVIOUS	TOTAL	% IMPERVIOUS
P-1	0.33	1.07	1.40	24%
TOTAL	0.33	1.07	1.40	24%

CUP22-0011/Fuji Battery Storage  
Exhibit F: Grading and Drainage Plan



DESIGN	BY	CHECK	NO.	REVISION	DATE	BY	APPR'D



**WME**  
2260 Douglas Blvd, Suite 160, Roseville, CA 95661  
Ph: 916-772-7800 | www.RFEngineering.com  
www.wmecorp.com

**ZGLOBAL**  
604 SUTTER ST, SUITE 250  
FOLSOM, CA 95630  
(916) 985-9461

**FUJI BATTERY STORAGE**  
3073 NEWTOWN RD  
PLACERVILLE, CA  
**PROPOSED CONDITIONS SHED MAP**

Sheet  
**SM2**  
2 of 2  
03/10/2023





CUP22-0011/Fuji Battery Storage  
Exhibit G: Photosimulation