



COMMUNITY DEVELOPMENT SERVICES PLANNING AND BUILDING DEPARTMENT

2850 Fairlane Court, Placerville, CA 95667
Phone: (530) 621-5355 www.edcgov.us/Planning/

APPLICATION FOR: **DESIGN REVIEW**

FILE # DR24-0002

ASSESSOR'S PARCEL NO.(s) 109-201-006

PROJECT NAME/REQUEST: (Describe proposed use) Taco Bell
New Taco Bell Restaurant with Drive through lane.

APPLICANT/AGENT VMI architecture

Mailing Address 637 Fifth Ave San Rafael CA 94901
P.O. Box or Street City State & Zip

Phone (415) 451-2500 x 114 EMAIL: pmiss@vmarch.com

PROPERTY OWNER JAS Properties LLC

Mailing Address 1199 North State Street Ukiah CA 95482
P.O. Box or Street City State & Zip

Phone (530) 529-0038 EMAIL: kbarris@jasutherland

LIST ADDITIONAL PROPERTY OWNERS ON SEPARATE SHEET IF APPLICABLE

ENGINEER/ARCHITECT VMI architecture

Mailing Address 637 Fifth Ave San Rafael CA 94901
P.O. Box or Street City State & Zip

Phone (415) 451-2500 x 114 EMAIL: pmiss@vmarch.com

LOCATION: The property is located on the North side of Coach Lane
N / E / W / S street or road

250 feet West of the intersection with Cameron Park Drive
N / E / W / S major street or road

in the Cameron Park area. PROPERTY SIZE 26,571 SF

x Phillip Man Date 1/17/2024
signature of property owner or authorized agent

FOR OFFICE USE ONLY

Date 2/16/2024 Fee \$ 3,746.28 Receipt # R51943 Rec'd by EW Census _____
Zoning CC-DC GPD C Supervisor Dist 2 Sec 3 Twn 9N Rng 9E

ACTION BY PLANNING COMMISSION
 ZONING ADMINISTRATOR
 PLANNING DIRECTOR

ACTION BY BOARD OF SUPERVISORS

Hearing Date _____

Hearing Date _____

Approved _____ Denied _____
findings and/or conditions attached

Approved _____ Denied _____
findings and/or conditions attached

APPEAL:
Approved _____ Denied _____

Executive Secretary _____

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2024 FEB 16 PM 2:41



VMI architecture

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EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT

Letter of Transmittal

Date: February 15, 2024
To: El Dorado County
Community Development Dept
2850 Fairlane Court
Placerville, CA 95667
530-621-5355

Attention: Planning Department
From: Phillip Moss

Re: 3371 Coach Lane
New Taco Bell

We are transmitting the following 8 item(s):

No.	Date	Copies	Description
1.	2/15/24	5	Full Size Set of Drawings
2.	2/15/24	1	Application
3.	2/15/24	1	ENV Questionnaire
4.	2/15/24	1	Property Profile
5.	2/15/24	1	11 x 17 set of drawings
6.	2/6/24	1	Check #1353, Amount \$1,572 PREVIOUSLY SENT ON 2/6, KEPT BY COUNTY OF EL DORADO
7.	2/15/24	1	Check, Amount of \$1,174.28 for Design Review
8.	2/15/24	1	Copy of letter of returned package from Cameron Welch

Comments:

Please find the above items attached for the submittal of the new Taco Bell at 3371 Coach Lane. Our original package was returned due to insufficient funds. Our original check was not returned with the package but we have included a new check with the difference requested. Please email a copy of both receipts to AVenton@vmarch.com

Please let me know if you have any questions.

Thank you,

Sincerely,
Phillip Moss

cc: file



PLANNING AND BUILDING DEPARTMENT

PLANNING DIVISION

www.edcgov.us/Government/Planning

PLACERVILLE OFFICE:

2850 Fairlane Court, Placerville, CA 95667
BUILDING
(530) 621-5315 / (530) 622-1708 Fax
bldgdept@edcgov.us
PLANNING
(530) 621-5355 / (530) 642-0508 Fax
planning@edcgov.us

LAKE TAHOE OFFICE:

924 B Emerald Bay Rd
South Lake Tahoe, CA 96150
(530) 573-3330
(530) 542-9082 Fax

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AUG 31 2023
VMI architecture, Inc.

August 28, 2023

Phillip Moss, VMI Architecture
637 Fifth Avenue
San Rafael, CA 94901

Re: Pre-Application Review Fee- Returned Check
PA23-0011 Cameron Park Taco Bell – 3371 Coach Lane, Cameron Park
APN: 109-201-006

Mr. Moss,

After reviewing the submitted application for a pre-application review for the Cameron Park Taco Bell, staff has determined that 1) a pre-application review is not recommended and 2) check number 1306 in the amount of \$5,490 will be returned to VMI Architecture, Inc.

Please submit an application for a Design Review (more information and application materials can be found [here](#)), along with a check in the amount of \$1,572 (\$1,000 Planning deposit + \$171 Environmental Management review fee + \$401 Department of Transportation review fee). Applications can be mailed to:

Planning Division
2850 Fairlane Court
Placerville, CA 95667

Please feel free to reach out with any questions or comments you may have.

Best Regards,

Anna Leanza, Senior Planner
(530) 621-5149
anna.leanza@edcgov.us



**COMMUNITY DEVELOPMENT SERVICES
PLANNING AND BUILDING DEPARTMENT**

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EL DORADO COUNTY PLANNING SERVICES

ENVIRONMENTAL QUESTIONNAIRE

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File Number DR24-0002
Date Filed 2/16/2024

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EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT

Project Title	<u>Taco Bell</u>	Lead Agency	<u></u>
Name of Owner	<u>JAS Properties LLC</u>	Telephone	<u>(530) 529-0038</u>
Address	<u>1199 North State Street</u>		
Name of Applicant	<u>VMI architecture</u>	Telephone	<u>415-451-2500 x 114</u>
Address	<u>637 Fifth Ave, San Rafael, CA 94901</u>		
Project Location	<u>3371 Couch Lane, Cameron Park, CA 95682</u>		
Assessor's Parcel Number(s)	<u>109-201-006</u>	Acreage	<u>.609</u> Zoning <u>CC</u>

Please answer all of the following questions as completely as possible. Subdivisions and other major projects will require a Technical Supplement to be filed together with this form.

- Type of project and description: Demolish existing 10,976 sf office building and build a new 2,028 SF Taco Bell restaurant and drive through.
- What is the number of units/parcels proposed? one / one

GEOLOGY AND SOILS

- Identify the percentage of land in the following slope categories:
 0 to 10%
 11 to 15%
 16 to 20%
 21 to 29%
 over 30%
- Have you observed any building or soil settlement, landslides, rock falls or avalanches on this property or in the nearby surrounding area? No
- Could the project affect any existing agriculture uses or result in the loss of agricultural land? No

DRAINAGE AND HYDROLOGY

6. Is the project located within the flood plain of any stream or river? No
If so, which
one? _____
7. What is the distance to the nearest body of water, river, stream or year-round drainage channel?
_____ Name of the water body? _____
8. Will the project result in the direct or indirect discharge of silt or any other particles in noticeable amount into any lakes, rivers or streams? no
9. Will the project result in the physical alteration of a natural body of water or drainage way?
If so, in what way? No. Drainage retained on site
10. Does the project area contain any wet meadows, marshes or other perennially wet areas?
None

VEGETATION AND WILDLIFE

11. What is the predominant vegetative cover on the site (trees, brush, grass, etc.)? Estimate percentage of each: Brush
12. How many trees of 6-inch diameter will be removed when this project is implemented?
None

FIRE PROTECTION

13. In what structural fire protection district (if any) is the project located? Cameron Park
14. What is the nearest emergency source of water for fire protection purposes (hydrant, pond, etc.)? Within 100'
15. What is the distance to the nearest fire station? _____
16. Will the project create any dead-end roads greater than 500 feet in length? None
17. Will the project involve the burning of any material including brush, trees and construction materials? None

NOISE QUALITY

18. Is the project near an industrial area, freeway, major highway or airport? _____
If so, how far? Adjacent to Highway 50.
19. What types of noise would be created by the establishment of this land use, both during and after construction? Limited increase during construction.

AIR QUALITY

20. Would any noticeable amounts of air pollution, such as smoke, dust or odors, be produced by this project? No.

WATER QUALITY

21. Is the proposed water source public or private, treated or untreated?
22. What is the water use (residential, agricultural, industrial or commercial)? Commercial

AESTHETICS

23. Will the project obstruct scenic views from existing residential areas, public lands, and/or public bodies of water or roads? No

ARCHAEOLOGY/HISTORY

24. Do you know of any archaeological or historical areas within the boundaries or adjacent to the project? (e.g., Indian burial grounds, gold mines, etc.) No

SEWAGE

25. What is the proposed method of sewage disposal? septic system sanitation district
Name of district: _____
26. Would the project require a change in sewage disposal methods from those currently used in the vicinity? No, reusing the existing sewer lateral.

TRANSPORTATION

27. Will the project create any traffic problems or change any existing roads, highways or existing traffic patterns? No, traffic patterns will remain the same.
28. Will the project reduce or restrict access to public lands, parks or any public facilities?
No.

GROWTH-INDUCING IMPACTS

29. Will the project result in the introduction of activities not currently found within the community? None.
30. Would the project serve to encourage development of presently undeveloped areas, or increases in development intensity of already developed areas (include the introduction of new or expanded public utilities, new industry, commercial facilities or recreation activities)?
No will

31. Will the project require the extension of existing public utility lines? NO
If so, identify and give distances: _____

GENERAL

32. Does the project involve lands currently protected under the Williamson Act or an Open Space Agreement? NO
33. Will the project involve the application, use or disposal of potentially hazardous materials, including pesticides, herbicides, other toxic substances or radioactive material?
NO
34. Will the proposed project result in the removal of a natural resource for commercial purposes (including rock, sand, gravel, trees, minerals or top soil)? NO
35. Could the project create new, or aggravate existing health problems (including, but not limited to, flies, mosquitoes, rodents and other disease vectors)? NO
36. Will the project displace any community residents? NO

DISCUSS ANY YES ANSWERS TO THE PREVIOUS QUESTIONS (attached additional sheets if necessary)

MITIGATION MEASURES (attached additional sheets if necessary)

Proposed mitigation measures for any of the above questions where there will be an adverse impact:

Form Completed by: Phillip Moss - Senior Architect Date: 1/22/24



COMMUNITY DEVELOPMENT SERVICES PLANNING AND BUILDING DEPARTMENT

2850 Fairlane Court, Placerville, CA 95667
Phone: (530) 621-5355 www.edcgov.us/Planning/

DESIGN REVIEW

REQUIRED SUBMITTAL INFORMATION

The following items 1 through 9 must be provided with all applications. The remaining items shall be required where applicable. If all the required and applicable information is not provided, the application will be deemed incomplete and will not be accepted. For your convenience, please use the check () column on the left to be sure you have all the required and applicable information. All plans and maps MUST be folded to 8½" x 11".

FORMS AND MAPS REQUIRED

Check (✓)
Applicant County

- X _____ 1) Application form, completed and signed.
- X _____ 2) Letter of authorization from all property owners authorizing agent to act as applicant, when applicable.
- X _____ 3) Proof of ownership (Grant Deed), if the property has changed title since the last tax roll.
- X _____ 4) A copy of official Assessor's map, showing the property outlined in red.
- X _____ 5) An 8 ½ x 11" vicinity map showing the location of the project in relation to the distance to major roads, intersections, and town sites.
- X _____ 6) Environmental Questionnaire form, completed and signed.
- X _____ 7) Provide name, mailing address and phone number of all property owners and their agents.
- na _____ 8) A record search for archaeological resources shall be conducted through the North Central Information Center located at CSU-Sacramento, 6000 J Street, Adams Bldg., #103, Sacramento, CA 95819-6100, phone number (916) 278-6217. If the record search identifies a need for a field survey, a survey shall be required. (A list of Archaeological Consultants and survey requirements is available at the Planning Department.) Archaeological surveys shall meet the "Guidelines for Cultural Resource Studies" approved by the Board of Supervisors, available at the Planning Department.

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EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT

FORMS AND MAPS REQUIRED

Check (√)
Applicant County

na _____ 9) A traffic impact determination shall be provided utilizing El Dorado County's "Transportation Impact Study (TIS) – Initial Determination Form, located on the Planning Services website under "Applications and Forms".

na _____ 10) If public sewer or water service is proposed, obtain and provide a Facilities Improvement Letter if the project is located within the EID service area, or a similar letter if located in another sewer/water district.

na _____ 11) If off-site sewer or water facilities are proposed to serve the project, provide four (4) copies of a map showing location and size of proposed facilities. If ground water is to be used for domestic water, submit a report noting well production data for adjacent parcels, or submit a hydrological report prepared by a geologist noting the potential for water based on the nature of project site geology.

X _____ 12) In an accompanying report, provide the following data for area on each proposed parcel which is to be used for sewage disposal:

- X _____ a) The percolation rate and location of test on 4.5 acres or smaller
- X _____ b) The depth of soil and location of test
- X _____ c) The depth of groundwater and location of test
- X _____ d) The direction and percent of slope of the ground
- na _____ e) The location, if present, of rivers, streams, springs, areas subject to inundation, rock outcropping, lava caps, cuts, fills, and easements
- na _____ f) Identify the area to be used for sewage disposal
- na _____ g) Such additional data and information as may be required by the Division Director of Environmental Management to assess the source of potable water, the disposal of sewage and other liquid wastes, the disposal of solid wastes, drainage, and erosion control

na _____ 13) Preceding parcel map, final map, or record of survey, if any exists.

X _____ 14) Preliminary grading, drainage plan, and report. The plan should be of sufficient detail to identify the scope of grading, including quantities, depths of cut and fills (for roads and driveways where cuts/fills exceed 6 feet, and mass pad graded lots), location of existing drainage, proposed modifications, and impacts to downstream facilities. (See Section 110.14.200 of County Grading Ordinance for submittal detail)

FORMS AND MAPS REQUIRED

Check (✓)
Applicant County

- na _____ 15) If located within one of the five Ecological Preserve - EP overlay zones (Mitigation Area 0) or in gabbro soils areas (Mitigation Area 1), rare plants may exist on-site. The State Department of Fish & Wildlife will require an on-site biological plant survey to determine the extent and location of rare plants on the project site. Such a survey can only occur from March 15 through August 15 when plants are readily visible. Therefore, if the State Department of Fish & Wildlife requires the plant survey, a substantial delay in the processing of your application could result. To avoid potential delays, you may choose to provide this survey with application submittal. (A list of possible Botanical Consultants is available at Planning Services.)
- na _____ 16) Name and address of Homeowner's Association, CSA 9 Zone of Benefit, or other road maintenance entity if it exists in the project area.
- na _____ 17) A site-specific wetland investigation shall be required on projects with identified wetlands as delineated on the applicable U.S.G.S. Quadrangle and/or by site visit, when proposed improvements will directly impact the wetland (reduce the size of the wetland area) or lie near the wetlands. (Available from Planning Services are the U.S. Corps of Engineers requirements for a wetlands delineation study. A list of qualified consultants is also available.)
- na _____ 18) An acoustical analysis shall be provided whenever a noise-sensitive land use (residences, hospitals, churches, libraries) are proposed adjacent to a major transportation source, or adjacent or near existing stationary noise sources. Such study shall define the existing and projected noise levels and define how the project will comply with standards set forth in the General Plan.
- na _____ 19) Where potential for special status plant and/or animal habitats are identified on the parcel(s), an on-site biological study shall be required to determine if the site contains special status plant or animal species or natural communities and habitats.
- na _____ 20) An air quality impact analysis shall be provided utilizing the El Dorado County Air Quality Management District's "Guide to Air Quality Assessment."

FORMS AND MAPS REQUIRED

Check (✓)
Applicant County

OAK TREE/OAK WOODLAND REMOVAL

The following supplemental information shall be required if any Oak Woodlands, Individual Native Oak Trees, or Heritage Trees, as defined in Section 130.39.030 (Definitions) will be impacted by the project (i.e. cut down) consistent with Section 130.39.070 (Oak Tree and Oak Woodland Removal Permits – Discretionary Development Projects).

Check (✓)
Applicant County

- na _____ 1) An Oak Resources Code Compliance Certificate.
- na _____ 2) Oak Resources Technical Report prepared by a Qualified Professional consistent with Section 2.5 (Oak Resources Technical Reports) of the Oak Resources Management Plan.
- na _____ 3) Completed Oak Resources Technical Report Checklist, including supplemental data for impacted Individual Native Oak Trees within Oak Woodlands, as applicable.
- na _____ 4) Security deposit for on-site oak tree/oak woodland retention and/or replacement planting (if proposed as part of project mitigation) consistent with Section 130.39.070.F (Security Deposit for On-Site Oak Tree/Oak Woodland Retention and Section 130.30.070.G (Security Deposit for On-Site Oak Tree/Oak Woodland Replacement Planting).
- na _____ 5) Reason and objective for Impact to oak trees and/or oak woodlands.

SITE PLAN REQUIREMENTS

Five copies plus an electronic copy (CD-ROM or other medium) of the site plan detailing what exists on the site at time of application shall be submitted on 24" x 36" sheets or smaller, drawn to scale, and of sufficient size to clearly show all details and required data. **All plans MUST be folded to 8 ½" x 11", plus one 8½" x 11" reduction. NO ROLLED DRAWINGS WILL BE ACCEPTED.** For your convenience, please check the Applicant column on the left to be sure you have all the required submittal information.

FORMS AND MAPS REQUIRED

Check (✓)
Applicant County

- X _____ 1) Project name (if applicable).
- X _____ 2) Name, address of applicant and designer (if applicable).
- X _____ 3) Date, north arrow, and scale.

FORMS AND MAPS REQUIRED

Check (✓)
Applicant County

- X _____ 4) Entire parcel of land showing perimeter with dimensions.
- X _____ 5) All roads, alleys, streets, and their names.
- X _____ 6) Location of easements, their purpose and width.
- X _____ 7) All existing and proposed uses (i.e. buildings, driveways, dwellings, utility transmission lines, etc.).
- X _____ 8) Parking and loading stalls with dimensions (refer to Zoning Ordinance Chapter 130.35 – Parking and Loading, and the Community Design Standards – Parking and Loading Standards)).
- X _____ 9) Trash and litter storage or collection areas, and propane tank location(s).
- X _____ 10) Total gross square footage of proposed buildings.
- X _____ 11) Proposed/existing fences or walls.
- X _____ 12) Sign locations and sizes (if proposed). [Refer to Zoning Ordinance Chapter 130.16 - Signs – (Ordinance No. 5025)].
- X _____ 13) Pedestrian walkways, courtyards, etc. (if proposed).
- X _____ 14) Exterior lighting (if proposed). (Refer to Zoning Ordinance Chapter 130.34 and the Community Design Standards – Outdoor Lighting Standards).
- X _____ 15) Existing/proposed water, sewer, septic systems, and wells (if applicable).
- X _____ 16) Existing/proposed fire hydrants.
- na _____ 17) Tentative subdivision or parcel map (if applicable).
- X _____ 18) Adjacent parcel owner(s); Assessor's Parcel Number (unless this is included on tentative map).
- na _____ 19) Public uses (schools, parks, etc.)

FORMS AND MAPS REQUIRED

Check (✓)
Applicant County

- na _____ 20) The location, if present, of rock outcropping, lava caps, drainage courses, lakes, canals, reservoirs, rivers, streams, spring areas subject to inundation and wetlands. (Show respective 100-foot and 50-foot septic system setbacks when a septic system is proposed.)
- na _____ 21) Identify areas subject to a 100-year flood on perennial streams or creeks, and show high water level (100-year) on map. Where this data is not readily available, January 1997 flood level can be shown if known. (Refer to the Federal Emergency Management Agency (FEMA) website).
- na _____ 22) Note any proposed trails within the project; and where applicable, connection to existing or proposed trail systems.

PRELIMINARY LANDSCAPE PLAN REQUIREMENTS

Required when parking facilities are proposed or otherwise at planner's discretion. (Refer to Zoning Ordinance Chapter 130.35). Five copies plus an electronic copy (CD-ROM or other medium), folded to 8½" x 11", plus one 11" x 17" reduction.

Check (✓)
Applicant County

- X _____ 1) Location, quantity, and a gallon size of proposed plant material (See Zoning Ordinance Section 130.33 – Landscaping Standards, and the Community Design Standards – Landscaping and Irrigation Standards)
- na _____ 2) Note quantity/type of trees to be removed.
- na _____ 3) Location, general type (pine, oak, etc.) and size of all existing trees, in those areas that are subject to grading or otherwise may be removed/affected by proposed improvements. Note quantity of trees to be removed.
- X _____ 4) List of both common and botanical names of plant material (use of drought tolerant species is highly recommended). A recommended list of drought-tolerant species is available at Planning Services.
- X _____ 5) Location of irrigation proposed. (NOTE: The final Landscape Plan will ultimately be required to meet the County's Water Conserving Landscape Standards. Copies are available at Planning Services).

PRELIMINARY GRADING AND DRAINAGE PLAN

Required whenever any grading is proposed. Five copies plus an electronic copy (CD-ROM or other medium), **folded to 8½" x 11", plus one 11" x 17" reduction.**

FORMS AND MAPS REQUIRED

Check (✓)
Applicant County

- 1) Contours or slope data (pursuant to Chapter 110.14 of County Code Grading, Erosion, and Sediment Control Ordinance).
- 2) Drainage improvements, culverts, drains, etc.
- 3) Limits of cut and fill.

PLAN OF BUILDING ELEVATIONS

Required whenever a new structure or addition is proposed. Five copies plus an electronic copy (CD-ROM or other medium), **folded to 8½" x 11", plus one 11" x 17" reduction.**

Check (✓)
Applicant County

- 1) Building design, elevations of all sides.
- 2) Exterior materials, finishes, and colors.
- 3) Existing/proposed signs showing location, height and dimensions. Include sign plan for project with multiple businesses.

Planning Services reserves the right to require additional project information as provided by Section 15060 of the California Environment Quality Act, or as required by the General Plan development policies, when such is necessary to complete the environmental assessment.

NOTE: APPLICATION WILL BE ACCEPTED BY APPOINTMENT ONLY. MAKE YOUR APPOINTMENT IN ADVANCE BY CALLING (530) 621-5355.

**COUNTY OF EL DORADO
CAMPAIGN CONTRIBUTION DISCLOSURE FORM**

Application or Solicitation Number: _____

Application or Solicitation Title: _____

Was a campaign contribution, regardless of the dollar amount, made to any member of the El Dorado County Board of Supervisors or to any County Agency Officer on or after January 1, 2023, by the applicant, or, if applicable, any of the applicant's proposed subcontractors or the applicant's agent or lobbyist?

Yes _____ No X _____

If no, please sign and date below.

If yes, please provide the following information:

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EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT

Applicant's Name: _____

Contributor or Contributor Firm's Name: _____

Contributor or Contributor Firm's Address: _____

Is the Contributor:

- The Applicant Yes _____ No _____
- Subcontractor Yes _____ No _____
- The Applicant's agent/ or lobbyist Yes _____ No _____

Note: Under California law as implemented by the Fair Political Practices Commission, campaign contributions made by the Applicant and the Applicant's agent/lobbyist who is representing the Applicant in this application or solicitation must be aggregated together to determine the total campaign contribution made by the Applicant.

Identify the Board of Supervisors Member(s) and County Agency Officer(s) to whom you, your subcontractors, and/or agent/lobbyist made campaign contributions on or after January 1, 2023, the name of the contributor, the dates of contribution(s) and dollar amount of the contribution. Each date must include the exact month, day, and year of the contribution.

Name of Board of Supervisors Member or County Agency Officer: None _____

Name of Contributor: _____

Date(s) of Contribution(s): _____

Amount(s): _____

(Please add an additional sheet(s) to identify additional Board Members or County Agency Officer to whom you, your subconsultants, and/or agent/lobbyist made campaign contributions)

By signing below, I certify that the statements made herein are true and correct. I also agree to disclose to the County any future contributions made to Board Members or County Agency Officers by the applicant, or, if applicable, any of the applicant's proposed subcontractors or the applicant's agent or lobbyist after the date of signing this disclosure form, and within 12 months following the approval, renewal, or extension of the requested license, permit, or entitlement to use.

1-22-24
Date

Phillip Moss
Signature of Applicant

VMI architecture
Print Firm Name if applicable

Phillip Moss
Print Name of Applicant

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DR24-0002

**EL DORADO COUNTY BOARD OF
SUPERVISORS AND COUNTY AGENCY
OFFICERS**

Board of Supervisors

John Hidahl, District One

George Turnboo, District Two

Wendy Thomas, District Three

Lori Parlin, District Four

Brook Laine, District Five

County Agency Officers

Jon DeVille, Assessor

Joe Harn, Auditor-Controller

Vern Pierson, District Attorney

Janelle K. Horne, Recorder-Clerk

Jeff Leikauf, Sheriff-Coroner-Public Administrator

K.E. Coleman, Treasurer-Tax Collector

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Attachment A

GOVERNMENT CODE SECTION 84308

**EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT**

(a) The definitions set forth in this subdivision shall govern the interpretation of this section.

(1) "Party" means any person who files an application for, or is the subject of, a proceeding involving a license, permit, or other entitlement for use.

(2) "Participant" means any person who is not a party but who actively supports or opposes a particular decision in a proceeding involving a license, permit, or other entitlement for use and who has a financial interest in the decision, as described in Article 1 (commencing with Section 87100) of Chapter 7. A person actively supports or opposes a particular decision in a proceeding if that person lobbies in person the officers or employees of the agency, testifies in person before the agency, or otherwise acts to influence officers of the agency.

(3) "Agency" means an agency as defined in Section 82003 except that it does not include the courts or any agency in the judicial branch of government, the Legislature, the Board of Equalization, or constitutional officers. However, this section applies to any person who is a member of an exempted agency but is acting as a voting member of another agency.

(4) "Officer" means any elected or appointed officer of an agency, any alternate to an elected or appointed officer of an agency, and any candidate for elective office in an agency.

(5) "License, permit, or other entitlement for use" means all business, professional, trade, and land use licenses and permits and all other entitlements for use, including all entitlements for land use, all contracts (other than competitively bid, labor, or personal employment contracts), and all franchises.

(6) "Contribution" includes contributions to candidates and committees in federal, state, or local elections.

(b) While a proceeding involving a license, permit, or other entitlement for use is pending, and for 12 months following the date a final decision is rendered in the proceeding, an officer of an agency shall not accept, solicit, or direct a contribution of more than two hundred fifty dollars (\$250) from any party or a party's agent, or from any participant or a participant's agent if the officer knows or has reason to know that the participant has a financial interest, as that term is used in Article 1 (commencing with Section 87100) of Chapter 7. This prohibition shall apply regardless of whether the officer accepts, solicits, or directs the contribution on the officer's own behalf, or on behalf of any other officer, or on behalf of any candidate for office or on behalf of any committee.

(c) Prior to rendering any decision in a proceeding involving a license, permit, or other entitlement for use pending before an agency, each officer of the agency who received a contribution within the preceding 12 months in an amount of more than two hundred fifty dollars (\$250) from a party or from any participant shall disclose that fact on the record of the proceeding. An officer of an agency shall not make, participate in making, or in any way attempt to use the officer's official position to influence the decision in a proceeding involving a license, permit, or other entitlement for use pending before the agency if the officer has willfully or knowingly received a contribution

in an amount of more than two hundred fifty dollars (\$250) within the preceding 12 months from a party or a party's agent, or from any participant or a participant's agent if the officer knows or has reason to know that the participant has a financial interest in the decision, as that term is described with respect to public officials in Article 1 (commencing with Section 87100) of Chapter 7.

(d)(1) If an officer receives a contribution which would otherwise require disqualification under this section, and returns the contribution within 30 days from the time the officer knows, or should have known, about the contribution and the proceeding involving a license, permit, or other entitlement for use, the officer shall be permitted to participate in the proceeding.

(2)(A) Subject to subparagraph (B), if an officer accepts, solicits, or directs a contribution of more than two hundred fifty dollars (\$250) during the 12 months after the date a final decision is rendered in the proceeding in violation of subdivision (b), the officer may cure the violation by returning the contribution, or the portion of the contribution in excess of two hundred fifty dollars (\$250), within 14 days of accepting, soliciting, or directing the contribution, whichever comes latest.

(B) An officer may cure a violation as specified in subparagraph (A) only if the officer did not knowingly and willfully accept, solicit, or direct the prohibited contribution.

(C) An officer's controlled committee, or the officer if no controlled committee exists, shall maintain records of curing any violation pursuant to this paragraph.

(e)(1) A party to a proceeding before an agency involving a license, permit, or other entitlement for use shall disclose on the record of the proceeding any contribution in an amount of more than two hundred fifty dollars (\$250) made within the preceding 12 months by the party or the party's agent.

(2) A party, or agent to a party, to a proceeding involving a license, permit, or other entitlement for use pending before any agency or a participant, or agent to a participant, in the proceeding shall not make a contribution of more than two hundred fifty dollars (\$250) to any officer of that agency during the proceeding and for 12 months following the date a final decision is rendered by the agency in the proceeding.

(3) When a closed corporation is a party to, or a participant in, a proceeding involving a license, permit, or other entitlement for use pending before an agency, the majority shareholder is subject to the disclosure and prohibition requirements specified in this section.

(f) This section shall not be construed to imply that any contribution subject to being reported under this title shall not be so reported.

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EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT

Attachment B

**COUNTY OF EL DORADO
CAMPAIGN CONTRIBUTION DISCLOSURE INFORMATION**

The attached Campaign Contribution Disclosure Form must be completed by applicants for, or persons who are the subject of, any proceeding involving a license, permit, or other entitlement for use, including most contracts and franchises, pending before the Board of Supervisors ("Board") of the County of El Dorado or any of its affiliated agencies.

IMPORTANT NOTICE

Government Code section 84308 (also known as the "Levine Act") contains requirements that are summarized generally as follows:

- A. If you are an applicant for, or the subject of, any proceeding involving a license, permit, or other entitlement for use, you are prohibited from making a campaign contribution of more than \$250 to any member of the Board of Supervisors or other County official who may participate in your proceeding. This prohibition begins on the date your application is filed or the proceeding is otherwise initiated, and the prohibition ends 12 months after a final decision is rendered by the Board of Supervisors or other County officer. In addition, no Board member or other County official who may participate in your proceeding alternate may solicit or accept a campaign contribution of more than \$250 from you during this period.
- B. These prohibitions also apply to your agents, and, if you are a closely held corporation, to your majority shareholder as well. These prohibitions also apply to your subcontractor(s), joint venturer(s), and partner(s) in this proceeding. Also included are parent companies and subsidiary companies directed and controlled by you, and political action committees directed and controlled by you.
- C. You must file the attached disclosure form and disclose whether you or your agent(s) have in the aggregate contributed more than \$250 to any Board member or other County officer who may participate in your proceeding during the 12-month period preceding the filing of the application or the initiation of the proceeding.
- D. If you or your agent have in the aggregate contributed more than \$250 to any individual Board member or other County officer who may participate in your proceeding during the 12 months preceding the decision on the application or proceeding, that Board member or other County officer must disqualify himself or herself from the decision. However, disqualification is not required if the Board member or other County official returns the campaign contribution within 30 days from the time the member or official knows, or should have known, about both the contribution and the fact that you are a party in the proceeding. The Campaign Contribution Disclosure Form should be completed and filed with your application or proposal, or with the first written document you file or submit after the proceeding commences.

1. A proceeding involving “a license, permit, or other entitlement for use” includes all business, professional, trade and land use licenses and permits, and all other entitlements for use, including all entitlements for land use, all contracts (other than competitively bid, labor or personal employment contracts), and all franchises.
2. Your “agent” is someone who represents you in connection with a proceeding involving a license, permit or other entitlement for use. If an individual acting as an agent is also acting in his or her capacity as an employee or member of a law, architectural, engineering, consulting firm, or similar business entity, both the business entity and the individual are “agents.”
3. To determine whether a campaign contribution of more than \$250 has been made by you, campaign contributions made by you within the preceding 12 months must be aggregated with those made by your agent within the preceding 12 months or the period of the agency relationship, whichever is shorter. Contributions made by your majority shareholder (if a closely held corporation), your subcontractor(s), your joint venturer(s), and your partner(s) in this proceeding must also be included as part of the aggregation. Campaign contributions made to different Board of Supervisors members or other County officer who may participate in your proceeding are not aggregated.
4. A list of the Board of Supervisors members and other County officials is attached.

This notice summarizes the major requirements of Government Code section 84308 of the Political Reform Act and California Code of Regulations, Title 2 sections 18438.1-18438.8.

ENHANCED REPORT 2.0

Subject Property:



Site Address
3371 COACH LN
CAMERON PARK, CA 95682-8455



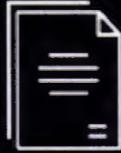
Mail Address
1199 N STATE ST
UKIAH, CA 95482-3415



Prepared For:

Karen Moss
(510) 282-3853
karen.s.moss@gmail.com

Document Contents



- Profile Cover Sheet
- Property Overview
- Property History Page
- Plat Map

Provided By

Dean Thomas
1320 Solano Avenue
Albany, CA 94706
Dean.Thomas@ctt.com

PROPERTY OVERVIEW

3371 COACH LN, CAMERON PARK, CA 95682-8455

Owner and Geographic Information



Primary Owner:
JAS PROPERTIES LLC,
Site Address:
3371 COACH LN, CAMERON PARK, CA 95682-8455

Secondary Owner:
Mail Address:
1199 N STATE ST, UKIAH, CA 95482-3415

APN: 109-201-006-000

Lot Number: **Page / Grid:**

Housing Tract Number:

Legal Description: **Subdivision:** PK EAST SHP AMND
Legal Brief Description: POR CAM PK EAST SHP AMND

Property Details

Bedrooms:	0	Year Built:	1980	Square Feet:	10,976
Bathrooms:	0	Garage:		Lot Size:	26,571 SF
Total Rooms:		Fireplace:		Number of Units:	6
Zoning:	CP	Pool:		Use Code:	Office Bldg (General)

Sale Information



Transfer Date: 10/12/2023 **Seller:** SANDERS, VERNE G; SANDERS, CHRISTINE A
Transfer Value: \$1,050,000.00 **Document#:** [2023-0028878](#)
Cost/Sq Feet:

Assessment and Taxes



Assessed Value:	\$1,352,131.00	Percent Improvement:	71.99%	Homeowner Exemption:	
Land Value:	\$378,743.00	Tax Amount:	\$14,877.00	Tax Rate Area:	54-009
Improvement Value:	\$973,388.00	Tax Status:	Current	Tax Account ID:	
Market Improvement Value:		Market Land Value:		Tax Year:	2023
Market Value:					

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EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT

24-1641 B 21 of 50
DR24-0002

PROPERTY HISTORY
3371 COACH LN, CAMERON PARK, CA 95682-8455
Prior Transfer - 10/12/2023

Recording Date:	10/12/2023	Document#:	2023-0028878
Price:	\$1,050,000.00	Document Type:	Grant Deed
First TD:		Type of Sale:	Sales Price Rounded from Tax
Lender Name:		Buyer Vesting:	
Buyer Name:	JAS PROPERTIES LLC		
Seller Name:	SANDERS, VERNE G; SANDERS, CHRISTINE A		
Legal Description:	Lot Number: 5&7		
	Subdivision: CAMERON PARK EAST SHOPPING CENTER		
	Map Ref: MB D PG 77		
	Legal Brief Description: PORTION LOTS5&7		
	City / Muni / Twp: UNINCORPORATED		

Release Record - 06/18/2020

Recording Date:	06/18/2020	Document#:	2020-0028912
Price:		Document Type:	Substitution of Trustee and Full Reconveyance
TD Due Date:		Type of Financing:	
Lender Name:		Borrowers Name:	SANDERS JR,VERNE G;SANDERS,CHRISTINE A;THE SANDER FAMILY TRUST
Lender Type:			
Vesting:			
Legal Description:			

Mortgage Record - 12/16/2014

Recording Date:	12/16/2014	Document#:	2014-0051736
Loan Amount:	\$120,000.00	Loan Type:	Commercial Loan
TD Due Date:		Type of Financing:	
Lender Name:	SIERRA VISTA BANK	Borrowers Name:	SANDERS JR, VERNE G; SANDERS, CHRISTINE A
Lender Type:			
Vesting:	FM		
Legal Description:	Lot Number: 5&7		
	Subdivision: CAMERON PARK EAST SHOPPING CENTER		
	Map Ref: 0		

Prior Transfer - 07/15/2010

Recording Date:	07/15/2010	Document#:	2010-0030833
Price:	\$0.00	Document Type:	Intra-family Transfer or Dissolution
First TD:		Type of Sale:	Non-Arms Length Transfer
Lender Name:		Buyer Vesting:	FM
Buyer Name:	SANDERS JR, VERNE G; SANDERS, CHRISTINE A		
Seller Name:	SANDERS, VERNE G; SANDERS, CHRISTINE A		
Legal Description:	Lot Number: 5&7		
	Subdivision: CAMERON PARK EAST SHOPPING CENTER		
	Map Ref: MB D PG77		
	City / Muni / Twp: UNINCORPORATED		

PROPERTY HISTORY

3371 COACH LN, CAMERON PARK, CA 95682-8455

Prior Transfer - 09/27/2007

Recording Date:	09/27/2007	Document#:	2007-0061662
Price:	\$0.00 Multiple Parcels Involved in this transaction	Document Type:	Re-recorded Document
First TD:		Type of Sale:	Non-Arms Length Transfer
Lender Name:			
Buyer Name:	HENNINGSSEN, HAZEL; NORMAN W HENNINGSSEN MARITAL TRUST TR B	Buyer Vesting:	TR
Seller Name:	HENNINGSSEN, HAZEL; NORMAN W & HAZEL HENNINGSSEN TRUST 1989		
Legal Description:	Lot Number: 5&6 Subdivision: CAMERON PARK EAST SHOPPING CENTER Map Ref: MB D PG77 Legal Brief Description: PARCEL B PM8 PG56		

Mortgage Record - 07/27/2007

Recording Date:	07/27/2007	Document#:	2007-0049489
Loan Amount:	\$200,000.00	Loan Type:	Commercial Loan
TD Due Date:		Type of Financing:	
Lender Name:	COMMERCE BANK OF FOLSOM		
Lender Type:		Borrowers Name:	SANDERS, VERNE G; SANDERS, CHRISTINE A
Vesting:	CP		
Legal Description:	Lot Number: 5&7 Subdivision: CAMERON PARK EAST SHOPPING CENTER Map Ref: MB D PG77 Legal Brief Description: PARCEL B PM8 PG56 City / Muni / Twp: UNINCORPORATED		

Prior Transfer - 07/27/2007

Recording Date:	07/27/2007	Document#:	2007-0049488
Price:	\$1,050,000.00	Document Type:	Grant Deed
First TD:		Type of Sale:	Full-Computed from Transfer Tax
First TD Doc:	2007-0049489		
Lender Name:			
Buyer Name:	SANDERS, VERNE G; SANDERS, CHRISTINE A	Buyer Vesting:	CP
Seller Name:	HENNINGSSEN, BARBARA; SANDERS, CHRISTINE		
Legal Description:	Lot Number: 5&7 Subdivision: CAMERON PARK EAST SHOPPING CENTER Map Ref: MB D PG77 Legal Brief Description: PARCEL B PM8 PG56 City / Muni / Twp: UNINCORPORATED		



PROPERTY HISTORY

3371 COACH LN, CAMERON PARK, CA 95682-8455

Prior Transfer - 12/14/2001

Recording Date:	12/14/2001	Document#:	2001-0082059
Price:	\$0.00 Multiple Parcels Involved in this transaction	Document Type:	Intra-family Transfer or Dissolution
First TD:		Type of Sale:	Non-Arms Length Transfer
Lender Name:			
Buyer Name:	HENNINGSSEN, HAZEL; THE NORMAN W HENNINGSSEN MARITAL TRUST	Buyer Vesting:	TR
Seller Name:	HENNINGSEN, HAZEL; NORMAN W & HAZEL HENNINGSSEN TR OF 1989		
Legal Description:	Lot Number: 5&6		
	Subdivision: CAMERON PARK EAST SHOPPING CENTER		
	Map Ref: MB D PG77		
	Legal Brief Description: PARCEL B		

This map/plat is being furnished as an aid in locating the herein described Land in relation to adjoining streets, natural boundaries and other land, and is not a survey of the land depicted. Except to the extent a policy of title insurance is expressly modified by endorsement, if any, the Company does not insure dimensions, distances, location of easements, acreage or other matters shown thereon.

[Click map image to view PDF version](#)

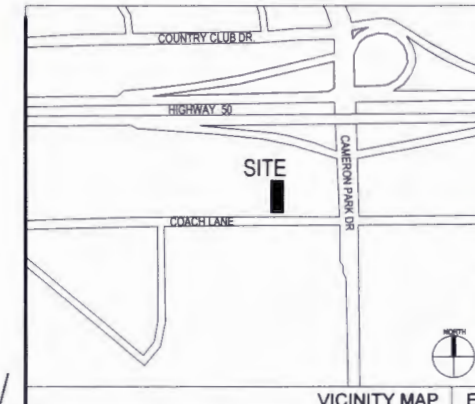


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THIS REPORT IS LIMITED IN SCOPE. IT IS NOT A COMMITMENT, ABSTRACT OF TITLE, TITLE OPINION, CERTIFICATE OF TITLE OR PRELIMINARY TITLE REPORT, NOR IS IT A REPRESENTATION OF THE STATUS OF TITLE, AND ITS ACCURACY IS NOT INSURED. WHILE THIS INFORMATION IS BELIEVED TO BE CORRECT, THE COMPANY MAKES NO REPRESENTATIONS AS TO ITS ACCURACY, DISCLAIMS ANY WARRANTIES AS TO THE REPORT, ASSUMES NO DUTIES TO YOU OR ANY THIRD PARTY, DOES NOT INTEND FOR YOU OR ANY THIRD PARTY TO RELY ON THE REPORT, AND ASSUMES NO LIABILITY FOR ANY LOSS OCCURRING BY REASON OF RELIANCE ON THIS REPORT OR OTHERWISE. IN PROVIDING THIS REPORT, THE COMPANY IS NOT ACTING AS AN ABSTRACTOR OF TITLE. IF IT IS DESIRED THAT LIABILITY BE ASSUMED BY THE COMPANY, YOU MAY REQUEST AND PURCHASE A POLICY OF TITLE INSURANCE, A BINDER, OR A COMMITMENT TO ISSUE A POLICY OF TITLE INSURANCE. NO ASSURANCE IS GIVEN AS TO THE INSURABILITY OF THE TITLE. CUSTOMER RECOGNIZES THAT THE FEE CHARGED IS NOMINAL IN RELATION TO THE POTENTIAL LIABILITY WHICH COULD ARISE FROM SUCH ERRORS, OMISSIONS OR NEGLIGENCE. THEREFORE, CUSTOMER UNDERSTANDS THAT THE COMPANY IS NOT WILLING TO PROCEED IN THE PREPARATION AND ISSUANCE OF THE REQUESTED REPORT UNLESS THE COMPANY'S LIABILITY IS STRICTLY LIMITED. CUSTOMER AGREES, AS PART OF THE CONSIDERATION FOR THE ISSUANCE OF THE REPORT, THAT THE TOTAL AGGREGATE LIABILITY OF THE COMPANY AND ITS AGENTS, SUBSIDIARIES, AFFILIATES, EMPLOYEES AND SUBCONTRACTORS SHALL NOT IN ANY EVENT EXCEED THE COMPANY'S TOTAL FEE FOR THE REPORT. IN NO EVENT WILL THE COMPANY, ITS SUBSIDIARIES, AFFILIATES, EMPLOYEES, SUBCONTRACTORS OR AGENTS BE LIABLE FOR CONSEQUENTIAL, INCIDENTAL, DIRECT, INDIRECT, PUNITIVE, EXEMPLARY OR SPECIAL DAMAGES REGARDLESS OF WHETHER SUCH LIABILITY IS BASED ON BREACH OF CONTRACT, TORT, NEGLIGENCE OF THE COMPANY, STRICT LIABILITY, BREACH OF WARRANTIES, FAILURE OF ESSENTIAL PURPOSE, OR OTHERWISE.

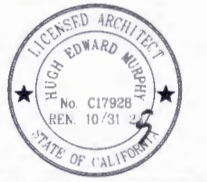
This property profile is being provided as a general service to the community at large without the condition of the referral of title insurance business

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FEB 16 2024
EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT



VMI architecture
 637 5th Avenue San Rafael, CA 94901
 415-451-2500 415-451-2595 fax
 www.vmarsh.com

VMI JOB NUMBER
21028



SITE INFO EL DORADO COUNTY
 ADDRESS: 3371 COACH LANE, CAMERON PARK
 ZONE: CC
 APN#: 109-201-006
 PROPERTY SIZE - 609 AC (26,571 SF)

BUILDING INFO 2,028 SF (EXTERIOR FACE OF STUD OF HABITABLE SPACE)
 BUILDING PERCENTAGE (2,028 SF) = 7.6%
 LANDSCAPE PERCENTAGE (8,795 SF) = 33.1 %
 TRASH ENCLOSURE (240 SF) = 0.9%
 HARDSCAPE (15,508) = 58.4%

PARKING INFO 1 PER 250 GSF = 9 REQUIRED SPACES 18 PROVIDED.

SHEET INDEX
 DD0.0 SITE PLAN, PROJECT INFORMATION, VICINITY MAP, SHEET INDEX
 DD1.0 NEW FLOOR PLAN
 DD2.0 PROPOSED ROOF PLAN
 DD4.0 PROPOSED EAST ELEVATION
 DD4.1 PROPOSED WEST, SOUTH AND NORTH ELEVATIONS
 C1.0 PRELIMINARY DEMOLITION PLAN
 C2.0 PRELIMINARY GRADING PLAN
 C3.0 ENLARGE PRELIMINARY GRADING PLAN
 C3.1 ENLARGE PRELIMINARY GRADING PLAN
 L0.1 PRELIMINARY PLANTING PLAN
 L0.2 PLANT IMAGE

PROJECT INFORMATION D

- KEY NOTES SYMBOL ON SITE PLAN**
- (N) BUILDING FOOTPRINT
 - (N) GREASE INTERCEPTOR
 - (N) ADA RAMP
 - (N) LED LOT LIGHTS
 - (N) PROPANE GAS TANK
 - (N) WATER METER
 - (N) TRASH ENCLOSURE SEE DETAIL 13 / DD6-0
 - (N) ELECTRICAL SWITCHGEAR CABINET TO MATCH MAIN BUILDING COLOR
 - (E) CONCRETE CURB CUTS TO BE REUSED
 - (N) LANDSCAPE
 - (N) TOW AWAY SIGN PER ADA REQTS.
 - PAINT (N) ADA LOADING ZONE STRIPPING PARKING SYMBOLS AND "NO PARKING"
 - (N) ADA PARKING, LESS THAN 2% SLOPE IN ANY DIRECTION, G.C. TO RE-GRADE AND EXTEND CONCRETE SURFACE TO ATTAIN COMPLIANCE AS NECESSARY
 - (N) PARKING LOT ASPHALT AREA
 - (N) PAINT PARKING STALL LINES, TYP.
 - (N) 50' DIAMETER TURN AROUND
 - (N) PYLON SIGN. SEE DETAIL 2 / DD6-0 (V-01.75)
 - (N) MENU BOARD
 - (N) SPEAKER / OCB PEDESTAL
 - (N) PREVIEW BOARD
 - (N) ELECTRICAL TRANSFORMER
 - (N) WHITE TRAFFIC ARROWS TYPICAL. USE EPOXY TRAFFIC PAINT.
 - (N) 6" STEEL, CONCRETE FILLED BOLLARD
 - (N) BIKE RACK
 - (N) 12" HIGH LETTERS IN TRAFFIC EPOXY PAINT
 - (N) 5' WIDE SIDEWALK AND CURB TO COUNTY STANDARDS
 - (N) CLEARANCE BAR
 - END (N) SIDEWALK AT THIS POINT
 - CALTRANS RIGHT OF WAY
 - (E) ADJACENT BUSINESSES PYLON SIGNS
 - ADDITIONAL DRIVE THRU STACKING
 - 10' PUE EASEMENT

RECORD DATES
 DD SUBMITTAL
 BLDG. SUBMITTAL
 BID SET
 CONTRACT SET

REVISIONS

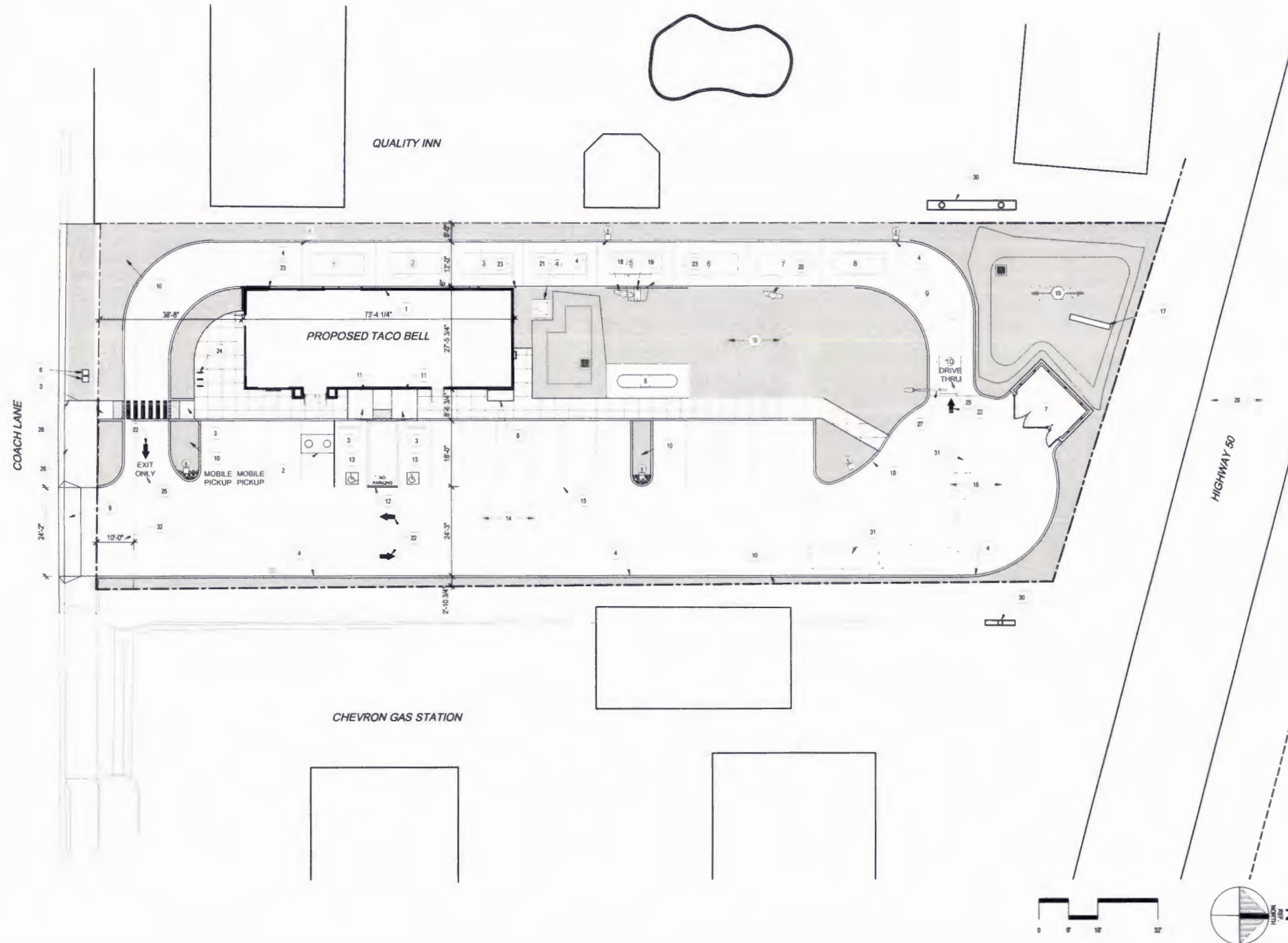
NO.	DESCRIPTION

CLIENT
JAS PROPERTIES
 1189 N. STATE STREET
 UPLAND, CA 95402
ANDREW HENNAN
 (530) 529-0038

PROJECT
NEW TACO BELL
 3371 COACH LANE
 CAMERON PARK, CA 95682
 APN#: 109-201-006



NEW
SITE PLAN
DD0.0



SITE PLAN 1/16" = 1'-0" A

SITE PLAN KEY NOTES B

W:\Data\Sutherland\21028_Sutherland_CameronPark_Coach_NewBuild\02_d01_curren\100_21028_DD0_0.dwg By: PMOSS Saved on: 1/16/2024 5:47:19 PM
 ALL LEGAL DESIGN, PLANNING AND ENGINEERING SERVICES ARE THE PROPERTY OF THE OFFICE AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIC PROJECT. WORK OF ARCHITECTURAL DESIGN, PLANNING OR ENGINEERING OF ANY KIND SHALL BE USED BY OR FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF PROJECT ARCHITECT.
 ANY REUSE OF THIS DRAWING OR ANY PART THEREOF FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF PROJECT ARCHITECT IS STRICTLY PROHIBITED.
 ANY REUSE OF THIS DRAWING OR ANY PART THEREOF FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF PROJECT ARCHITECT IS STRICTLY PROHIBITED.

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EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT



VMI architecture
Design · Planning · Interiors
637 5th Avenue San Rafael, CA 94901
415-451-2500 415-451-2595 fax
www.vmarch.com

VMI JOB NUMBER
21028



RECORD DATES	
DD SUBMITTAL	...
BLDG. SUBMITTAL	...
BID SET	...
CONTRACT SET	...

REVISIONS	

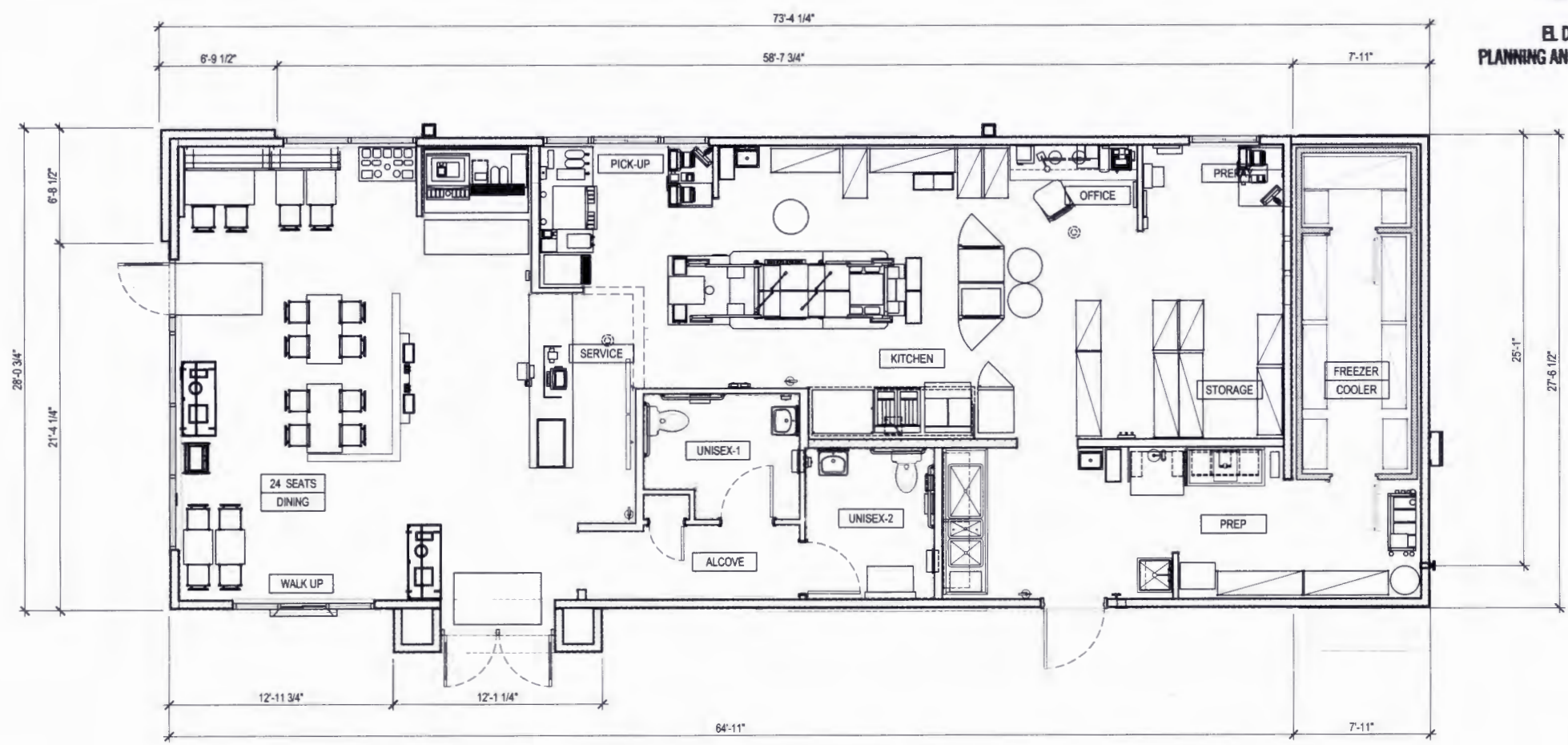
CLIENT
JAS PROPERTIES
1199 N. STATE STREET
UKIAH, CA 95482
ANDREW HENNAN
(530) 529-0038

PROJECT
NEW TACO BELL
3371 COACH LANE
CAMERON PARK, CA 95682
APN#: 109-201-006



EQUIPMENT
AND SEATING
PLAN

DD1.0



EQUIPMENT/SEATING PLAN 1/4"=1'-0" A

W:\Data\Sutherland\21028_Sutherland_CameronPark_Coach_NewBuild\02_current\00_21028_DD1.0.dwg By: P.MOSS Saved on: 11/28/2023 4:52:36 PM
 ALL IDEAS, CONCEPTS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF THE OFFICE AND WERE CREATED, DEVELOPED AND DEVELOPED BY THE OFFICE PROJECT TEAM.
 THE DRAWING IS NOT TO BE USED FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF PROJECT ARCHITECT.
 THE DRAWING IS NOT TO BE USED FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF PROJECT ARCHITECT.
 THE DRAWING IS NOT TO BE USED FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF PROJECT ARCHITECT.

DEMOLITION LEGEND		D
	TYPICAL EXISTING EXTERIOR WALL 2x6 WOOD STUDS @16" O.C. w/ 1/2" PLYWOOD (EXP 1) SHEATHING	
	TYPICAL EXISTING INTERIOR WALL TO REMAIN 2x4 WOOD STUDS @16" O.C. (U.N.O.)	
	TYPICAL WALL DEMOLITION DEMO AS INDICATED (SEE KEY NOTES)	
	TYPICAL DEMOLITION ITEMS TO BE REMOVED	

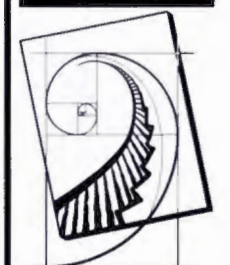
DEMOLITION NOTES		C
	INSPECT INTERIOR AND EXTERIOR WALLS. REPLACE ANY DAMAGED SUBSTRATE WALLS ETC. INSPECT DINING ROOM WINDOWS & WALLS BELOW WINDOWS FOR EVIDENCE OF MOISTURE DAMAGE & IMPROPERLY INSTALLED FLASHING. VERIFY WITH OWNER.	
	ROOF RECOMMENDATIONS: INSPECTION OF EXISTING ROOF BY QUALIFIED ROOFER IS RECOMMENDED. REPLACE ROOF IF WARRANTED. VERIFY ALL ACTIONS WITH OWNER.	
	SEE SITE PLAN FOR ANY SITE DEMO WORK.	
	DRINK SYSTEM FRUITISTA MACHINE SHALL BE TEMPORARILY RELOCATED PER STORE MANAGERS DIRECTION BY AUTHORIZED TECHNICIANS. OWNER SHALL COORDINATE.	

W:\Data\Submittal\21028_Sutherland_CameronPark_Coach_NewBuild\dd3.0.dwg By: P.MOSS Saved on: 6/22/2023 4:32:55 PM
 ALL DESIGN ARRANGEMENTS AND DIMENSIONS ARE OWNED BY AND THE PROPERTY OF THE OFFICE AND ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED. ANY REVISIONS TO THIS DRAWING SHALL BE MADE BY THE OFFICE AND SHALL BE IDENTIFIED BY THE OFFICE AND THE REVISIONS SHALL BE IDENTIFIED BY THE OFFICE AND THE REVISIONS SHALL BE IDENTIFIED BY THE OFFICE AND THE REVISIONS SHALL BE IDENTIFIED BY THE OFFICE. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB.

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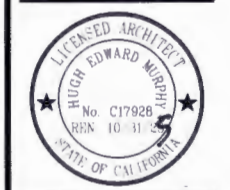
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DD SUBMITTAL	
BLDG. SUBMITTAL	
BID SET	
CONTRACT SET	

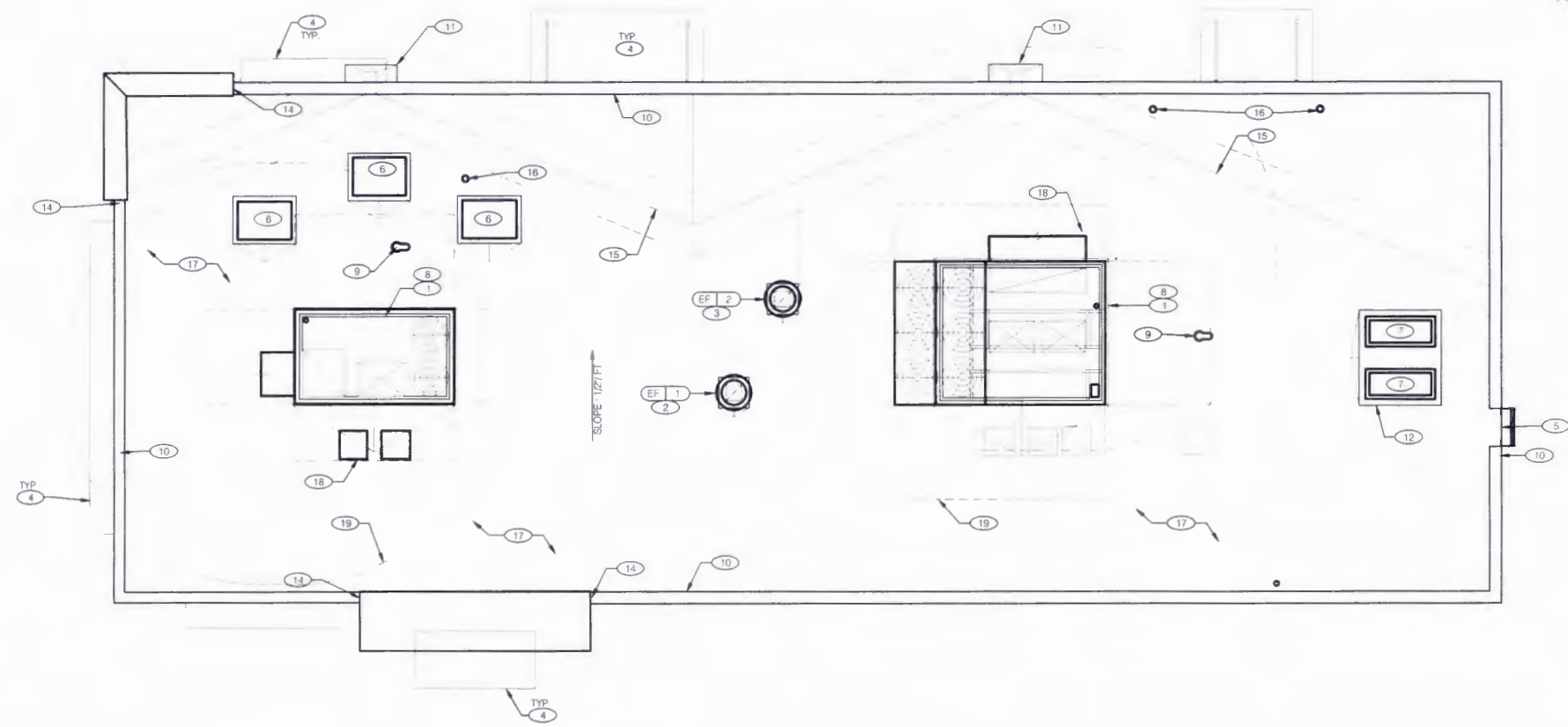
REVISIONS

CLIENT
JAS PROPERTIES
1199 N. STATE STREET
UNION, CA 95482
ANDREW HENMAN
(530) 529-0038

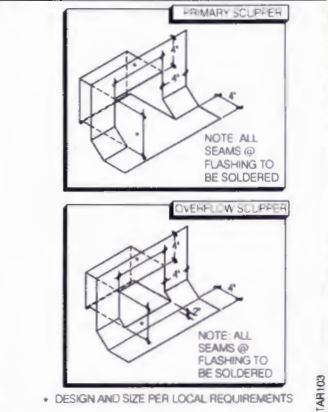
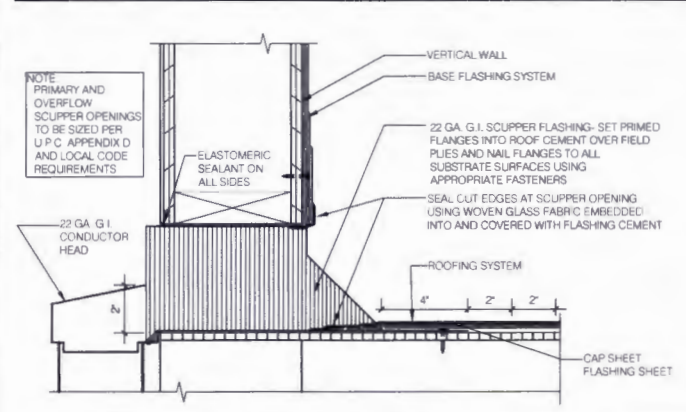
PROJECT
NEW TACO BELL
3371 COACH LANE
CAMERON PARK, CA 95682
APN#: 109-201-006



ROOF PLAN
DD3.0



ROOF PLAN 1/4"=1'-0" **A**



SCUPPER FLASHING **F**

WATERPROOFING
 A. PAINT UNDERSIDE OF PARAPET CAP FLASHING WITH FACTORY BONDED PAINT GRIP OR PRIMER
 B. TOP NAILING AT PARAPET CAP FLASHING WILL NOT BE ACCEPTED
 C. PENETRATIONS IN ROOFING MEMBRANE AND FLASHING SHALL ONLY BE MADE AS INDICATED ON THE DRAWINGS OR SPECS
 D. SEE SPECIFICATIONS FOR SEALANT SPECS
 E. ALL SHEET MTL FLASHING SHALL BE 22 GA MIN

MISCELLANEOUS:
 A. ROOF PENETRATIONS CLOSER THAN 12" FROM ANOTHER WILL NOT BE ALLOWED
 B. EXHAUST FANS MIN. 10'-0" AWAY FROM ALL AIR INTAKE / SUPPLY
 C. LOCATE WALK-IN CONDENSERS ON ROOF ONLY IF REQUIRED BY CODE

ROOF PLAN NOTES **E**

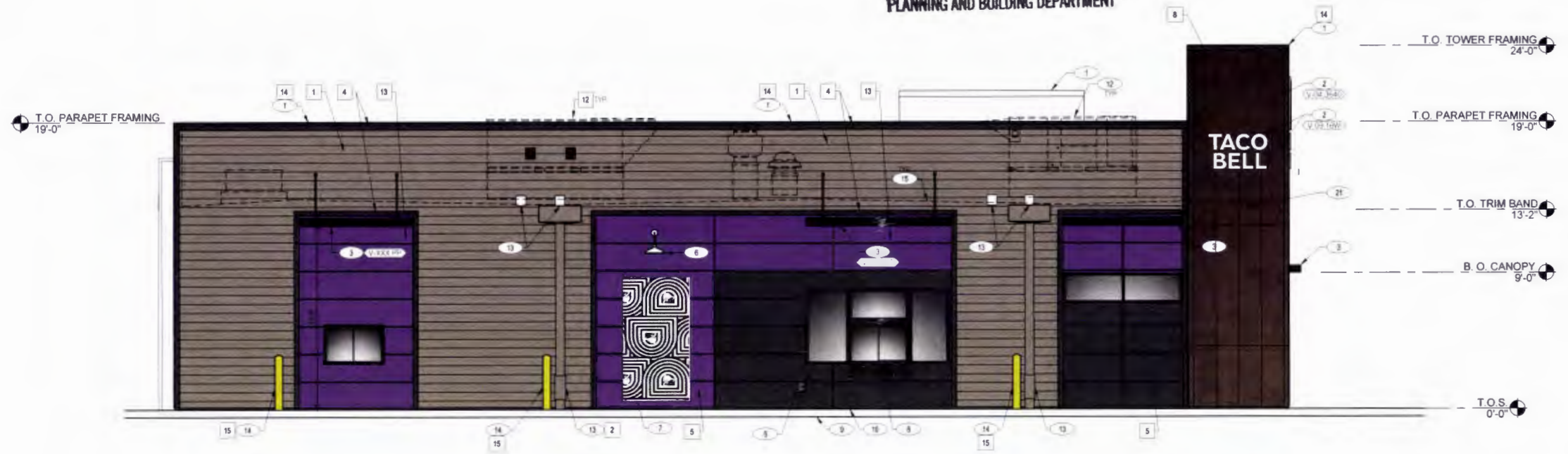
- 1 ROOFTOP UNIT. INSTALL PLUMB AND LEVEL
- 2 KITCHEN HOOD EXHAUST FAN
- 3 RESTROOM EXHAUST FAN
- 4 CANOPY.
- 5 ROOF LADDER
- 6 ICE MACHINE CONDENSERS
- 7 WALK-IN COOLER / FREEZER CONDENSERS
- 8 EQUIPMENT PLATFORM.
- 9 PIPE HOOD FOR UTILITIES.
- 10 PAINTED METAL PARAPET CAP
- 11 SCUPPER AND DOWNSPOUT. SEE DETAIL F
- 12 COORDINATE SIZE OF ROOF CURB AND NUMBER OF CONDENSING UNITS WITH WALK-IN COOLER/FREEZER MANUFACTURER.
- 13 CARRY TOWER FRAMING UP TO PARAPET.
- 14 CHANGE IN PARAPET ELEVATION
- 15 ROOF CRICKET
- 16 WASTE VENT THROUGH ROOF. THE TOP OF WASTE VENTS SHALL BE 12" HIGHER THAN THE CLOSEST PARAPET CAP U.N.O. OR NOT ALLOWED BY LOCAL JURISDICTION
- 17 "DURO-LAST" SINGLE PLY ROOF MEMBRANE OVER 1/2" EXTERIOR GRADE PLYWOOD OVER TRUSSES. INSTALL PER MANUFACTURERS SPECIFICATIONS
- 18 24x36 WALK MATS
- 19 MAINTAIN MFRS ROOFTOP UNIT MAINTENANCE CLEARANCE

KEY NOTES **B**

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WEST EXTERIOR ELEVATION 1/4" = 1'-0" A

TYPE MARK	QTY	ITEM DESCRIPTION	LOC
TOWER			
V-04 42	2	LARGE SWINGING BELL PURPLE LOGO 3' 6" X 4' 0"	4/006.0
V-09 14W	2	LARGE TB 14" CHANNEL LETTERS WHITE (2) STACKED (1) LINEAR	4/006.0
SIDE ENTRY			
V-07 42	1	LARGE SWINGING BELL PURPLE LOGO 3' 6" X 4' 0"	4/006.0
V-09 10W	1	SMALL TB 10" CHANNEL LETTERS WHITE (2) STACKED (1) LINEAR	8/006.0
V-200 EN	1	SIDE ENTRY AWNING 8' 4" X 6' 3" BLACK	DD4.0
DRIVE THRU			
V-101 DT	1	DT AWNING (OVER DT) 9' 0" X 4' 0" BLACK	DD4.1
EYEBROW AWNINGS			
V-202 EN	1	FRONT EYEBROW (WINDOW) 18' 7" X 8' 8" H X 1' 4" D BLACK	DD4.1
V-203 EN	1	DT EYEBROW (WINDOW) 7' 8" L X 6' 8" H X 1' 4" D BLACK	DD4.1
V-201 EN	1	SIDE ENTRY EYEBROW (WINDOW) 12' L 8' H X 1' 4" D BLACK	DD4.0

MISCELLANEOUS
A. SEE SHEET A1.1 "WINDOW TYPES" FOR WINDOW ELEVATIONS.

SEALERS (REFER TO SPECS)
A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.
B. SEALANT AT ALL WINDOW AND DOOR FRAMES AND JAMB. DO NOT SEAL SILL @ WINDOWS.
C. APPLY NEOPRENE GASKET (CONT.) BETWEEN BUILDING AND CANOPY.

CRITICAL DIMENSIONS
A. REQUIRED CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD SIGNAGE/BUILDING ELEMENTS DIMENSIONS.

NOTE: NO EXTERIOR SIGNS ARE WITHIN THE SCOPE OF WORK COVERED BY THE BUILDING PERMIT APPLICATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL EXTERIOR SIGNS AND INSTALLATION OF REQUIRED BLOCKING AND ELECTRICAL CONNECTIONS FOR FINAL APPROVED SIGNS.

APPLICATOR MUST DO THEIR DUE DILIGENCE WITH PREPARATION.
FINISH: 2 COATS SW A82-100 SERIES, MATCH COLORS FROM MATERIAL SCHEDULE

PAINTING
APPLICATOR MUST DO THEIR DUE DILIGENCE WITH PREPARATION
PRIMER 1 COAT SW A24W8300
FINISH 2 COATS SW A82-100 SERIES, MATCH COLORS FROM MATERIAL SCHEDULE. A-100 EXTERIOR LATEX SATIN

NOT USED I

SIGNAGE G

GENERAL NOTES F

PAINT NOTES E

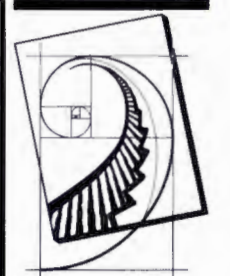
NOT USED C

SYMBOL	ITEM/MATERIAL	MANUFACTURER	MATERIAL SPEC	COLOR	ALTERNATE MFR.	ALTERNATE COLOR	CONTACT INFORMATION
1	SIDING	JAMES HARDIE	ARTISAN V-GROOVE RUSTIC 144" X 8 25"W, 7' EXPOSURE COMES PRIMED FOR PAINT	WORLDLY GRAY (SW7043), SEMI-GLOSS	-	-	SEE D / A 7.2
2	SCUPPERS	-	-	WORLDLY GRAY (SW7043), SEMI-GLOSS	-	-	SEE D / A 7.2
3	RAIN WATER LEADER	-	-	WORLDLY GRAY (SW7043), SEMI-GLOSS	-	-	SEE D / A 7.2
4	HARDIE TRIM	JAMES HARDIE	HARDIE TRIM 5/4 SMOOTH 1"X5'	CYBERSPACE (SW7078), SEMI-GLOSS	-	-	SEE D / A 7.2
5	HARDIE REVEAL PANEL	JAMES HARDIE	REVEAL PANEL SYSTEM	CYBERSPACE (SW7078), SEMI-GLOSS	-	-	SEE D / A 7.2
6	HOLLOW METAL DOOR	-	-	PURPLE TB2803C & FRAME, SEMI-GLOSS	-	-	SEE D / A 7.2
7	AWNINGS	-	-	CYBERSPACE (SW7078), SEMI-GLOSS	-	-	SEE D / A 7.2
8	CORNER TOWER	-	-	WEATHERED RUSTIC- WESTERN STATES	-	-	SEE D / A 7.2
9	RECESS OF SIDE ENTRY PORTAL	-	-	WEATHERED RUSTIC- WESTERN STATES	-	-	SEE D / A 7.2
10	METAL PARAPET CAP	SHERWIN - WILLIAMS	-	CYBERSPACE (SW7078)	-	-	SEE D / A 7.2
11	PARAPET TRIM, ROOF FASCIA ENDENTLS	SHERWIN - WILLIAMS	-	AGED WHITE (SW9180), SEMI-GLOSS	-	-	SEE D / A 7.2
12	METAL CANOPIES	SIGNAGE VENDOR	-	-	-	-	SEE D / A 7.2
13	SHED ROOF FRAME	-	PAINT SW7095 ENDURING BRONZE	-	-	-	SEE D / A 7.2
14	SHED ROOF	SIGNAGE VENDOR	-	-	-	-	SEE D / A 7.2

EXTERIOR FINISH SCHEDULE H

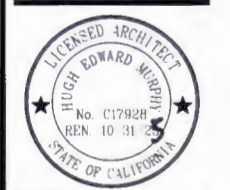
- 1 METAL PARAPET CAP. SEE DETAIL 11 DD6-0
- 2 BUILDING SIGN BY VENDOR. REQUIRES ELECTRICAL. SEE DETAILS 4 & 8 DD6-0
- 3 METAL CANOPIES BY SIGNAGE VENDOR. SEE SCHEDULE FOR FINISH. SEE BLOCKING DETAIL 9 / DD6-0.
- 4 CO2 FILLER VALVE & COVER
- 5 HOSE BIB BOX AT 18" A F F
- 6 EXTERIOR LIGHT FIXTURE. COORDINATE WITH ELECTRICAL DRAWINGS. TYP
- 7 MURAL
- 8 DRIVE THRU WINDOW. SEE SHEET A1.0 AND A1.1
- 9 ASSUME D/T LANE SURFACE IS 6" BELOW THE FINISH FLOOR. REFER TO GRADING & SITE PLAN
- 10 CONCRETE CURB
- 11 OPTIONAL PATIO. SEE SITE PLAN AND A8.1
- 12 ROOF TOP HVAC UNIT. COLOR BY MFR
- 13 SCUPPER, COLLECTOR AND VERTICAL RAIN WATER LEADER 6" MIN. PAINT TO MATCH ADJACENT WALL
- 14 BOLLARD SEE A0.1
- 15 ROOF LINE BEYOND
- 16 ELECTRICAL SWITCHGEAR. PAINT TO MATCH ADJACENT WALL. WALL SHALL BE FINISHED PRIOR TO INSTALLATION OF SWITCHGEAR
- 17 GAS METER. DO NOT PAINT
- 18 TOWER WITH METAL PANEL FINISH
- 19 SYMBOL OF ACCESSIBILITY. SEE DETAIL 7/ADA-1
- 20 ROOF LADDER WITH STAIR LOCK.

KEY NOTES D



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ANDREW HENMAN
(530) 526-0038

PROJECT
NEW TACO BELL
3371 COACH LANE
CAMERON PARK, CA 95682
APNF: 109-201-008



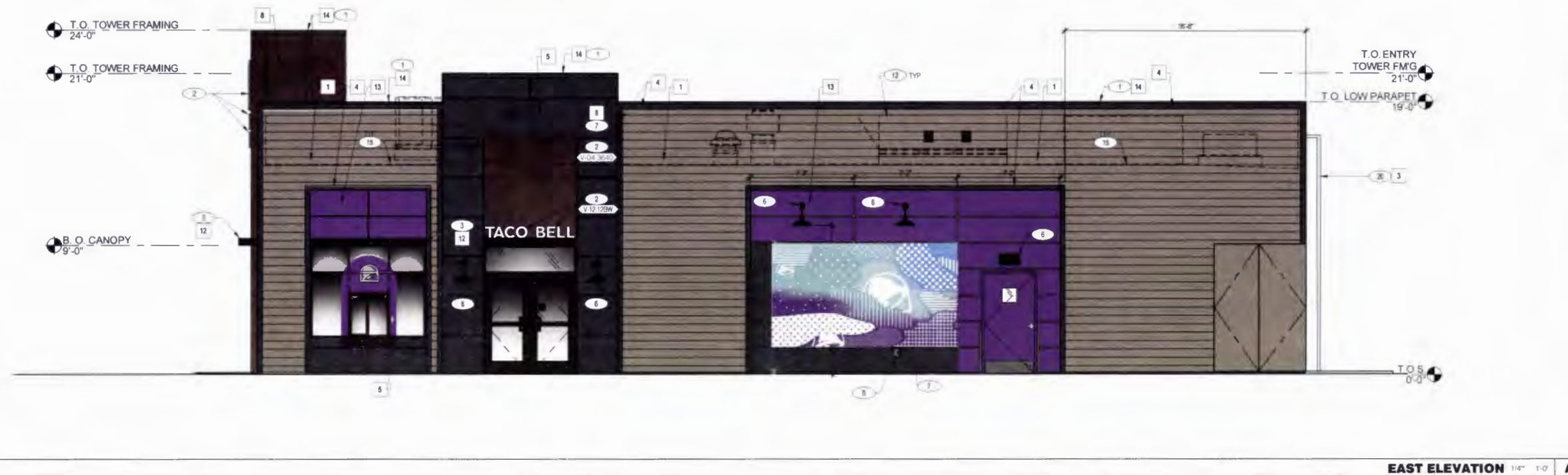
EXTERIOR ELEVATIONS
DD4.0

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ALL IDEAS, CONCEPTS, AND DRAWINGS ARE THE PROPERTY OF THE OFFICE AND ARE NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF PROJECT ARCHITECT
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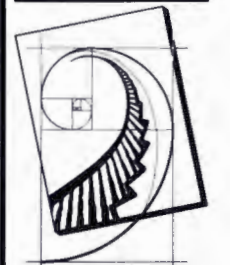
EAST ELEVATION 1/4" = 1'-0" A



SOUTH ELEVATION 1/4" = 1'-0" C



NORTH ELEVATION 1/4" = 1'-0" B



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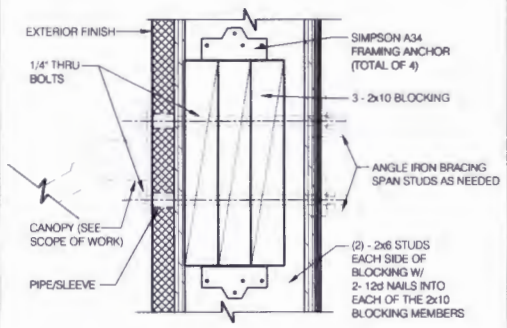
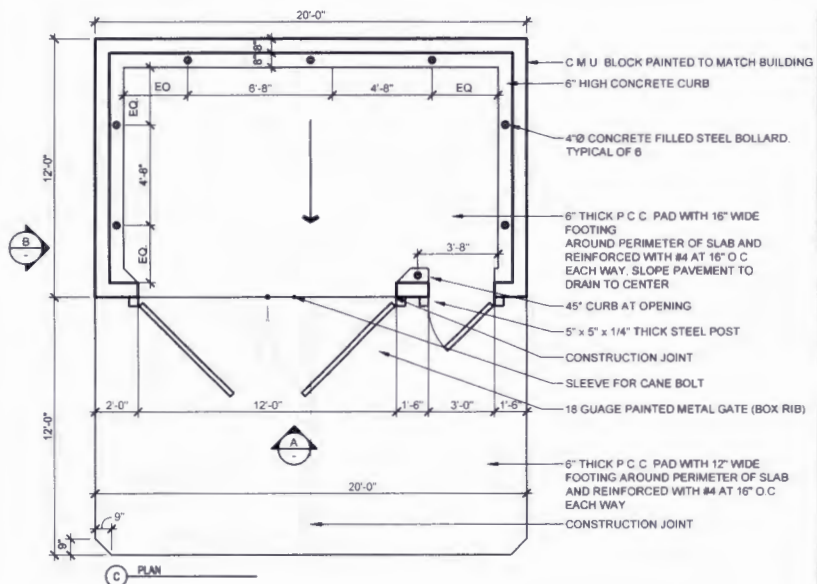
PROJECT
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APN#: 109-201-006



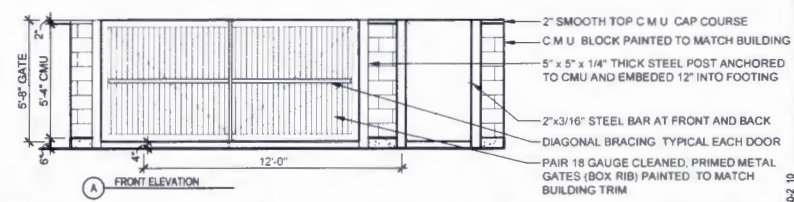
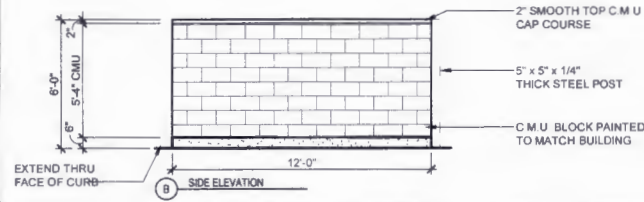
EXTERIOR
ELEVATIONS
DD4.1

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 ALL IDEAS, CONCEPTS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF THE OFFICE AND WERE CREATED, DEVELOPED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF THE IDEAS, CONCEPTS, ARRANGEMENTS AND PLANS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF PROJECT ARCHITECT. ANY REUSE OR MODIFICATION OF THESE DRAWINGS SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO THE ARCHITECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS. THE USER SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS SHOWN IN THESE DRAWINGS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THESE DRAWINGS.

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 ALL LOCAL DESIGN, ARRANGEMENTS AND NOTATIONS ARE TO BE USED IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH DESIGN, ARRANGEMENTS OR NOTATIONS SHALL BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF PROJECT ARCHITECT.
 CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE OFFICE MUST BE NOTIFIED IMMEDIATELY BY PHONE OR IN WRITING OF ANY DISCREPANCIES. CONTRACTOR SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS.
 CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE OFFICE MUST BE NOTIFIED IMMEDIATELY BY PHONE OR IN WRITING OF ANY DISCREPANCIES. CONTRACTOR SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS.



CANOPY DETAIL 3" = 1'-0" 9



TRASH ENCLOSURE 1/4" = 1'-0" 13

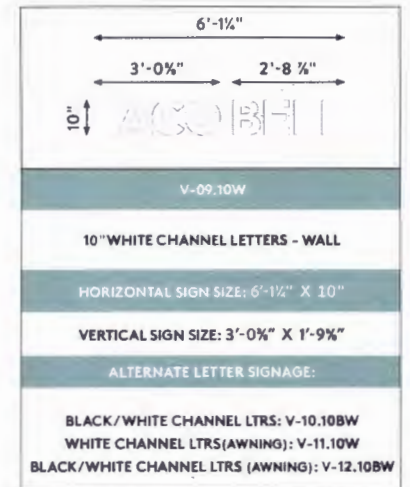
NOT USED N.T.S. 10

NOT USED N.T.S. 11

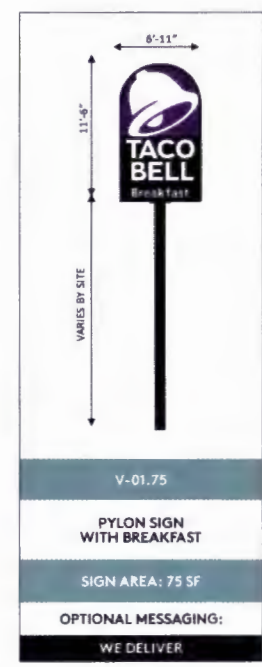
NOT USED 16

NOT USED 12

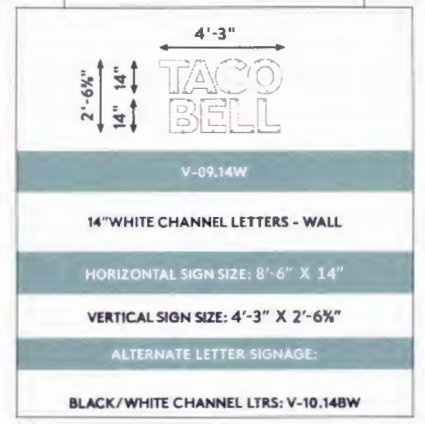
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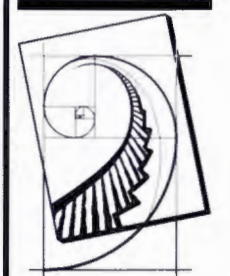
MAIN ENTRY TOWER 1/2" = 1'-0" 8



PYLON SIGN N.T.S. 2



TOWER SIGNAGE N.T.S. 4



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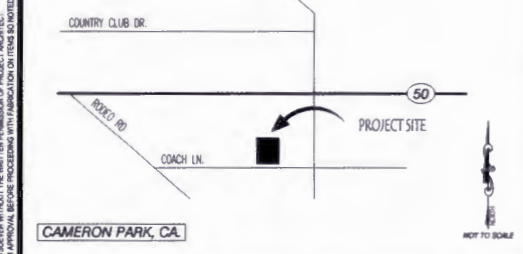
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 CAMERON PARK, CA 95682
 APN#: 109-201-006



FINISH DETAILS
DD5.0



VICINITY MAP

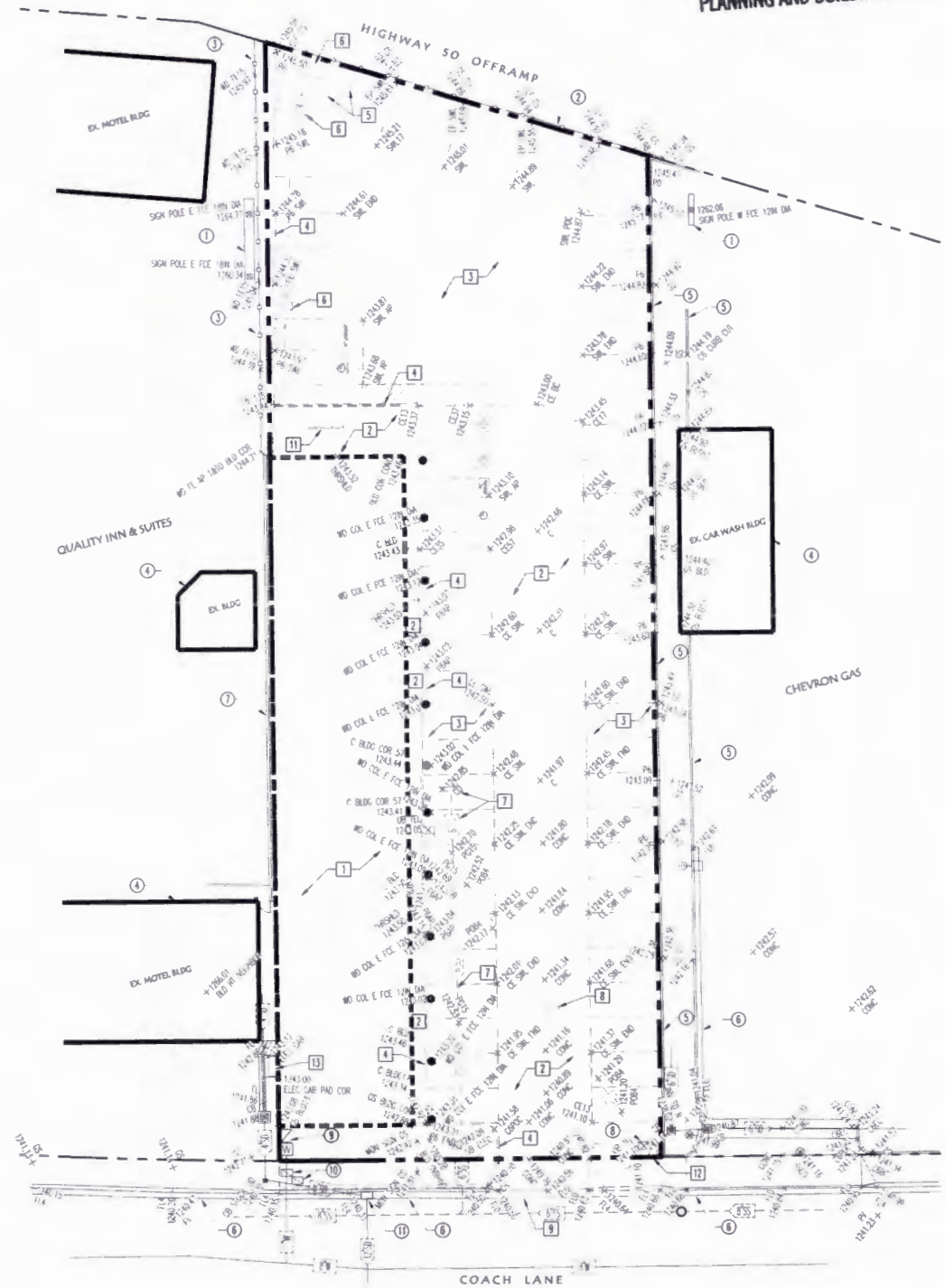
DESCRIPTION	PROPOSED	EXISTING
SANITARY SEWER		
STORM DRAIN		
WATER LINE		
TELEPHONE		
OVERHEAD UTILITIES		
WATER VALVE		
GRADES/ELEVATIONS		
SLOPE/FLOW DIRECTION		
CONTOUR LINE		
CENTERLINE		
RIGHT OF WAY		
MANHOLE		
CATCH BASIN		
WATER METER		
CURBS AND GUTTER		
SIDEWALK		
DRIVEWAY		
SIGN		
SANITARY SEWER CLEAN OUT		
FENCE		

SYMBOLS LEGEND

ABBREY.	DESCRIPTION	ABBREY.	DESCRIPTION
AB	AGGREGATE BASE	WH	WATER MANHOLE
AC	ASPHALT CEMENT	WN	WATER MANHOLE
BC	BEGIN CURVE	WN	WATER MANHOLE
BOW, BSM, BM	BACK OF SIDEWALK	N	NORTH, NEW
C, CONC	CONCRETE	NTS	NOT TO SCALE
CB	CATCH BASIN	O/H	OVER-HEAD UTILITIES
C&G	CURB AND GUTTER	P	PAVEMENT
CL	CENTERLINE	PCC	PORTLAND CEMENT CONCRETE
CLF	CHAIN LINK FENCE	PL	PROPERTY LINE
CO	CLEAN OUT	PNT	POINT
COR	CORNER	POC	POINT ON CURVE
DEMO	DEMOLISH	PP	POWER POLE
DET	DETAIL	PT	POINT, POINT OF TANGENT
DI	DROP INLET	PUE	PUBLIC UTILITY EASEMENT
DM	DRAWER	PVC	POLYVINYL CHLORIDE
DN	DRIVEWAY, DRY WELL	R	REINFORCED CONCRETE PIPE
E	EAST, EXISTING	RCP	REINFORCED CONCRETE PIPE
EC	END CURVE	RDC	REQUIRED
ELEC	ELECTRICAL	REQD	REQUIRED
ELEV	ELEVATION	R.O.W., R/W	RIGHT-OF-WAY
EP	EDGE OF PAVEMENT	RP	RADIUS POINT
ES&T	EASEMENT	S	SOUTH, SLOPE
EX	EXISTING	SD	STORM DRAIN
FE	FENCE	SDM	STORM DRAIN MANHOLE
FF	FINISH FLOOR	SS	SANITARY SEWER
FL	FLOORLINE	SSM	SANITARY SEWER MANHOLE
FOC	FACE OF CURB	STD	STANDARD
FTG	FOOTING, TOP OF FOOTING	SW	SOUTHWEST, SIDEWALK
G	GAS	TBC	TOP BACK OF CURB
GB	GRADE BREAK	TC	TOP OF CURB
GS	GROUND SHOT	TEMP	TEMPORARY
GV	GAS VALVE, GATE VALVE	THRU	THROUGH
HORIZ	HORIZONTAL	VERT	VERTICAL
HP	HIGH POINT	WELLY	WELLY
INW	INVERT	W	WEST, WATER
LP	LOW POINT	WM	WATER METER
MATCH	MATCH EXISTING CONDITIONS	WV	WATER VALVE

LIST OF ABBREVIATIONS

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TOPO KEY NOTES:

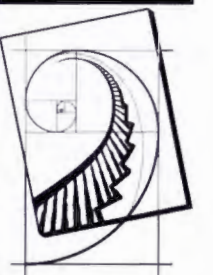
- ① EX. SIGN
- ② EX. CL. FENCE
- ③ EX. WOOD FENCE
- ④ EX. BUILDING
- ⑤ EX. CONC. CURB
- ⑥ EX. CURB & GUTTER
- ⑦ EX. LOW WALL
- ⑧ EX. TEL. BOX
- ⑨ EX. WATER METER & BACKFLOW
- ⑩ EX. UTILITY BOX
- ⑪ EX. SD INLET

DEMOLITION KEY NOTES:

- 1 DEMO/REMOVE EX. BUILDING
- 2 DEMO/REMOVE EX. CONC. FLATWORK
- 3 DEMO/REMOVE EX. AC. PAVEMENT
- 4 DEMO/REMOVE EX. CONC. CURB
- 5 DEMO/REMOVE EX. BOLLARD
- 6 DEMO/REMOVE EX. GAS TANK & LINE
- 7 DEMO/REMOVE EX. SS LINE & CLEAN-OUT
- 8 DEMO/REMOVE EX. TEL. LINE
- 9 DEMO/REMOVE EX. CURB & GUTTER
- 10 DEMO/REMOVE EX. SIDEWALK
- 11 DEMO/REMOVE DRAIN
- 12 DEMO/REMOVE MAN. BOX
- 13 DEMO/REMOVE ELEC. BOX

PROJECT BENCHMARK:

NATIONAL GEODETIC SURVEY, D46480: METAL ROD DRIVEN INTO GROUND WITH AN ALUMINUM SURVEY DISK AFFIXED, SET IN A 6" DIAMETER PVC WELL CASING WITH AN ALUMINUM ACCESS COVER, 98.0 METERS WEST OF A TWO POST SIGN READING CAMERON PARK, 34.4 METERS WEST OF A NORTH-SOUTH CHAIN LINK FENCE, 8.0 METERS SOUTH OF THE ASPHALT CURB ON THE SOUTH SIDE OF EASTBOUND HIGHWAY 50, 4.5 METERS NORTH OF A WIRE R/W FENCE, 1.0 METER NORTH OF A METAL GUARD POST, AND 3.0 METERS HIGHER THAN THE HIGHWAY, HAVING AN ELEVATION OF 1109.40 FEET, NAVD83 DATUM.



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 JOB NO. 230400 DATE: 01/25/24

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BLDG SUBMITTAL	
BIO SET	
CONTRACT SET	

REVISIONS

NO.	DESCRIPTION	DATE

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ANDREW HENMAN
 (530) 529-0038

PROJECT
NEW TACO BELL
 3371 COACH LANE
 CAMERON PARK, CA 95882
 APN#: 109-201-006



PRELIMINARY
 DEMOLITION PLAN

C1.0

T:\2023\JOB\23M040 - TB - 3371 Coach Lane, Cameron Park, CA\Civil\preliminary\23M040_C2_GRADING.dwg By: RICHARD Saved on: 1/30/2024 9:22:21 AM

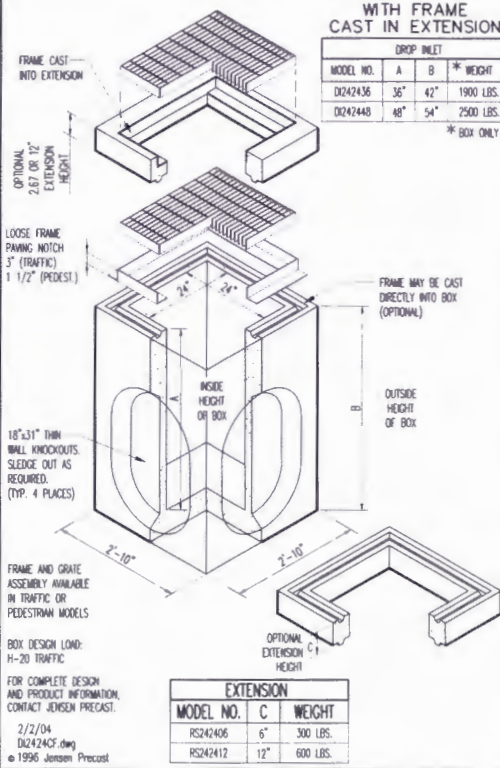
ON-SITE FLEXIBLE PAVEMENT SECTION TABLE				
DESIGNATION	PAVEMENT AREA TRAFFIC INDEX	TRAFFIC	PAVEMENT SECTION (INCHES)	AGGREGATE BASE
PWMT-1	3.0	AUTO PARK	-	-
PWMT-2	3.5	AUTO PARK	-	-

ON-SITE RIGID PAVEMENT SECTION TABLE				
DESIGNATION	PAVEMENT AREA TRAFFIC INDEX	TRAFFIC	P.C. CONCRETE	AGGREGATE BASE
PWMT-3	-	4.5 TRUCKS/DAY	-	-

PAVEMENT NOTES:

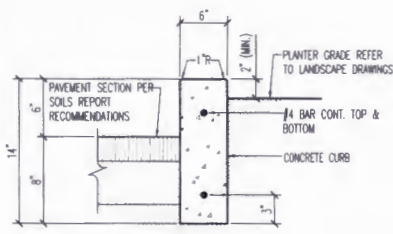
- ALL VALUES ARE MINIMUMS.
- SOILS REPORT BY _____ PROJECT NO. _____ DATED: _____
- CONCRETE COMPRESSIVE STRENGTH SHALL BE 4,500 PSI MINIMUM
- RIGID PAVEMENT SHALL BE REINFORCED WITH #4 BARS AT 18" C. BOTHWAYS, CENTERED IN THE SLAB.
- CONCRETE FLATWORK SHALL BE 4" CONCRETE, OVER COMPACTED NATIVE, WITH #3 BARS AT 18" C. BOTHWAYS, CENTERED IN THE SLAB.
- EXISTING A.C. PAVEMENT MAY BE GRIND AND USED FOR SUB-BASE MATERIAL.
- (ON-SITE ONLY) SUB-GRADE SHALL BE COMPACTED TO 90% RELATIVE DENSITY. (ON-SITE ONLY)
- SUB-BASE MATERIAL WITHIN CITY R.O.M. SHALL COMPLY WITH CALTRANS STANDARDS.
- INSTALL CONTINUOUS 1/2" FELT EXPANSION JOINT WHERE NEW FLATWORK ADJUTS EXISTING FLATWORK.
- SPACE CONTROL JOINTS: FLATWORK: EVERY 6-FT. WITH A MAXIMUM CONTROLLED AREA OF 30 SQ-FT. CONCRETE PAVEMENT: EVERY 14-FT. WITH A MAXIMUM CONTROLLED AREA OF 200 SQ-FT.

24" x 24" DROP INLET WITH FRAME CAST IN EXTENSION

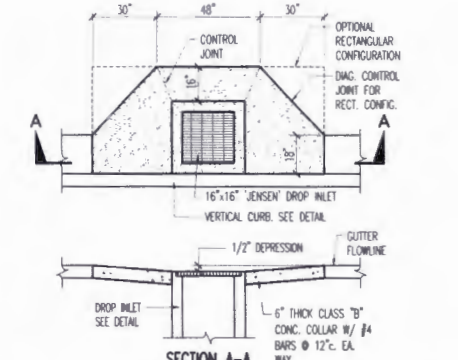


14 DROP INLET N.T.S.

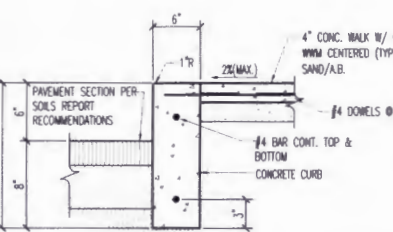
18 PAVEMENT SECTIONS N.T.S.



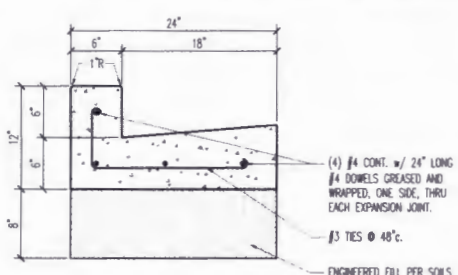
19 CURB @ PLANTER N.T.S.



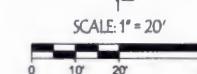
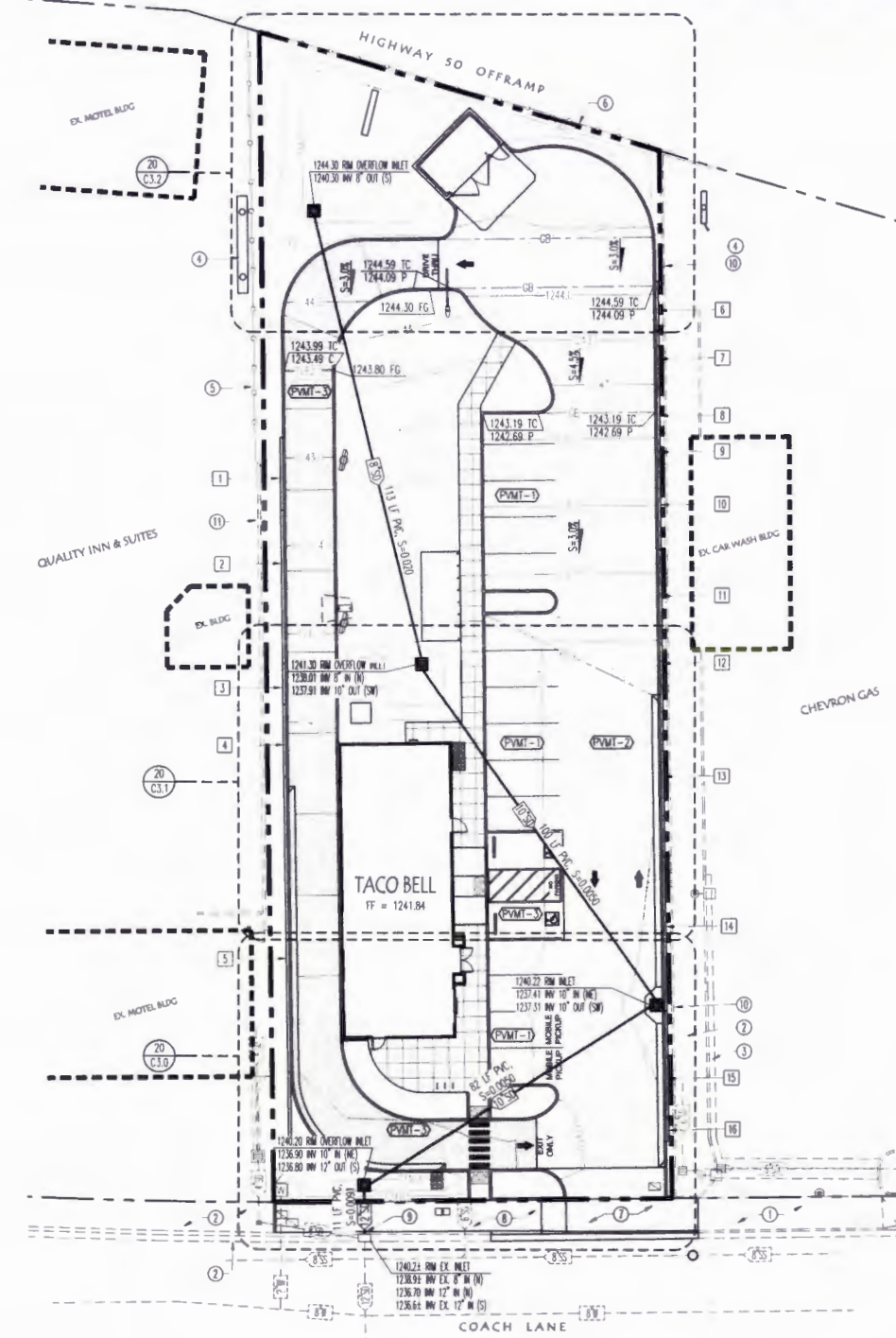
15 GUTTER DEPRESSION N.T.S.



20 CURB @ SIDEWALK N.T.S.



16 CURB & GUTTER N.T.S.

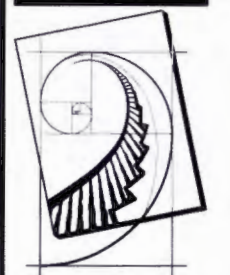


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811
Know what's below.
Call before you dig.

- KEY NOTES:**
- EX. CURB, GUTTER & SIDEWALK
 - EX. LANDSCAPING
 - EX. CURB & GUTTER
 - EX. POLE SIGN
 - EX. WOOD FENCE
 - EX. CALTRANS FENCE
 - NEW DRIVEWAY PER COUNTY STANDARDS
 - NEW SIDEWALK PER COUNTY STANDARDS
 - CORE DRILL INTO BACK OF CATCH BASIN
 - EX. CONCRETE CURB
 - EX. CONCRETE MASONRY SEATING WALL

- RETAINING WALL KEY NOTES:**
- 18 LF, 24" HIGH RETAINING WALL
 - 38 LF, 32" HIGH RETAINING WALL
 - 10 LF, 40" HIGH RETAINING WALL
 - 18 LF, 32" HIGH RETAINING WALL
 - 92 LF, 40" HIGH RETAINING WALL
 - 12 LF, 24" HIGH RETAINING WALL
 - 14 LF, 32" HIGH RETAINING WALL
 - 14 LF, 40" HIGH RETAINING WALL
 - 4 LF, 32" HIGH RETAINING WALL
 - 22 LF, 40" HIGH RETAINING WALL
 - 22 LF, 48" HIGH RETAINING WALL
 - 12 LF, 56" HIGH RETAINING WALL
 - 42 LF, 48" HIGH RETAINING WALL
 - 38 LF, 40" HIGH RETAINING WALL
 - 26 LF, 32" HIGH RETAINING WALL
 - 6 LF, 24" HIGH RETAINING WALL



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VMI JOB NUMBER
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skw & associates
architecture • engineering • surveying
237 main drive, Modesto ca 95355 P 209.528.8223 DATE: 07/05/24
JOB NO. 254040

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CONTRACT SET

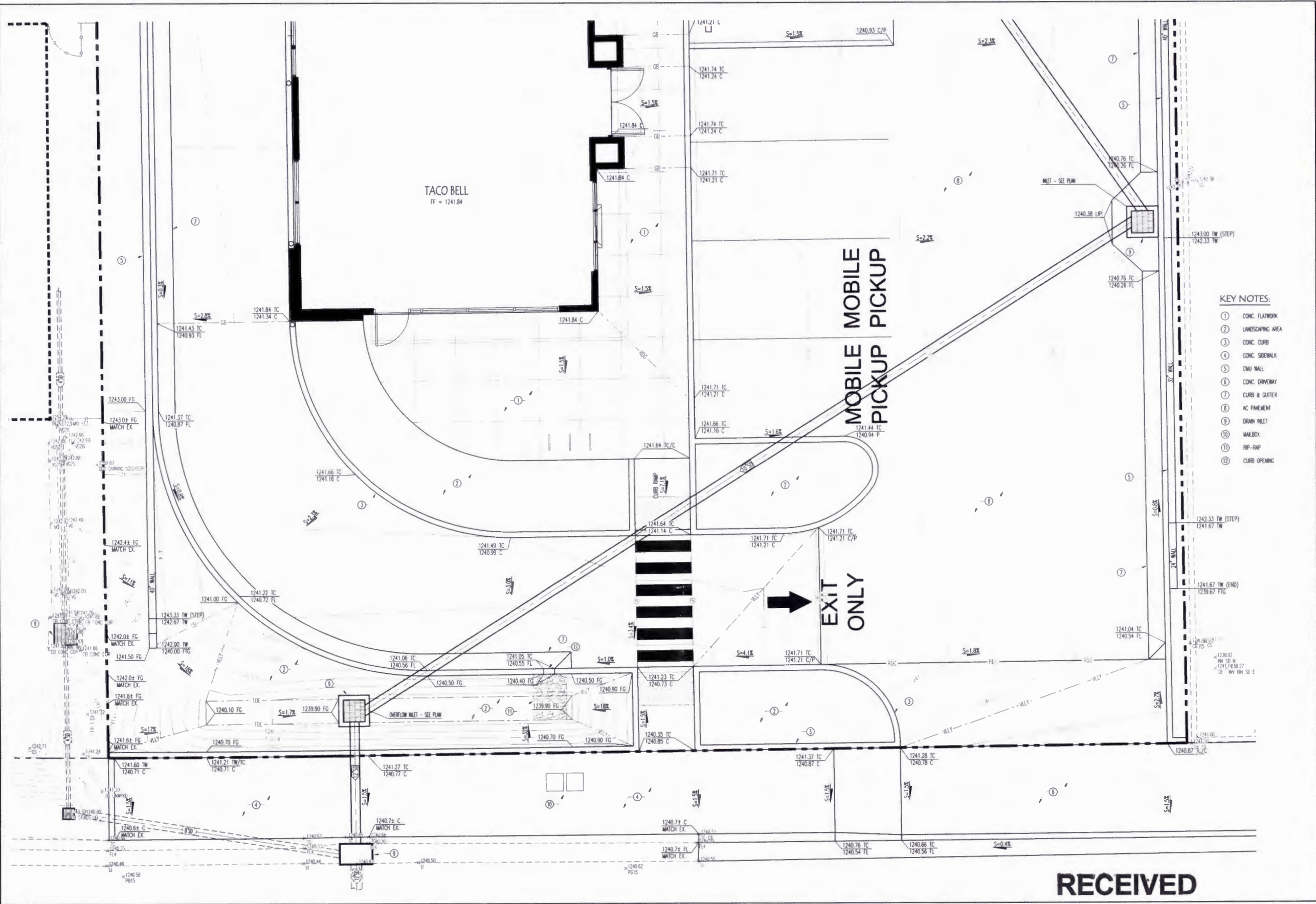
REVISIONS	

CLIENT
JAS PROPERTIES
1188 N. STATE STREET
UKIAH, CA 95482
ANDREW HENNAN
(530) 529-0038

PROJECT
NEW TACO BELL
3371 COACH LANE
CAMERON PARK, CA 95682
APN#: 109-201-006



C2.0



- KEY NOTES:**
- ① CONC. FLATWORK
 - ② LANDSCAPING AREA
 - ③ CONC. CURB
 - ④ CONC. SIDEWALK
 - ⑤ CMU WALL
 - ⑥ CONC. DRIVEWAY
 - ⑦ CURB & GUTTER
 - ⑧ AC PAVEMENT
 - ⑨ DRAIN INLET
 - ⑩ MANHOLE
 - ⑪ RP-RAP
 - ⑫ CURB OPENING

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 www.vmjarch.com

REGISTERED PROFESSIONAL ENGINEER
 ALLAN V. STEVENSON
 No. C0798
 exp. 6/30/25
 CIVIL
 STATE OF CALIFORNIA

skw *associates*
 architecture · engineering · surveying
 227 Westline, Modesto, CA 95855 P 209-535-8833 F 209-535-7834
 DATE: 07/05/24
 JOB NO. 250640

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 (951) 529-0038

PROJECT
 NEW TACO BELL
 3371 COACH LANE
 CAMERON PARK, CA 95682
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ENLARGED
 PRELIMINARY
 GRADING PLAN

C3.0

20 ENLARGED GRADING PLAN

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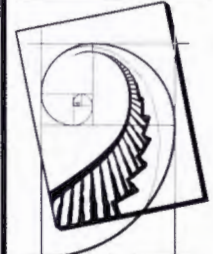
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24-1641 B 35 of 50
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JOB NO.: 240040

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REVISIONS table with columns for description and date.

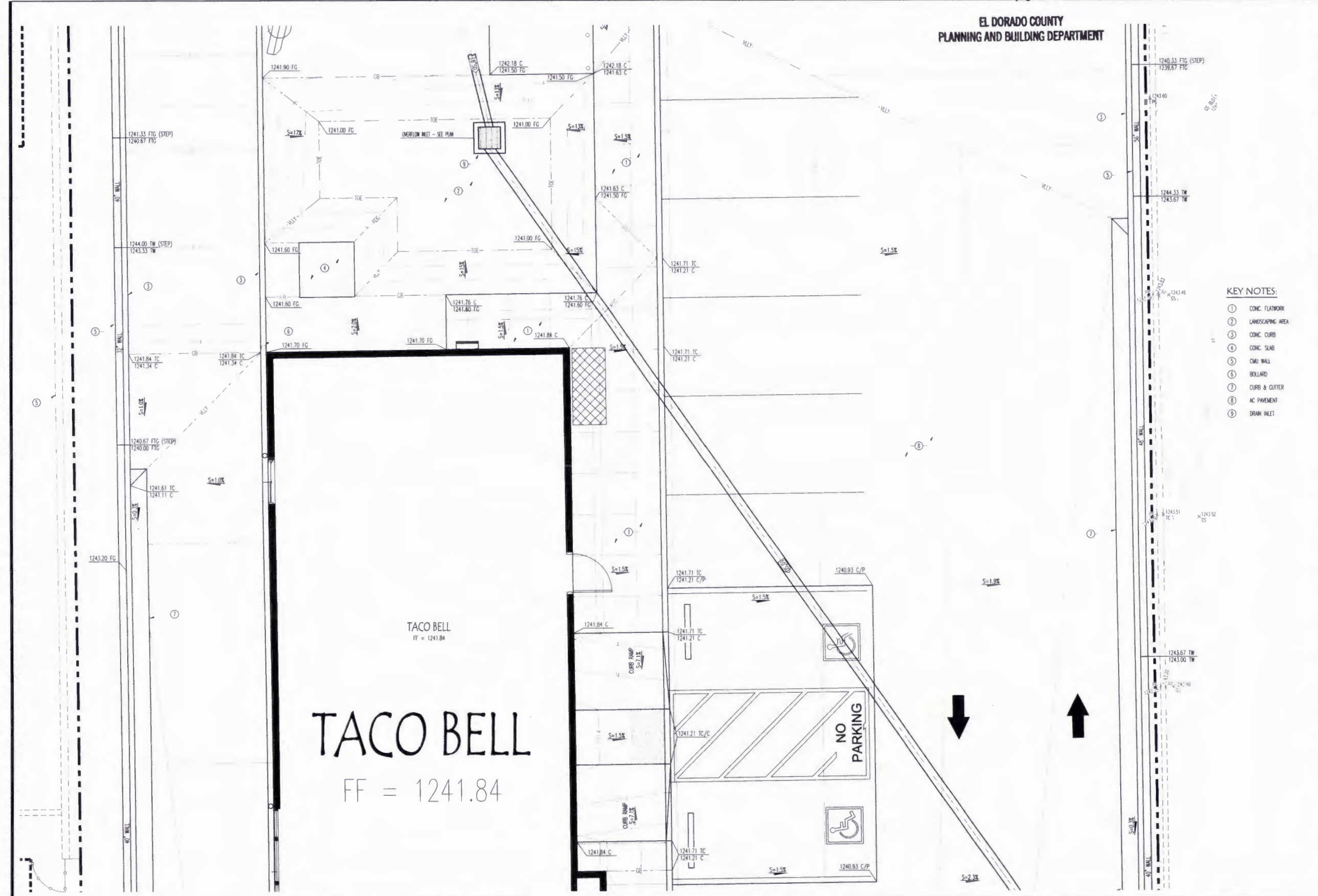
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PROJECT
NEW TACO BELL
3371 COACH LANE
CAMERON PARK, CA 95682
APN#: 109-201-006



ENLARGED
PRELIMINARY
GRADING PLAN

C3.1

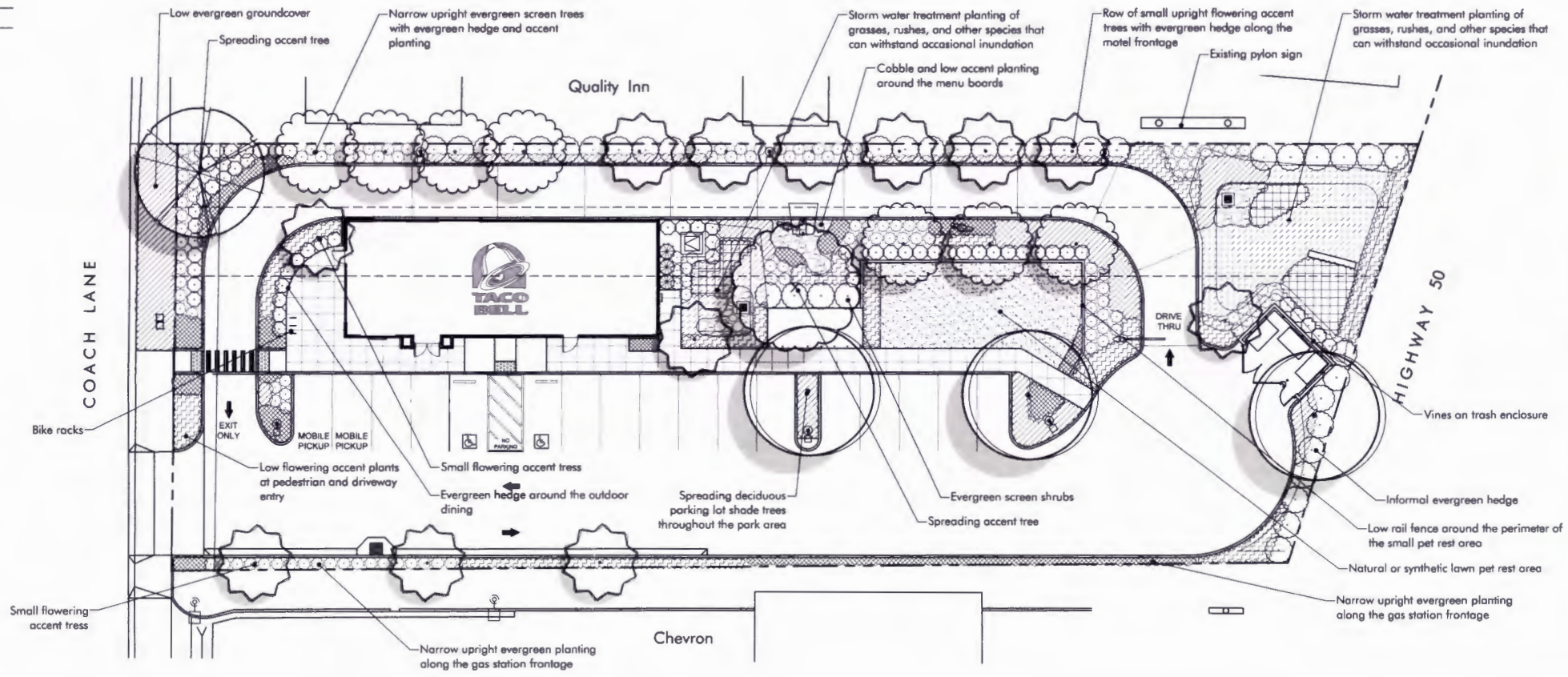


20 ENLARGED GRADING PLAN

SCALE: 1" = 4'

Preliminary Plant Palette

- Trees**
- Street Trees - 15-gallon**
 - Pistachia chinensis* 'Keith Dovey'
 - Platanus acerifolia* 'Bloodgood'
 - Quercus coccinea*
 - Ulmus parvifolia*
 - Zelkova serrata* 'Village Green'
 - Parking Lot Shade Trees - 15-gallon**
 - Acer rubrum* 'October Glory'
 - Celtis sinensis*
 - Pistachia chinensis* 'Keith Dovey'
 - Ulmus parvifolia*
 - Upright Trees along Main Drive Aisles - 15-gallon**
 - Acer rubrum* 'Armstrong'
 - Brachychiton populneus*
 - Ginkgo biloba* 'August Beauty'
 - Magnolia grandiflora* 'Sam Somers'
 - Small Flowering Trees - 15-gallon**
 - Cercis canadensis*
 - Cercis occidentalis*
 - Lagerstroemia indica*
 - Malus* species
 - Focal Point Tree - 15-gallon**
 - Schinus molle*
 - Quercus wislizeni*
 - Platanus x acerifolia* 'Bloodgood'
 - Liquidambar styraciflua* 'Rotundiloba'
- Shrub and Groundcover Zoning**
- Tall Evergreen Hedge** - Irrigated 5-gallon shrubs of moderate growth rate, size in the 6'-12" spread and height range, minimal maintenance.
 - Leucophyllum frutescens* 'Texas Ranger'
 - Nerium oleander*
 - Rhamnus alternans* 'John Edwards'
 - Xylosma congestum* 'Compacta'
 - Evergreen Hedge** - Irrigated 5-gallon shrubs of moderate growth rate, size in the 4'-6' spread and height range, minimal maintenance.
 - Ligustrum japonicum* 'Texanum'
 - Pittosporum tobira* 'Variegata'
 - Olea europaea* 'Little Ollie'
 - Raphiolepis indica* 'White Enchantress'
 - Narrow Upright Shrubs** - Irrigated 5-gallon shrubs of average growth rate, size in the 36"-5' spread and 8'-15' height range, minimal maintenance.
 - Cupressus sempervirens* 'Tiny Towers'
 - Juniperus chinensis* 'Spartan'
 - Juniperus scopulorum* 'Skyrocket'
 - Thuja occidentalis* 'Emerald'
 - Large Accent Shrubs** - Irrigated 5-gallon shrubs of small to medium size and moderate growth rate, size in the 36"-48" spread and height range, minimal maintenance.
 - Callistemon viminalis* 'Little John'
 - Hesperaloe parviflora*
 - Lantana hybridus* 'Gold Rush'
 - Rosa* 'Pink Flower Carpet'
 - Salvia greggii*
 - Grasses / Grass-like Plants** - Irrigated 1-gallon and 5-gallon perennial and evergreen grasses and strip leaf plants planted in masses, size in the 24"-42" spread and height range.
 - Calamagrostis acutiflora* 'Karl Foerster'
 - Dianella tasmanica* 'Variegata'
 - Dietes bicolor*
 - Lomandra longifolia* 'Breeze'
 - Muhlenbergia dubia*
 - Small Flowering Accent Shrubs** - Irrigated 1-gallon plants of moderate growth rate, size in the 18"-48" spread and height range.
 - Agapanthus africanus*
 - Hemerocallis hybridus*
 - Salvia nemerosa*
 - Zauschneria californica*
 - Low Groundcover** - Irrigated 1-gallon evergreen low spreading groundcover at 48"-6' o.c.
 - Baccharis pilularis* 'Twin Peaks II'
 - Cotoneaster dammeri* 'Lowfast'
 - Juniperus* species (Groundcover)
 - Trachelospermum asiaticum*
 - Storm Water Treatment Grasses - 5-gallon** Rushes
 - Chondropetalum tectorum*
 - Storm Water Treatment Grasses - 1-gallon** sedge
 - Carex tumulicola*
 - Lomandra confertifolia* 'Olive Green'
 - Vines**
 - Ficus pumila*
 - Parthenocissus tricuspidata*
 - Trachelospermum jasminoides*
 - Cobble** - 6" deep layer of 3"-4" river cobble with edging



WELo Water Use Calculations

The following calculations represent the intended hydrozones and water usage as designed with this Preliminary Landscape Plan. As we move through the design process we anticipate minor adjustments/revisions of these calculations. However, compliance with WELo code requirements will always remain.

Hydrozone	Type of Plant	Water Use	Plant Factor	Irrigation Efficiency	ETAP	Hydrozone Area	%	Type of Irrigation	ETW
1	Medium water using shrubs	Medium	.4	.81	0.49	1,487 sf	20.2%	Drip/Bubbliers	21245.06
2	Low water using shrubs	Low	.3	.81	0.37	5,518 sf	78.0%	Drip/Bubbliers	59933.65
3	Non-irrigated cobble	None	0	1.0	0.0	278 sf	3.8%	No Irrigation	0 gal
TOTAL						7,283 sf			81,178.71 gallons
Total Landscape Area (SLA + Landscape)						7,283 sf			
Maximum Applied Water Allowance (MAWA)						95,847.63 gallon/year			
Estimated Total Water Usage (ETWU)						81,178.71 gallon/year			
Average Irrigation Efficiency						0.81			

ETWU is less than MAWA, therefore water usage as designed exceeds code requirements

Irrigation

The entire site will be irrigated using a fully automatic system and designed to meet the County's Water Efficient Landscape Ordinance (WELo). The irrigation system will largely be low-volume design with limited use of pop-up sprays or rotators at fescue areas. The system will include in-line valves, quick couplers, and gate valves. New irrigation controller will be Hunter, Rainbird, Irritrol, or equal and will meet the WELo requirements of a 'Smart' controller. A complete irrigation design with these parameters will be provided with the building permit plans.

Landscape Area Calculations

Lawn Area	0 sf	0%
Synthetic Turf	945 sf	11.5%
Shrub Areas	6,985 sf	85.1%
Cobble Areas	278 sf	3.4%
Total On-Site Landscape	8,208 sf	100%
Size of Developed Parcel	26,825 sf	(0.82 acres)
Percentage of Site in Landscape	30.6%	

Landscape Concept

The landscape design concept for the Taco Bell is to provide an enjoyable and aesthetic space for customers as well as those living by. Plant material has been selected that performs well in the special conditions of the Cameron Park area (Sunset Zone #7). The plant material has also been selected to be cohesive with the design relative to the surrounding conditions.

Landscape includes no turf. Drought tolerant hardy shrubs and groundcover are proposed for the landscape area, and low to medium shrubs around buildings and at high profile areas.

Special considerations have been provided in selecting plant material that respects the needs of the customers. Clear and secure view corridors have been provided to ensure the safety. Shade trees are provided along the perimeter of the project and parking lots with smaller trees around buildings.

Tree Root Barriers

All trees denoted with the root barrier symbol are to have a linear DeepRoot Model #UB 18-2 root barriers installed during tree installation along the inside edge of the adjacent curb or sidewalk. The following minimum number of panels are to be installed with each tree on each side of the tree that has sidewalk or curb as denoted on the plans:

- 15 gallon trees: 5 panels
- 24" box trees: 6 panels

Tree sizes not listed above are to be installed with the quantity of panels as specified by the manufacturer.

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Scale: 1/8" = 1'-0"



Aerial Map



Vicinity Map

Not to scale

Not to scale



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www.vmarch.com

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24-2530



January 16, 2024

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Sonoma Co. 95370
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ANDREW HENNAN
(530) 629-0038

PROJECT
TACO BELL
3371 COACH LANE
CAMERON PARK, CA 95682
APN# 109-201-006



ENDEAVOR 24
Preliminary
Landscape
Plan

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Plant Photos

Street Trees and Parking Lot Shade Trees



Pistachia chinensis
'Keith Davey'



Platanus acerifolia
'Bloodgood'



Quercus coccinea



Ulmus parvifolia

Small Upright Trees



Acer rubrum
'Armstrong'



Arbutus
'Marina'



Geijera parviflora



Ginkgo biloba
'Princeton Sentry'

Small Flowering Trees



Cercis canadensis



Cercis occidentalis



Lagerstroemia indica



Malus spp.

Focal Point Trees



Schinus molle



Quercus wislizeni



Platanus acerifolia
'Bloodgood'



Liquidambar styraciflua
'Ratundiloba'

Vines



Ficus pumila



Parthenocissus tricuspidata

Synthetic Lawn



Synthetic Lawn

Loose Cobble



Loose Cobble

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Tall Evergreen Hedge



Leucophyllum frutescens
'Texas Ranger'



Ligustrum japonicum
'Texanum'



Pittosporum tobira
'Variegata'



Rhampholepis indica

Narrow Upright Shrubs



Cupressus sempervirens
'Tiny Towers'



Juniperus chinensis
'Spartan'



Juniperus scopulorum
'Skyrocket'



Thuja occidentalis
'Emerald'

Hedges



Ligustrum japonicum
'Texanum'



Myrtus communis
'Compacta'



Rhampholepis umbellata



Rosmarinus officinalis
'Miss Jessop's Upright'

Large Accent Shrubs



Callistemon viminalis
'Little John'



Hesperaloe parviflora



Rosa
'Pink Flower Carpet'



Salvia leucantha

Grasses / Grass-like Plants



Calamagrostis acutiflora
'Karl Foerster'



Dianella tasmanica
'Variegata'



Diets bicolor



Muhlenbergia dubia

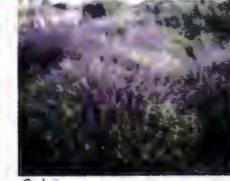
Small Flowering Accent Shrubs



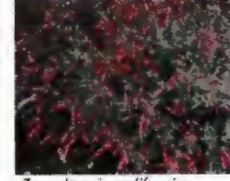
Agapanthus africanus



Hemerocallis hybridus



Salvia nemerosa



Zauschneria californica

Low Groundcover



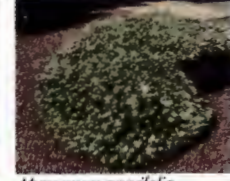
Baccharis pilularis
'Twin Peaks II'



Cotoneaster dammeri
'Lawfast'



Juniperus spp.



Myoporum parvifolia



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PROJECT
TACO BELL
3371 COACH LANE
CAMERON PARK, CA 95682
APN# 109-201-006



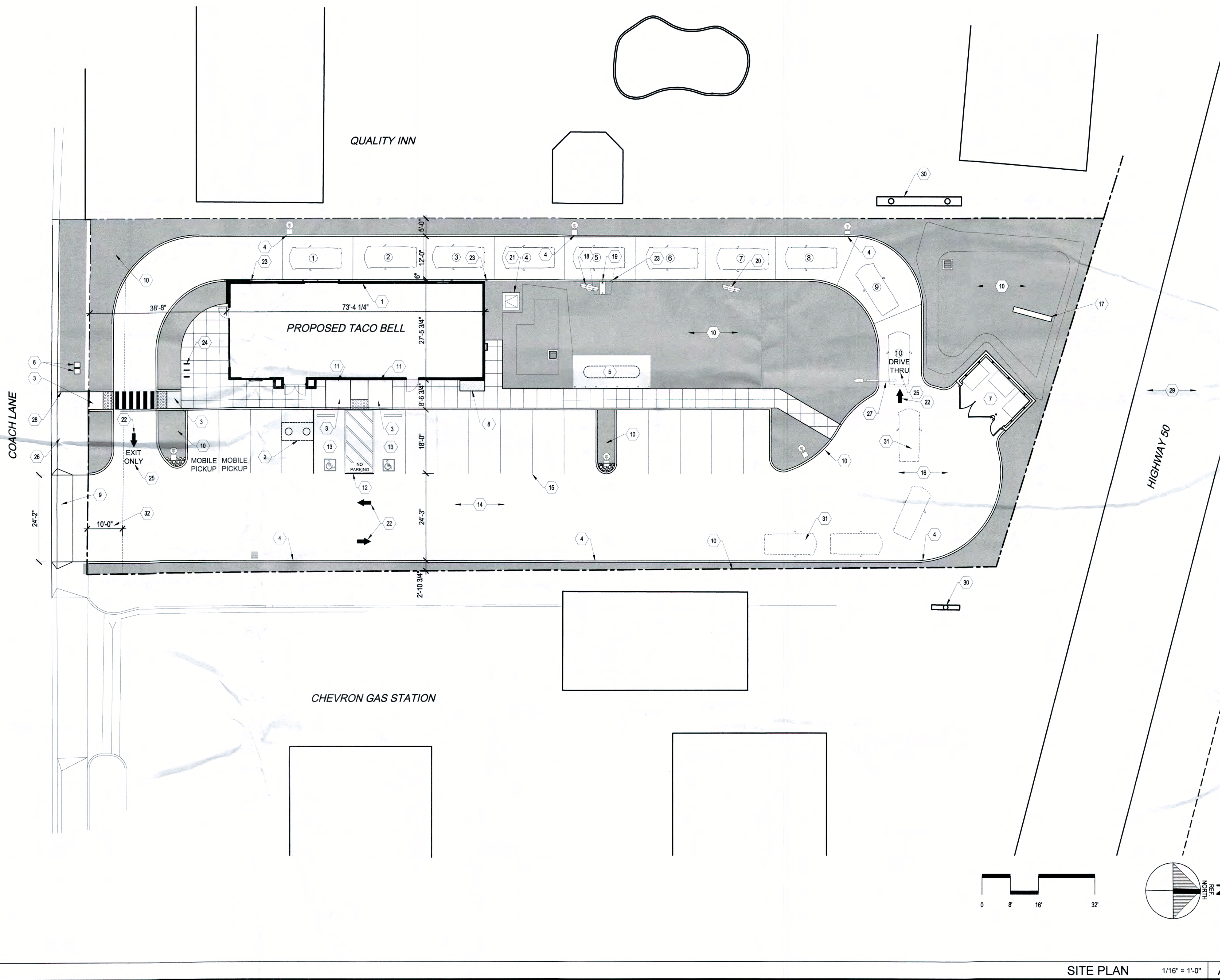
ENDEAVOR 24
Plant Images

L0.2

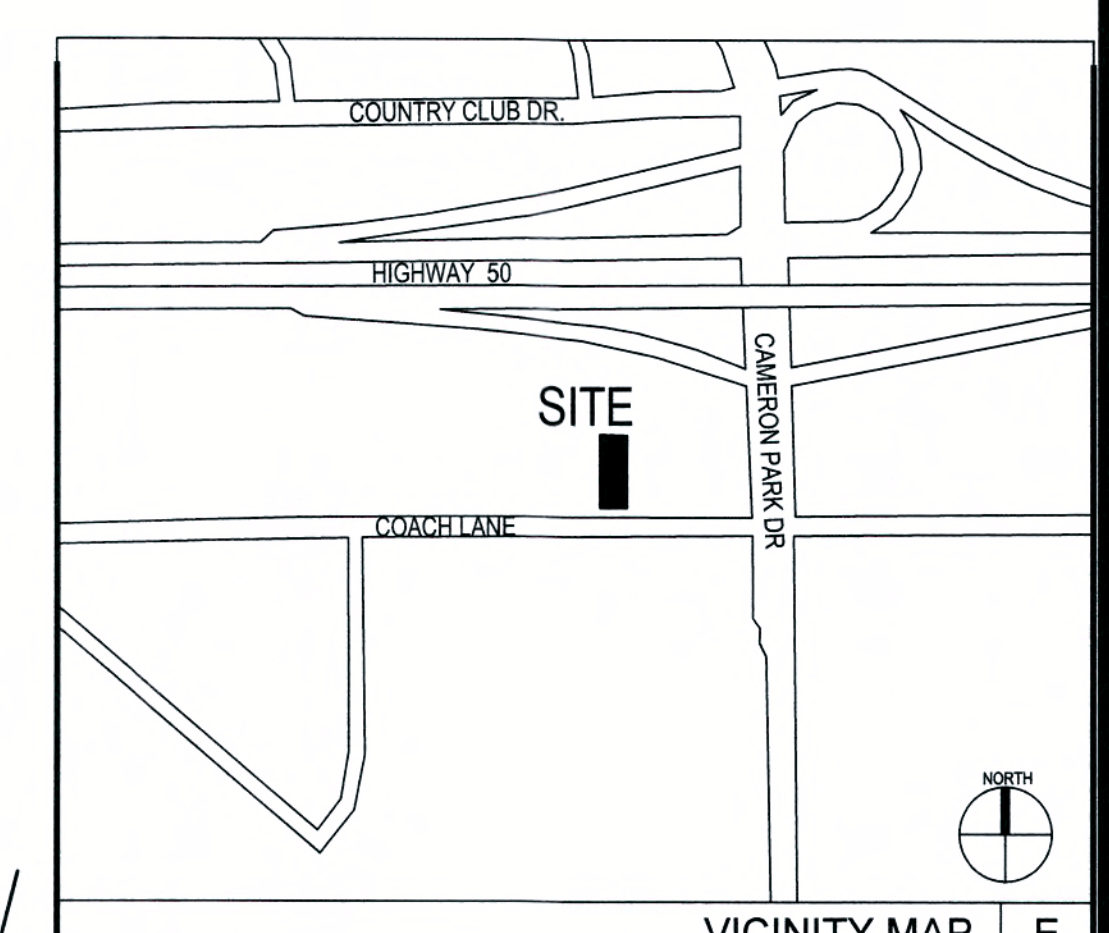
Z:\cadfiles\cadfiles\Projects_24\24-2530 - TB - Cameron Park Drawings\Plans\Preliminary\Pre2530.dwg By: TOM Saved on: 1/29/2024 3:36:31 PM
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SITE PLAN 1/16" = 1'-0" A



VICINITY MAP E

SITE INFO: EL DORADO COUNTY
 ADDRESS: 3371 COACH LANE, CAMERON PARK
 ZONE: CC
 APN#: 109-201-006
 PROPERTY SIZE - 609 AC (26,571 SF)

BUILDING INFO: 2,028 SF (EXTERIOR FACE OF STUD OF HABITABLE SPACE)
 BUILDING PERCENTAGE (2,028 SF) = 7.6%
 LANDSCAPE PERCENTAGE (8,795 SF) = 33.1%
 TRASH ENCLOSURE (240 SF) = 0.9%
 HARDSCAPE (15,508) = 58.4%

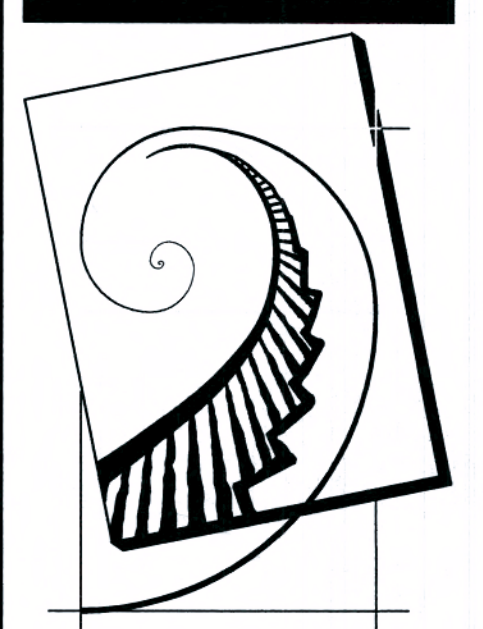
PARKING INFO: 1 PER 250 GSF = 9 REQUIRED SPACES 18 PROVIDED.

- SHEET INDEX**
- DD0.0 SITE PLAN, PROJECT INFORMATION, VICINITY MAP, SHEET INDEX
 - DD1.0 NEW FLOOR PLAN
 - DD3.0 PROPOSED ROOF PLAN
 - DD4.0 PROPOSED EAST ELEVATION
 - DD4.1 PROPOSED WEST, SOUTH AND NORTH ELEVATIONS
 - C1.0 PRELIMINARY DEMOLITION PLAN
 - C2.0 PRELIMINARY GRADING PLAN
 - C3.0 ENLARGE PRELIMINARY GRADING PLAN
 - C3.1 ENLARGE PRELIMINARY GRADING PLAN
 - L0.1 PRELIMINARY PLANTING PLAN
 - L0.2 PLANT IMAGE

PROJECT INFORMATION D

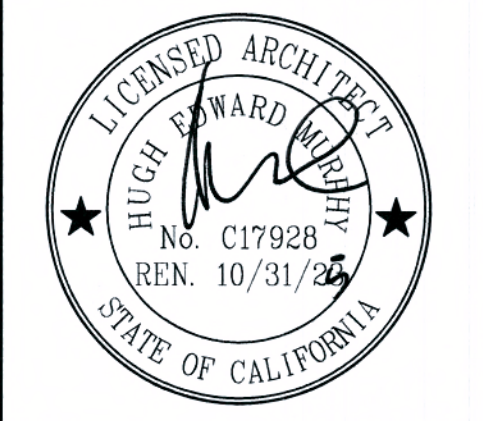
- # KEY NOTES SYMBOL ON SITE PLAN**
1. (N) BUILDING FOOTPRINT.
 2. (N) GREASE INTERCEPTOR.
 3. (N) ADA RAMP.
 4. (N) LED LOT LIGHTS.
 5. (N) PROPANE GAS TANK.
 6. (N) WATER METER.
 7. (N) TRASH ENCLOSURE. SEE DETAIL 13 / DD6-0.
 8. (N) ELECTRICAL SWITCHGEAR CABINET TO MATCH MAIN BUILDING COLOR.
 9. (E) CONCRETE CURB CUTS TO BE REUSED.
 10. (N) LANDSCAPE.
 11. (N) TOW AWAY SIGN PER ADA REQTS.
 12. PAINT (N) ADA LOADING ZONE STRIPPING PARKING SYMBOLS AND "NO PARKING"
 13. (N) ADA PARKING - LESS THAN 2% SLOPE IN ANY DIRECTION, G.C. TO RE-GRADE AND EXTEND CONCRETE SURFACE TO ATTAIN COMPLIANCE AS NECESSARY.
 14. (N) PARKING LOT ASPHALT AREA.
 15. (N) PAINT PARKING STALL LINES, TYP.
 16. (N) 50' DIAMETER TURN AROUND.
 17. (N) PYLON SIGN. SEE DETAIL 2 / DD6-0. (V-01.75)
 18. (N) MENU BOARD.
 19. (N) SPEAKER / OCB PEDESTAL.
 20. (N) PREVIEW BOARD.
 21. (N) ELECTRICAL TRANSFORMER.
 22. (N) WHITE TRAFFIC ARROWS TYPICAL. USE EPOXY TRAFFIC PAINT.
 23. (N) 6" STEEL, CONCRETE FILLED BOLLARD.
 24. (N) BIKE RACK.
 25. (N) 12" HIGH LETTERS IN TRAFFIC EPOXY PAINT.
 26. (N) 5' WIDE SIDEWALK AND CURB TO COUNTY STANDARDS.
 27. (N) CLEARANCE BAR.
 28. END (N) SIDEWALK AT THIS POINT.
 29. CALTRANS RIGHT OF WAY.
 30. (E) ADJACENT BUSINESSES PYLON SIGNS.
 31. ADDITIONAL DRIVE THRU STACKING.
 32. 10' PUE EASEMENT.

SITE PLAN KEY NOTES # B



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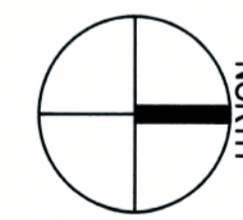
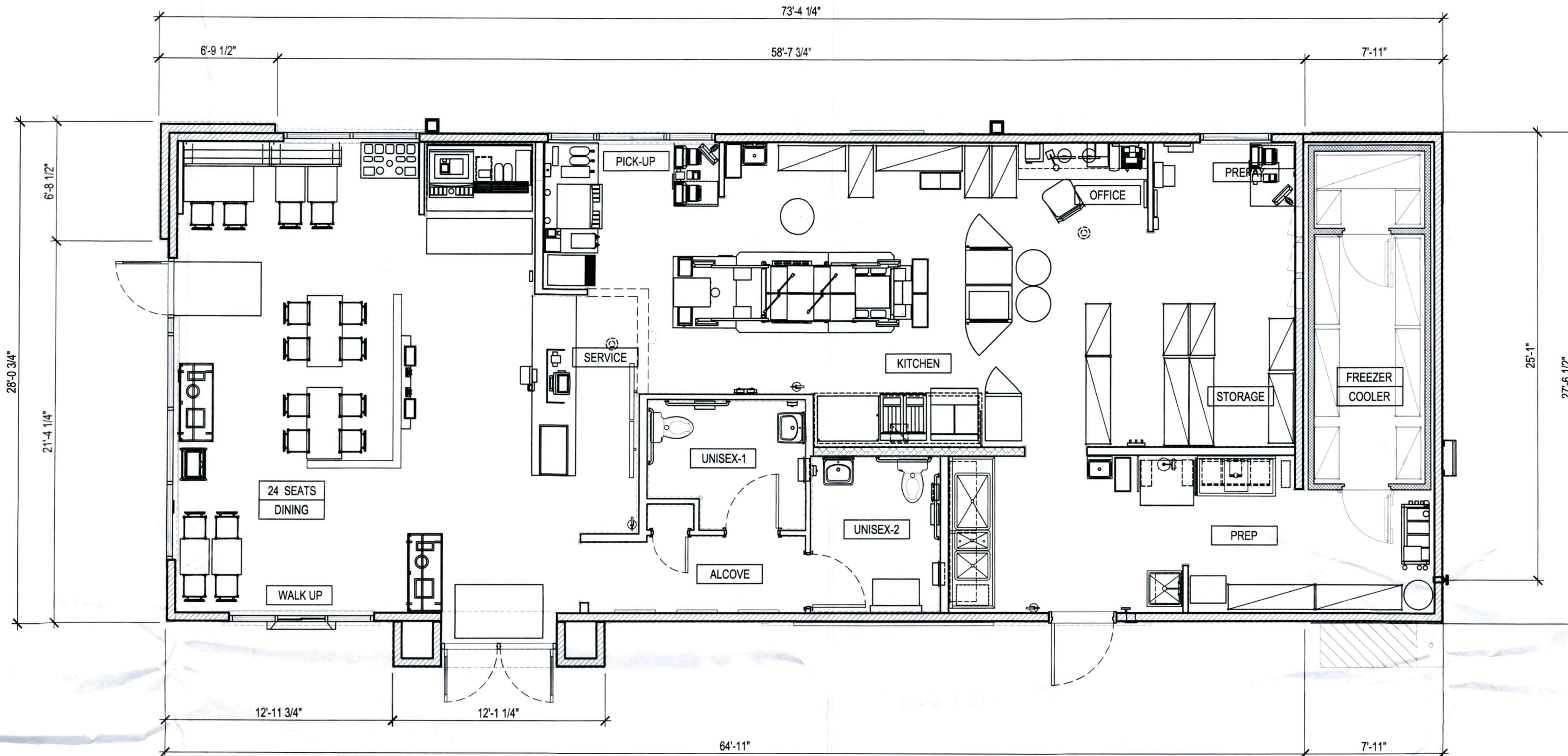
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 CAMERON PARK, CA 95682
 APN#: 109-201-006



NEW
 SITE PLAN
DD0.0

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EQUIPMENT/SEATING PLAN 1/4"=1'-0" **A**

	TYPICAL EXISTING EXTERIOR WALL: 2x8 WOOD STUDS @16" O.C. w/ 1/2" PLYWOOD (EXP 1) SHEATHING.
	TYPICAL EXISTING INTERIOR WALL TO REMAIN: 2x4 WOOD STUDS @16" O.C. (U.N.O.)
	TYPICAL WALL DEMOLITION: DEMO AS INDICATED (SEE KEY NOTES)
	TYPICAL DEMOLITION: ITEMS TO BE REMOVED.

DEMOLITION LEGEND **D**

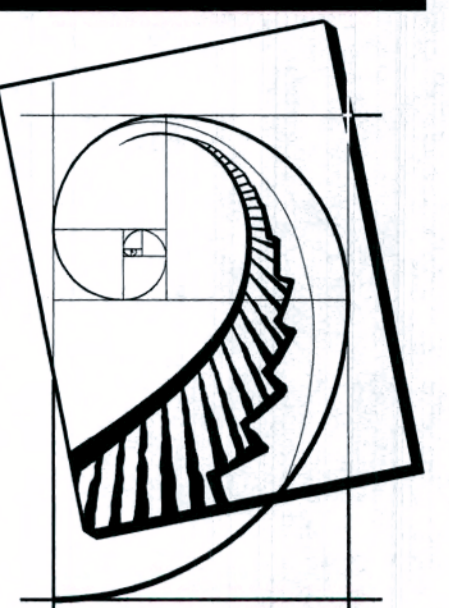
INSPECT INTERIOR AND EXTERIOR WALLS. REPLACE ANY DAMAGED SUBSTRATE WALLS ETC. INSPECT DINING ROOM WINDOWS & WALLS BELOW WINDOWS FOR EVIDENCE OF MOISTURE DAMAGE & IMPROPERLY INSTALLED FLASHING. VERIFY WITH OWNER.

ROOF RECOMMENDATIONS: INSPECTION OF EXISTING ROOF BY QUALIFIED ROOFER IS RECOMMENDED. REPLACE ROOF IF WARRANTED. VERIFY ALL ACTIONS WITH OWNER.

SEE SITE PLAN FOR ANY SITE DEMO WORK.

DRINK SYSTEM FRUITISTA MACHINE SHALL BE TEMPORARILY RELOCATED PER STORE MANAGERS DIRECTION BY AUTHORIZED TECHNICIANS. OWNER SHALL COORDINATE.

DEMOLITION NOTES **C**



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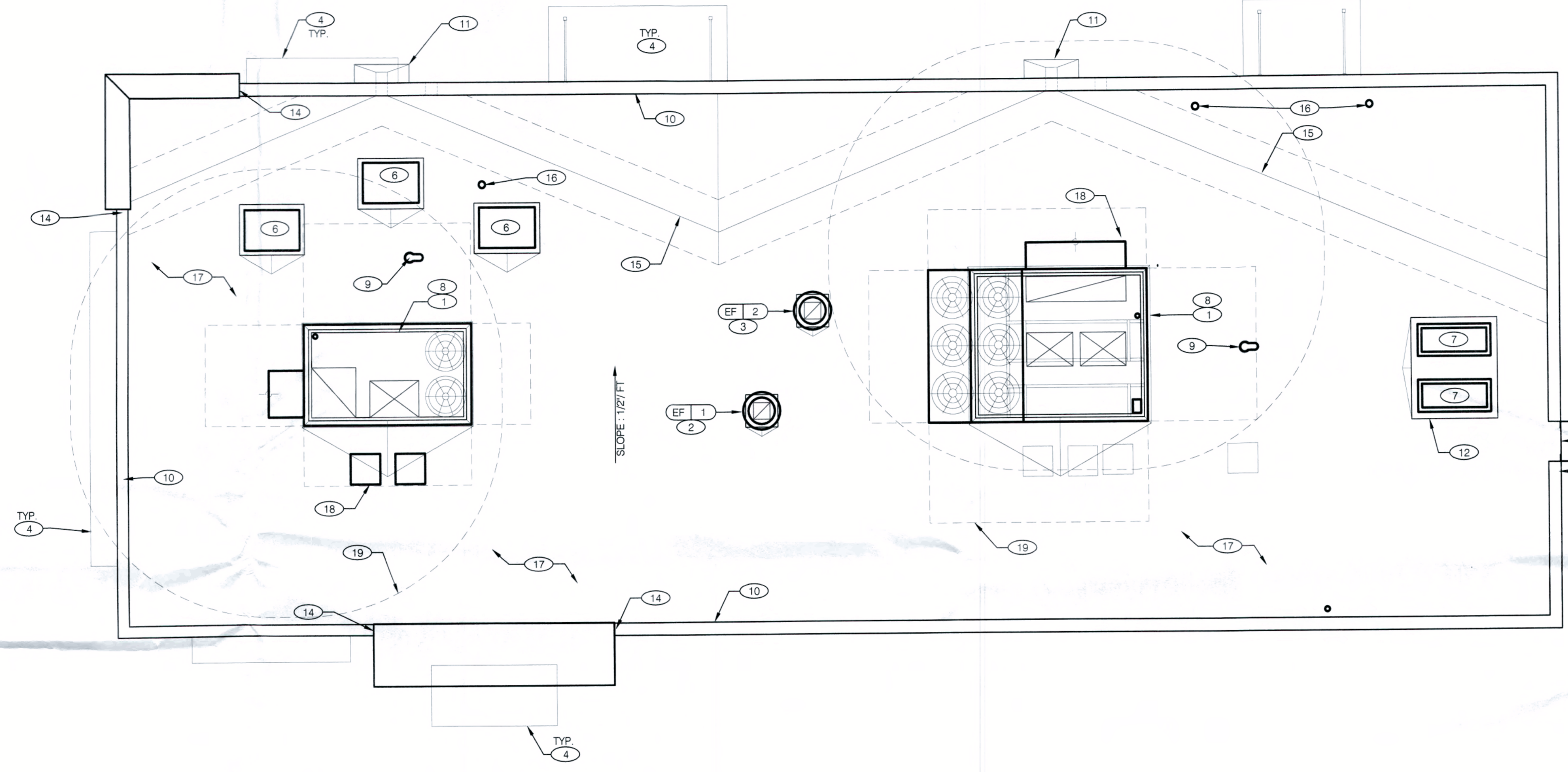
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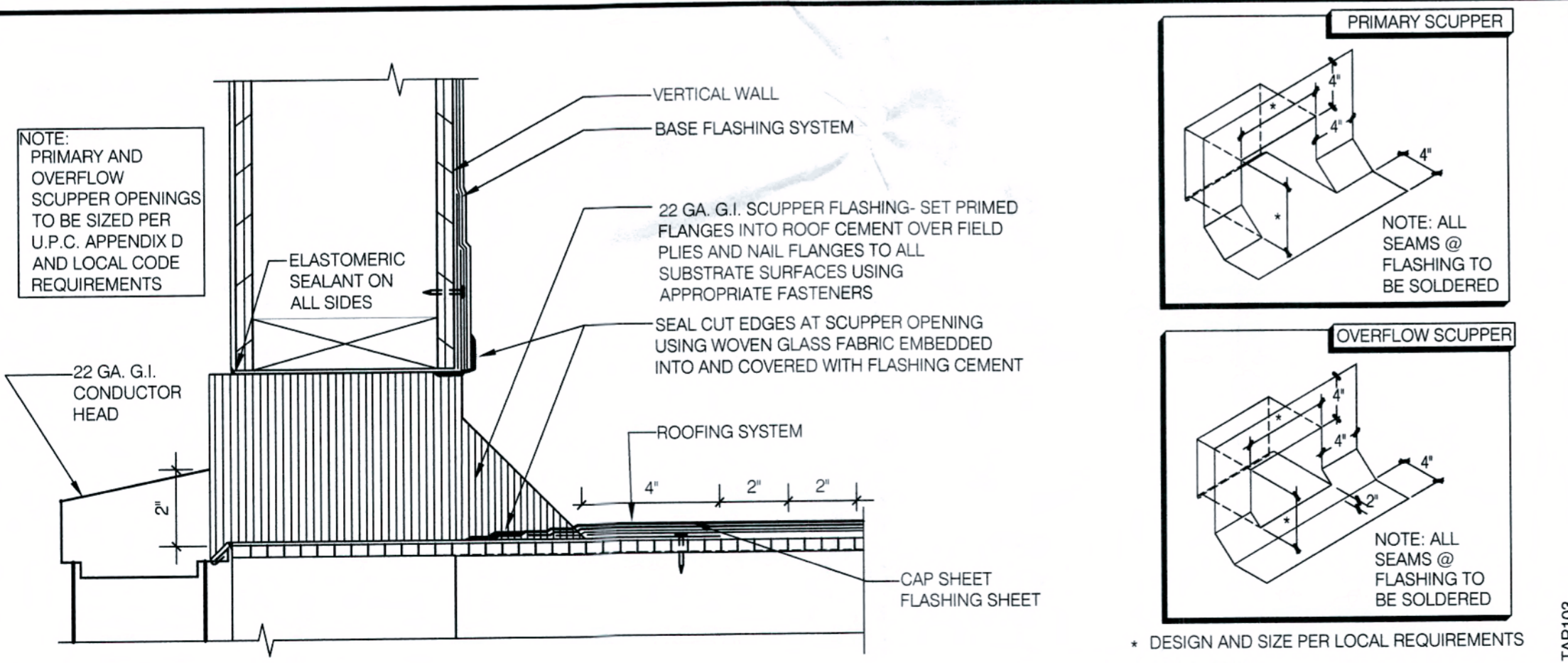
EQUIPMENT AND SEATING PLAN

DD1.0

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ROOF PLAN 1/4"=1'-0" **A**



SCUPPER FLASHING **F**

WATERPROOFING:
 A. PAINT UNDERSIDE OF PARAPET CAP FLASHING WITH FACTORY BONDED PAINT GRIP OR PRIMER.
 B. TOP NAILING AT PARAPET CAP FLASHING WILL NOT BE ACCEPTED.
 C. PENETRATIONS IN ROOFING MEMBRANE AND FLASHING SHALL ONLY BE MADE AS INDICATED ON THE DRAWINGS OR SPECS.
 D. SEE SPECIFICATIONS FOR SEALANT SPECS.
 E. ALL SHEET MTL FLASHING SHALL BE 22 GA MIN.

MISCELLANEOUS:
 A. ROOF PENETRATIONS CLOSER THAN 12" FROM ANOTHER WILL NOT BE ALLOWED.
 B. EXHAUST FANS MIN. 10'-0" AWAY FROM ALL AIR INTAKE / SUPPLY.
 C. LOCATE WALK-IN CONDENSERS ON ROOF ONLY IF REQUIRED BY CODE.

NOTE: ALL SEAMS @ FLASHING TO BE SOLDERED

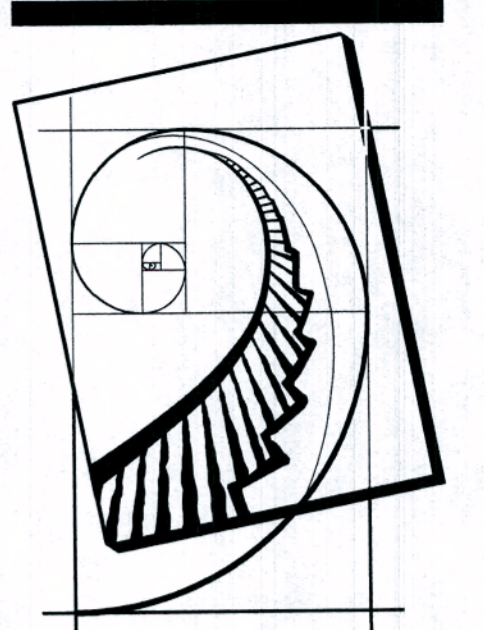
NOTE: ALL SEAMS @ FLASHING TO BE SOLDERED

DESIGN AND SIZE PER LOCAL REQUIREMENTS

ROOF PLAN NOTES **E**

- 1 ROOFTOP UNIT. INSTALL PLUMB AND LEVEL.
- 2 KITCHEN HOOD EXHAUST FAN.
- 3 RESTROOM EXHAUST FAN.
- 4 CANOPY.
- 5 ROOF LADDER.
- 6 ICE MACHINE CONDENSERS.
- 7 WALK-IN COOLER / FREEZER CONDENSERS.
- 8 EQUIPMENT PLATFORM.
- 9 PIPE HOOD FOR UTILITIES.
- 10 PAINTED METAL PARAPET CAP.
- 11 SCUPPER AND DOWNSPOUT. SEE DETAIL F.
- 12 COORDINATE SIZE OF ROOF CURB AND NUMBER OF CONDENSING UNITS WITH WALK-IN COOLER/FREEZER MANUFACTURER.
- 13 CARRY TOWER FRAMING UP TO PARAPET.
- 14 CHANGE IN PARAPET ELEVATION.
- 15 ROOF CRICKET.
- 16 WASTE VENT THROUGH ROOF. THE TOP OF WASTE VENTS SHALL BE 12" HIGHER THAN THE CLOSEST PARAPET CAP U.N.O. OR NOT ALLOWED BY LOCAL JURISDICTION.
- 17 'DIURO-LAST' SINGLE PLY ROOF MEMBRANE OVER 1/2" EXTERIOR GRADE PLYWOOD OVER TRUSSES. INSTALL PER MANUFACTURERS SPECIFICATIONS.
- 18 24x36 WALK MATS.
- 19 MAINTAIN MFR'S ROOFTOP UNIT MAINTENANCE CLEARANCE.

KEY NOTES **B**



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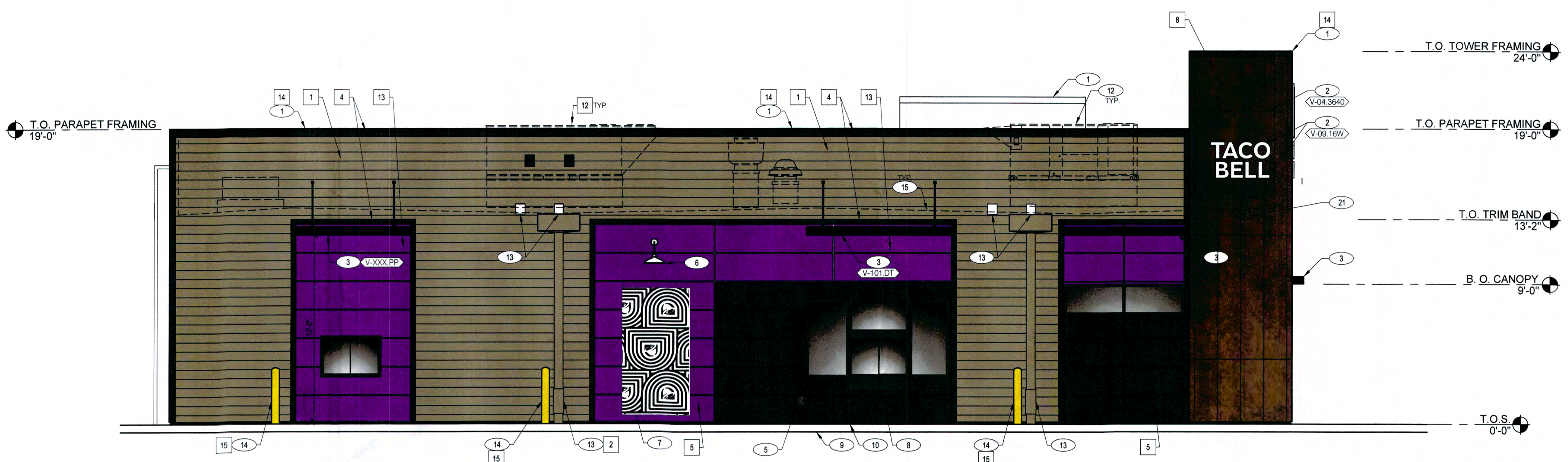
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ROOF PLAN
DD3.0

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WEST EXTERIOR ELEVATION 1/4" = 1'-0" **A**

TYPE MARK	QTY	ITEM DESCRIPTION	LOC
TOWER			
V-04.42	2	LARGE SWINGING BELL PURPLE LOGO 3' 6" X 4' 0"	4/DD6.0
V-08.14W	2	LARGE TB 1/4" CHANNEL LETTERS WHITE (2) STACKED (1) LINEAR	4/DD6.0
SIDE ENTRY			
V-07.42	1	LARGE SWINGING BELL PURPLE LOGO 3' 6" X 4' 0"	4/DD6.0
V-08.10W	1	SMALL TB 1/4" CHANNEL LETTERS WHITE (2) STACKED (1) LINEAR	9/DD6.0
V-200.EN	1	SIDE ENTRY AWNING 6' 4" X 6' 3" BLACK	DD4.0
DRIVE THRU			
V-101.DT	1	DT AWNING (OVER DT) 9' 0" X 4' 0" BLACK	DD4.1
EYEBROW AWNINGS			
V-202.EN	1	FRONT EYEBROW (WINDOW) 16' 7" X 6' H X 1' 4" D BLACK	DD4.1
V-203.EN	1	DT EYEBROW (WINDOW) 7' 8" L X 6' H X 1' 4" D BLACK	DD4.1
V-201.EN	1	SIDE ENTRY EYEBROW (WINDOW) 12' L X 6' H X 1' 4" D BLACK	DD4.0

MISCELLANEOUS
 A. SEE SHEET A1.1 "WINDOW TYPES" FOR WINDOW ELEVATIONS.

SEALERS (REFER TO SPECS)
 A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.
 B. SEALANT AT ALL WINDOW AND DOOR FRAMES AND JAMB. DO NOT SEAL SILL @ WINDOWS.
 C. APPLY NEOPRENE GASKET (CONT.) BETWEEN BUILDING AND CANOPY.

CRITICAL DIMENSIONS
 A. REQUIRED CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD SIGNAGE/BUILDING ELEMENTS DIMENSIONS.

NOTE: NO EXTERIOR SIGNS ARE WITHIN THE SCOPE OF WORK COVERED BY THE BUILDING PERMIT APPLICATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL EXTERIOR SIGNS AND INSTALLATION OF REQUIRED BLOCKING AND ELECTRICAL CONNECTIONS FOR FINAL APPROVED SIGNS.

APPLICATOR MUST DO THEIR DUE DILIGENCE WITH PREPARATION.
 FINISH: 2 COATS SW A82-100 SERIES, MATCH COLORS FROM MATERIAL SCHEDULE.

PAINTING
 APPLICATOR MUST DO THEIR DUE DILIGENCE WITH PREPARATION.
 PRIMER: 1 COAT SW A24W8300
 FINISH: 2 COATS SW A82-100 SERIES, MATCH COLORS FROM MATERIAL SCHEDULE. A-100 EXTERIOR LATEX SATIN.

NOT USED **I**

SIGNAGE **G**

GENERAL NOTES **F**

PAINT NOTES **E**

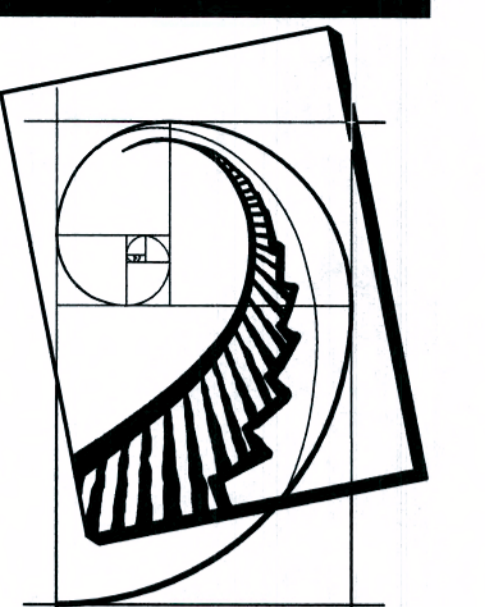
NOT USED **C**

SYMBOL	ITEM/MATERIAL	MANUFACTURER	MATERIAL SPEC	COLOR	ALTERNATE MFR.	ALTERNATE COLOR	CONTACT INFORMATION
1	SIDING	JAMES HARDIE	ARTISAN V-GROOVE RUSTIC 144L X 8.25"W, 7' EXPOSURE COMES PRIMED FOR PAINT	WORLDLY GRAY (SW7043), SEMI-GLOSS	-	-	SEE D / A 7.2
2	SCUPPERS	-	-	WORLDLY GRAY (SW7043), SEMI-GLOSS	-	-	SEE D / A 7.2
3	RAIN WATER LEADER	-	-	WORLDLY GRAY (SW7043), SEMI-GLOSS	-	-	SEE D / A 7.2
4	HARDIE TRIM	JAMES HARDIE	HARDIE TRIM 5/4 SMOOTH 1"x5.5"	CYBERSPACE (SW7076), SEMI-GLOSS	-	-	SEE D / A 7.2
5	HARDIE REVEAL PANEL	JAMES HARDIE	REVEAL PANEL SYSTEM	CYBERSPACE (SW7076), SEMI-GLOSS	-	-	SEE D / A 7.2
6	HOLLOW METAL DOOR	-	-	PURPLE TB2603C & FRAME, SEMI-GLOSS	-	-	SEE D / A 7.2
7	AWNINGS	-	-	CYBERSPACE (SW7076), SEMI-GLOSS	-	-	SEE D / A 7.2
8	CORNER TOWER	-	-	WEATHERED RUSTIC- WESTERN STATES	-	-	SEE D / A 7.2
9	RECESS OF SIDE ENTRY PORTAL	-	-	WEATHERED RUSTIC- WESTERN STATES	-	-	SEE D / A 7.2
10	METAL PARAPET CAP	SHERWIN - WILLIAMS	-	CYBERSPACE (SW7076)	-	-	SEE D / A 7.2
11	PARAPET TRIM, ROOF FASCIA ENDENTILS	SHERWIN - WILLIAMS	-	AGED WHITE (SW9180), SEMI-GLOSS	-	-	SEE D / A 7.2
12	METAL CANOPIES	SIGNAGE VENDOR	-	-	-	-	SEE D / A 7.2
13	SHED ROOF FRAME	-	PAINT SW7055 ENDURING BRONZE	-	-	-	SEE D / A 7.2
14	SHED ROOF	SIGNAGE VENDOR	-	-	-	-	SEE D / A 7.2

EXTERIOR FINISH SCHEDULE **H**

- 1 METAL PARAPET CAP. SEE DETAIL 11 / DD6-0.
- 2 BUILDING SIGN BY VENDOR. REQUIRES ELECTRICAL. SEE DETAILS 4 & 8 / DD6-0.
- 3 METAL CANOPIES BY SIGNAGE VENDOR. SEE SCHEDULE FOR FINISH. SEE BLOCKING DETAIL 9 / DD6-0.
- 4 CO2 FILLER VALVE & COVER.
- 5 HOSE BIB BOX AT 18" A.F.F.
- 6 EXTERIOR LIGHT FIXTURE. COORDINATE WITH ELECTRICAL DRAWINGS, TYP.
- 7 MURAL.
- 8 DRIVE THRU WINDOW. SEE SHEET A1.0 AND A1.1.
- 9 ASSUME D/T LANE SURFACE IS 6" BELOW THE FINISH FLOOR. REFER TO GRADING & SITE PLAN.
- 10 CONCRETE CURB.
- 11 OPTIONAL PATIO. SEE SITE PLAN AND A9.1
- 12 ROOF TOP HVAC UNIT. COLOR BY MFR.
- 13 SCUPPER, COLLECTOR, AND VERTICAL RAIN WATER LEADER 6" MIN., PAINT TO MATCH ADJACENT WALL.
- 14 BOLLARD, SEE A0.1
- 15 ROOF LINE BEYOND.
- 16 ELECTRICAL SWITCHGEAR. PAINT TO MATCH ADJACENT WALL. WALL SHALL BE FINISHED PRIOR TO INSTALLATION OF SWITCHGEAR.
- 17 GAS METER, DO NOT PAINT.
- 18 TOWER WITH METAL PANEL FINISH.
- 19 SYMBOL OF ACCESSIBILITY, SEE DETAIL 7/A0A-1.
- 20 ROOF LADDER WITH STAIR LOCK.

KEY NOTES **D**



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EXTERIOR ELEVATIONS
DD4.0

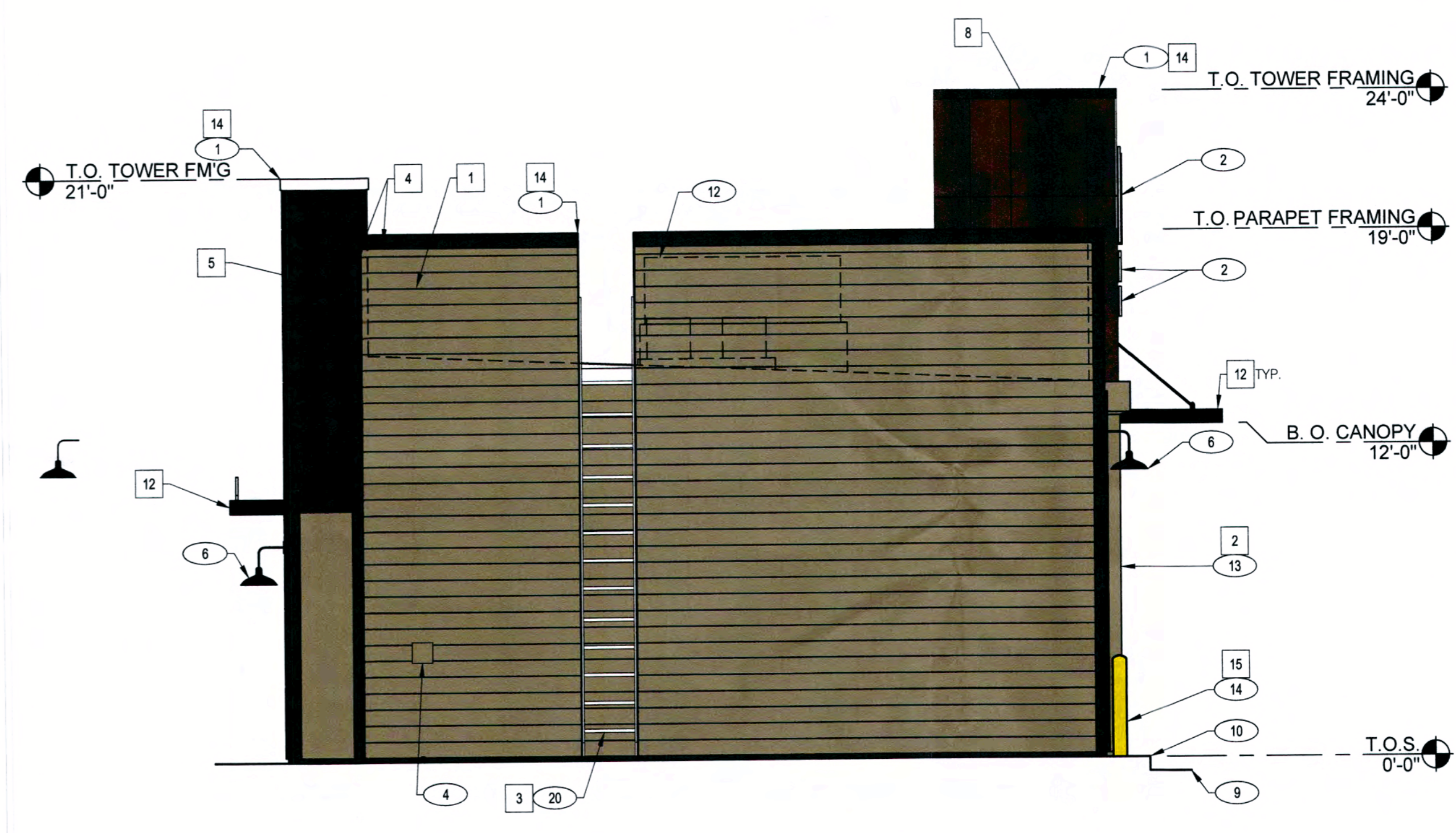
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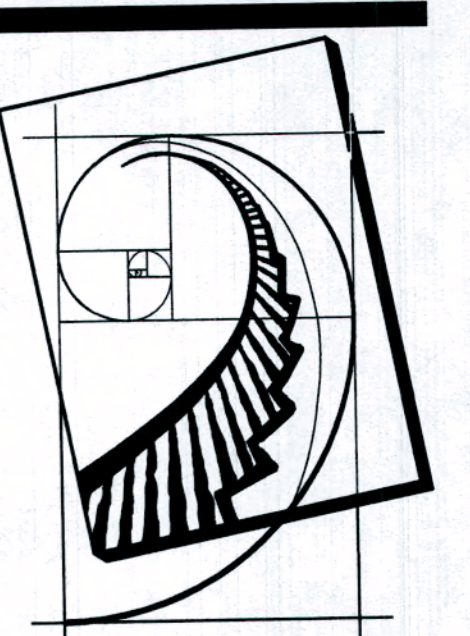
EAST ELEVATION 1/4" = 1'-0" A



SOUTH ELEVATION 1/4" = 1'-0" C

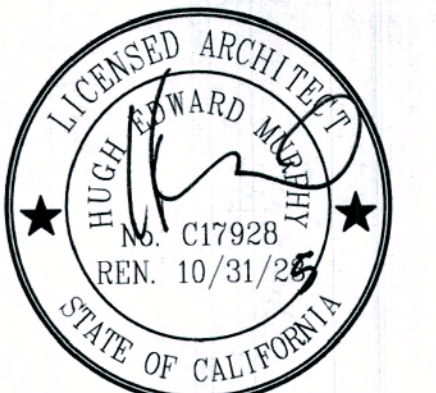


NORTH ELEVATION 1/4" = 1'-0" B



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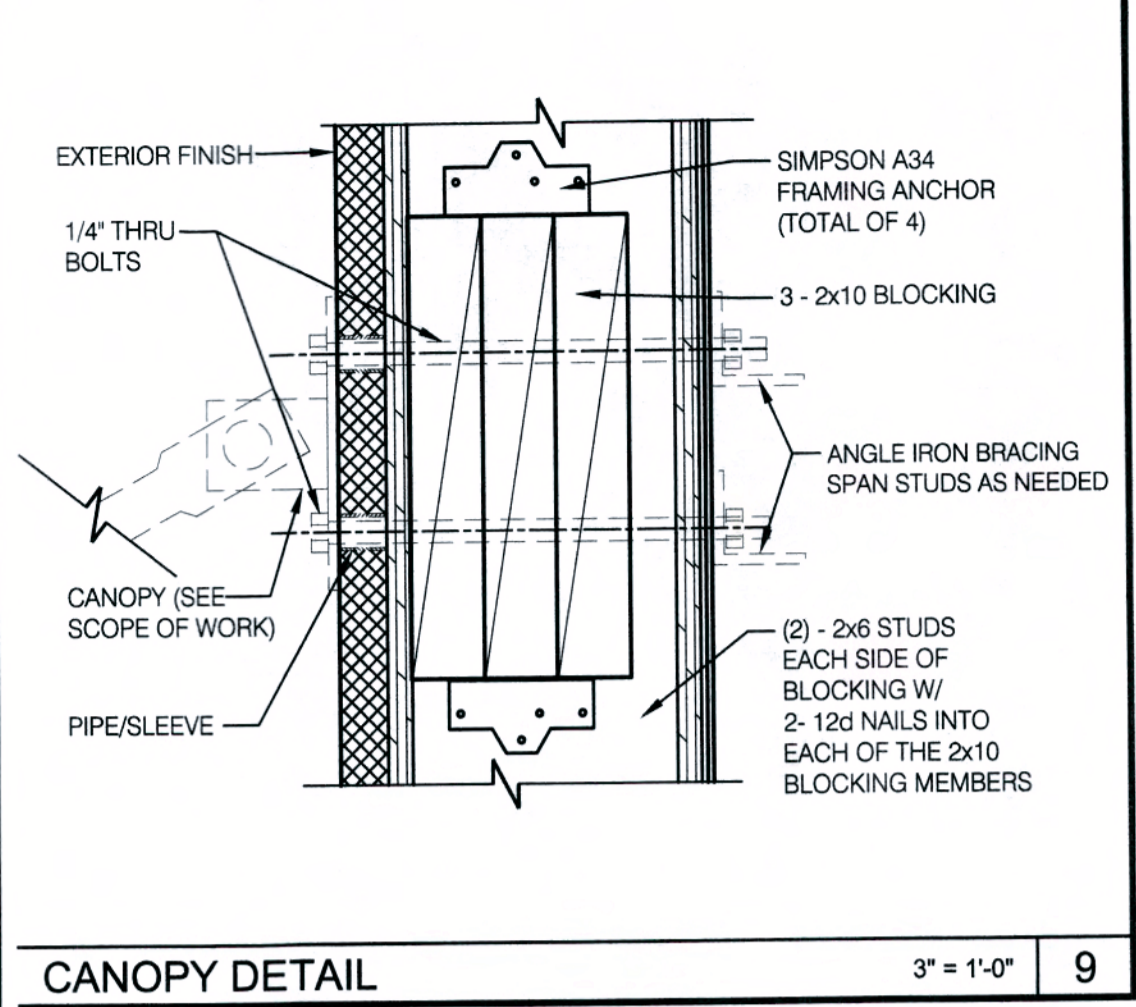
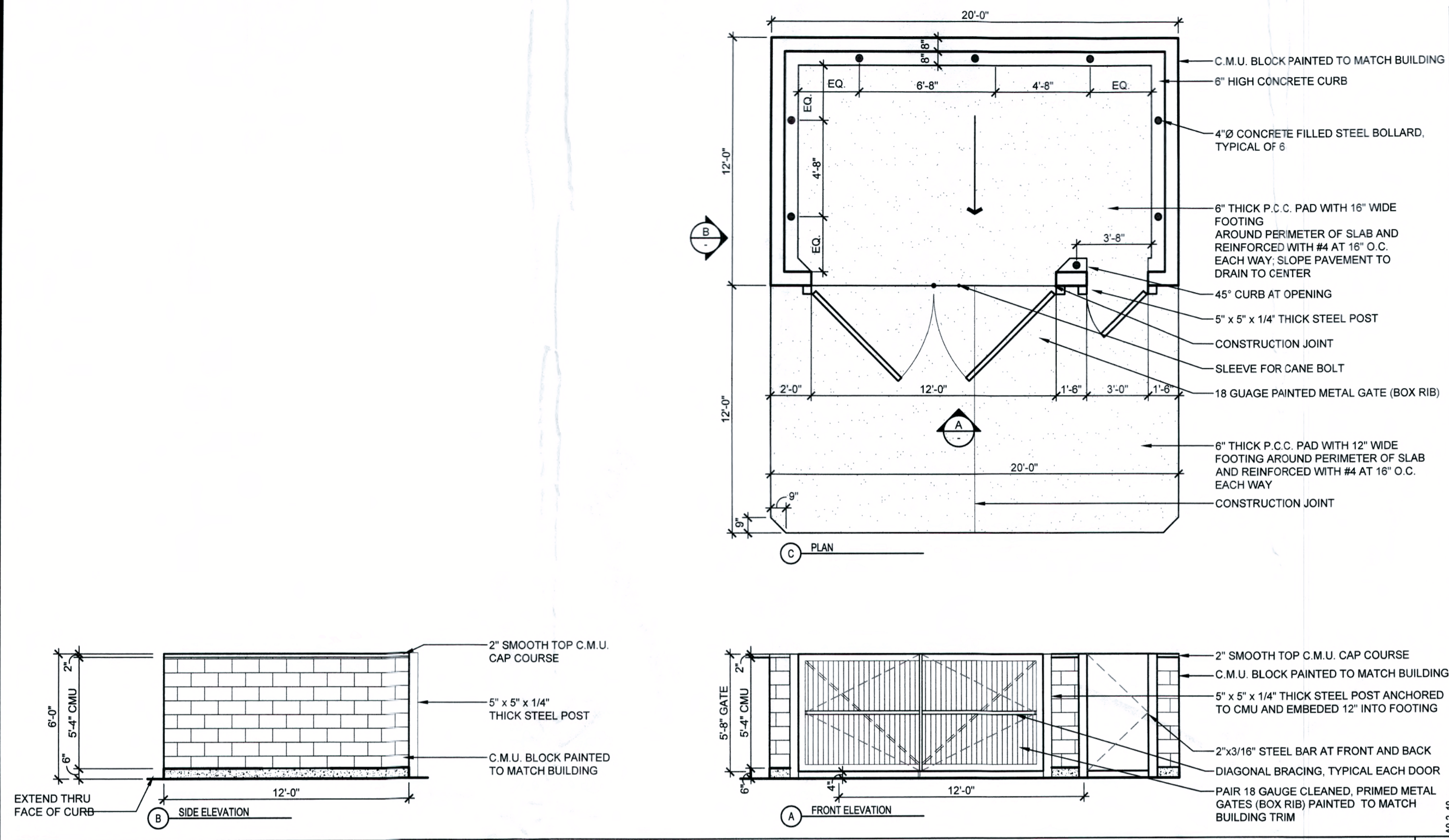
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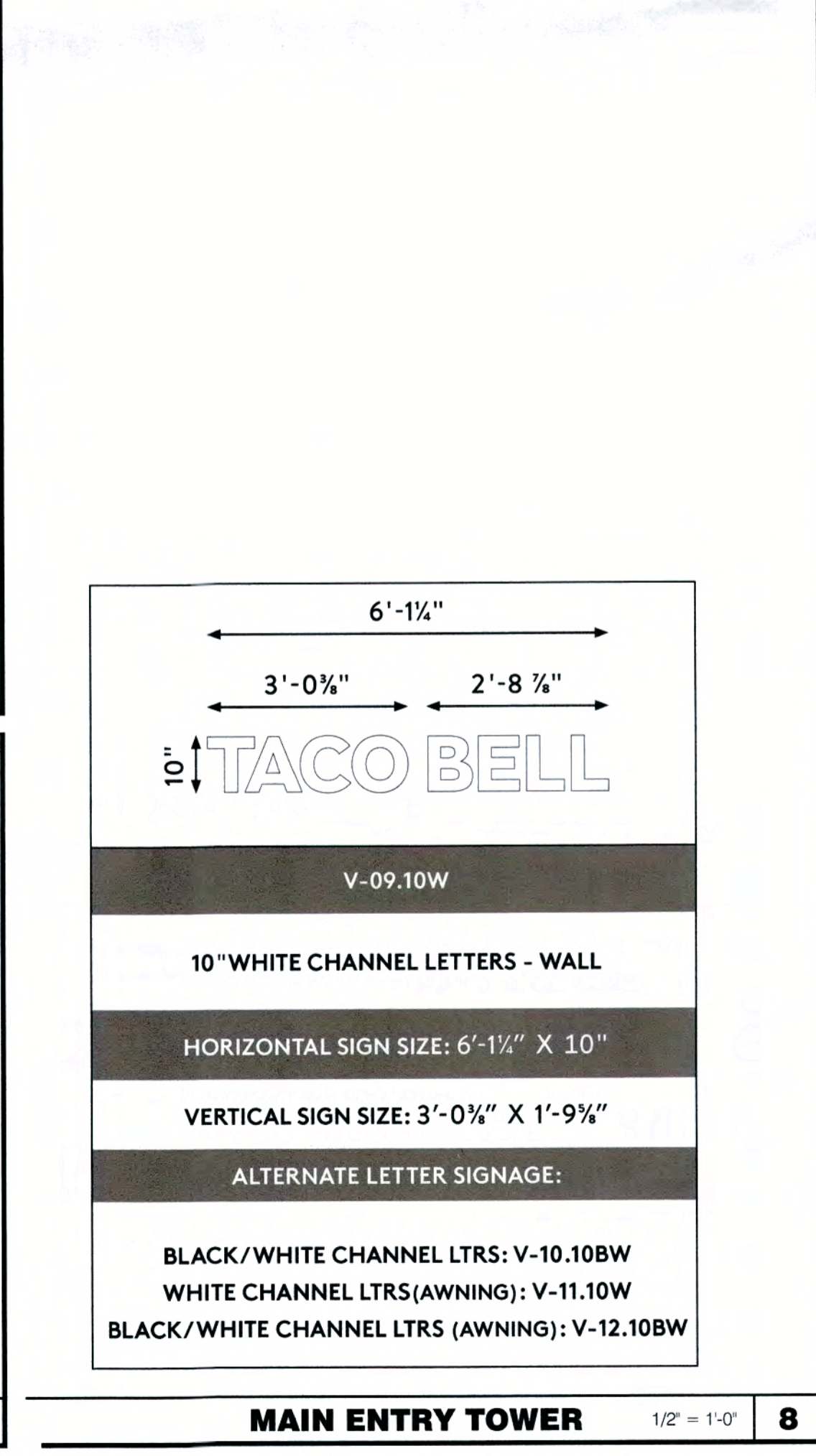
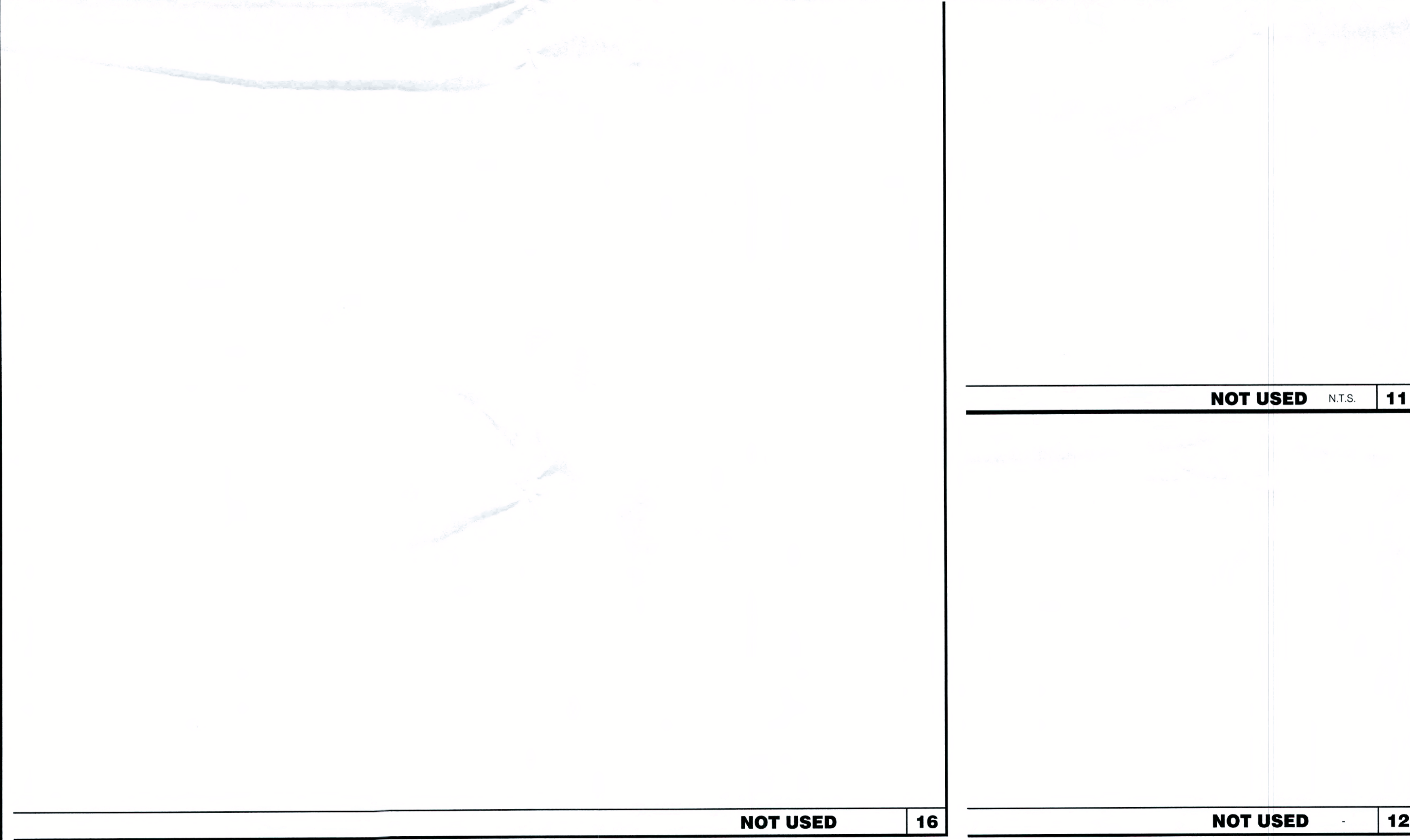
EXTERIOR ELEVATIONS
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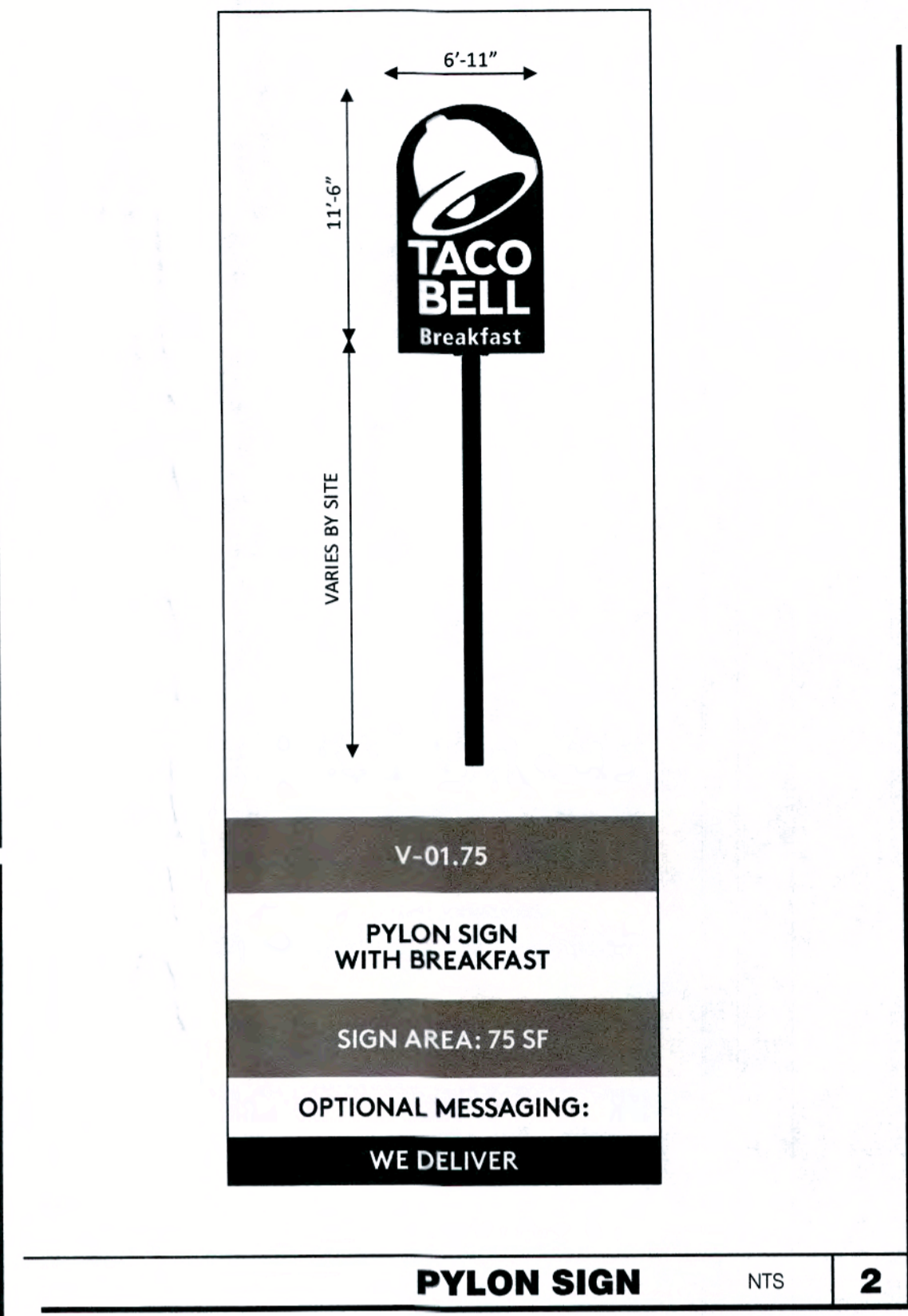
TRASH ENCLOSURE 1/4" = 1'-0" 13

CANOPY DETAIL 3" = 1'-0" 9

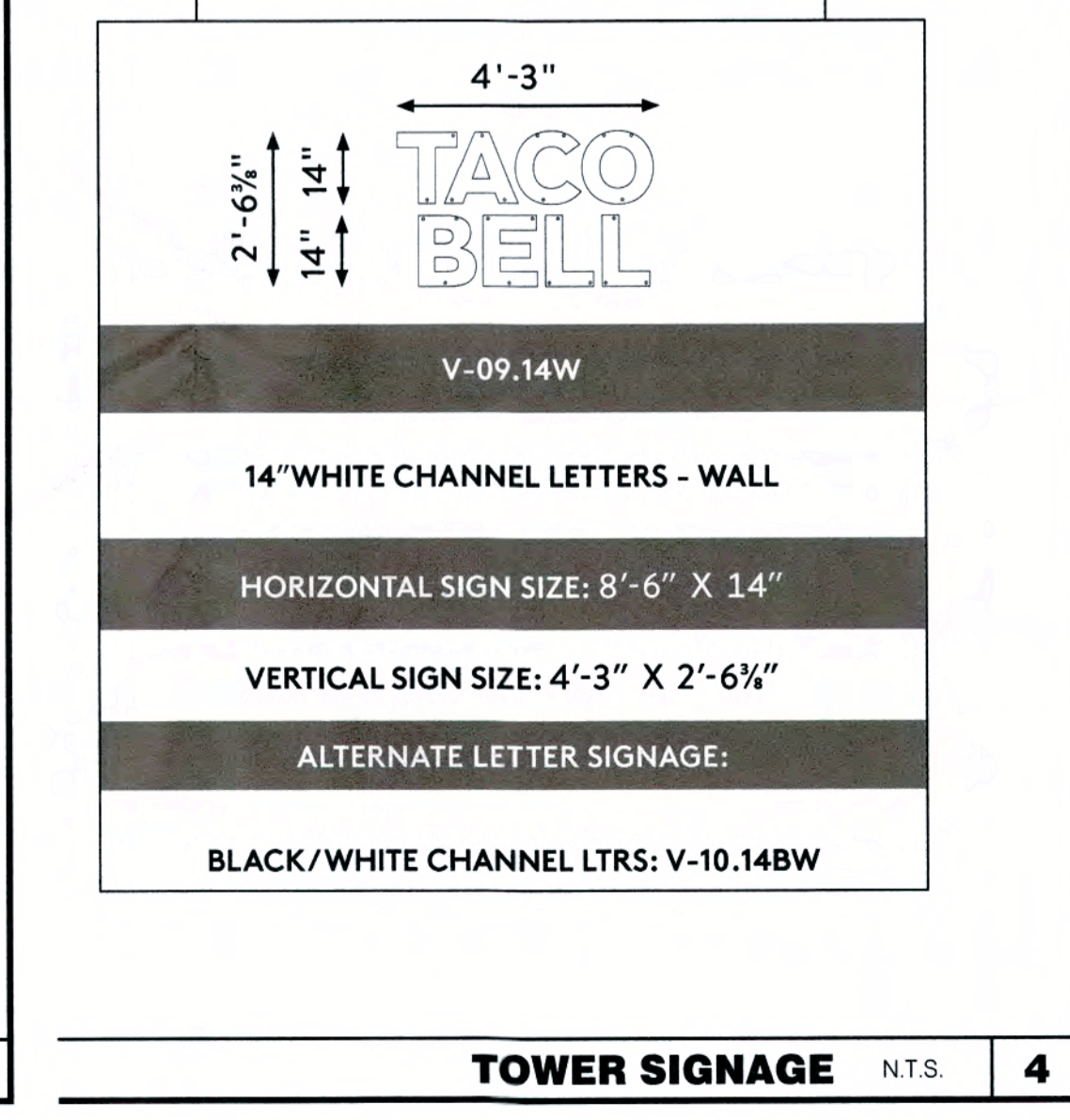
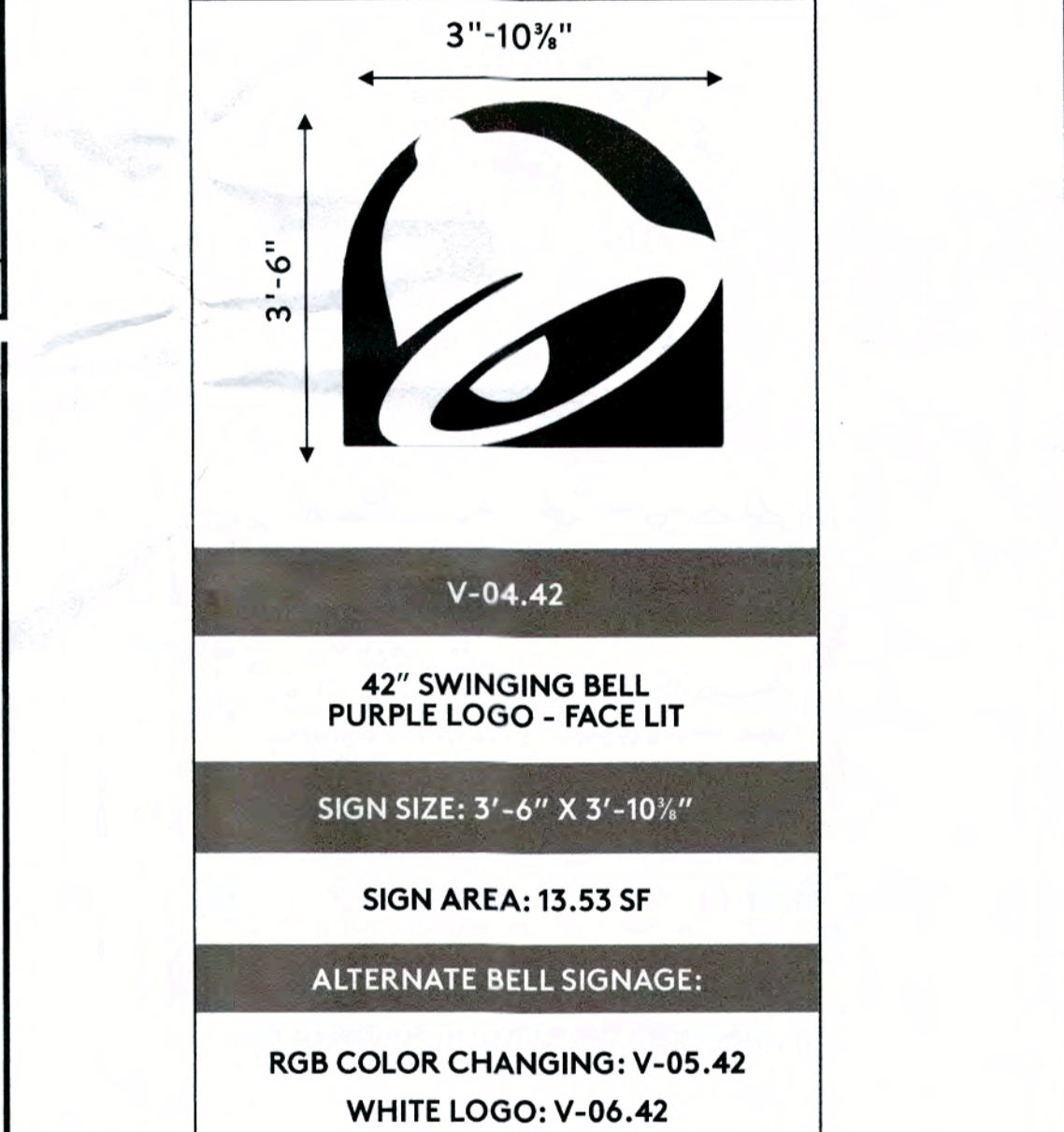


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MAIN ENTRY TOWER 1/2" = 1'-0" 8



PYLON SIGN NTS 2



TOWER SIGNAGE NTS 4


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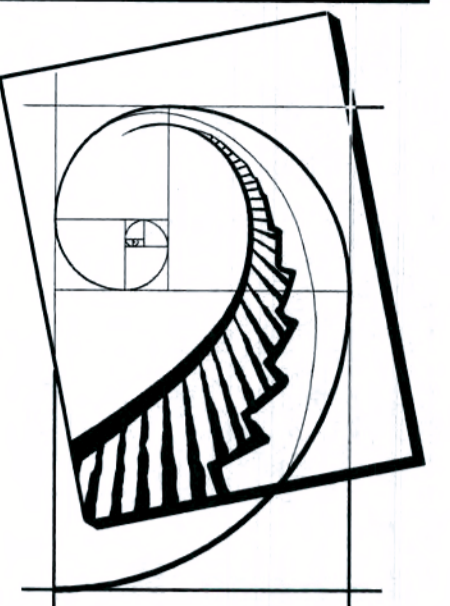
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ENDEAVOR 24

FINISH DETAILS
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skw & associates logo and contact information: architecture, engineering, surveying, 2327 Civic Ave, Modesto, CA 95828, P: 209-528-6835, F: 209-528-7624, JOB NO. 250400, DATE: 07/05/24

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PRELIMINARY DEMOLITION PLAN

C1.0

TOPO KEY NOTES:

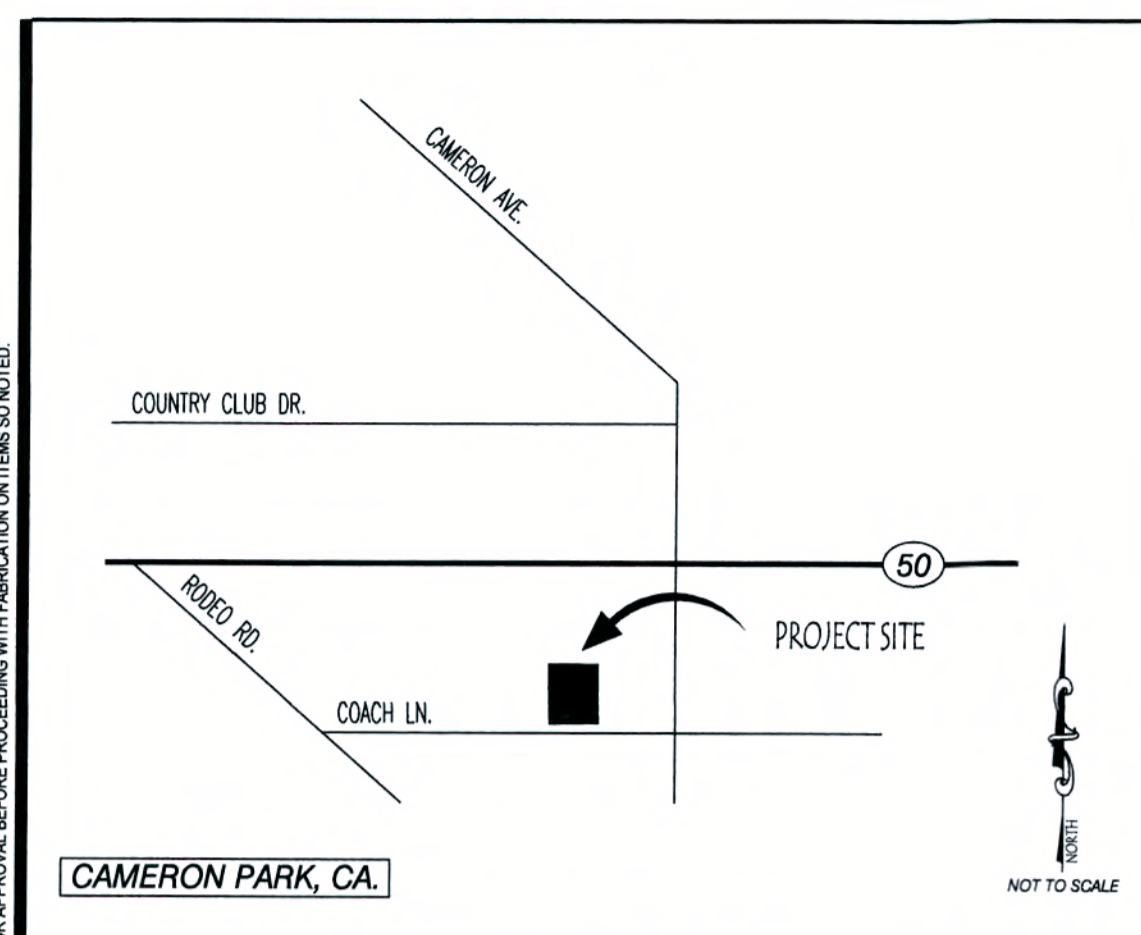
- 1 EX. SIGN
2 EX. CL. FENCE
3 EX. WOOD FENCE
4 EX. BUILDING
5 EX. CONC. CURB
6 EX. CURB & GUTTER
7 EX. LOW WALL
8 EX. TEL. BOX
9 EX. WATER METER & BACKFLOW
10 EX. UTILITY BOX
11 EX. SO INLET

DEMOLITION KEY NOTES:

- 1 DEMO/REMOVE EX. BUILDING
2 DEMO/REMOVE EX. CONC. FLATWORK
3 DEMO/REMOVE EX. AC. PAVEMENT
4 DEMO/REMOVE EX. CONC. CURB
5 DEMO/REMOVE EX. BOLLARD
6 DEMO/REMOVE EX. GAS TANK & LINE
7 DEMO/REMOVE EX. SS LINE & CLEAN-OUT
8 DEMO/REMOVE EX. TEL. LINE
9 DEMO/REMOVE EX. CURB & CUTTER -VERIFY LENGTH
10 DEMO/REMOVE EX. SIDEWALK -VERIFY LENGTH
11 DEMO/REMOVE DRAIN
12 DEMO/REMOVE MAIL BOX -TO BE VERIFIED
13 DEMO/REMOVE ELEC. BOX -TO BE VERIFIED

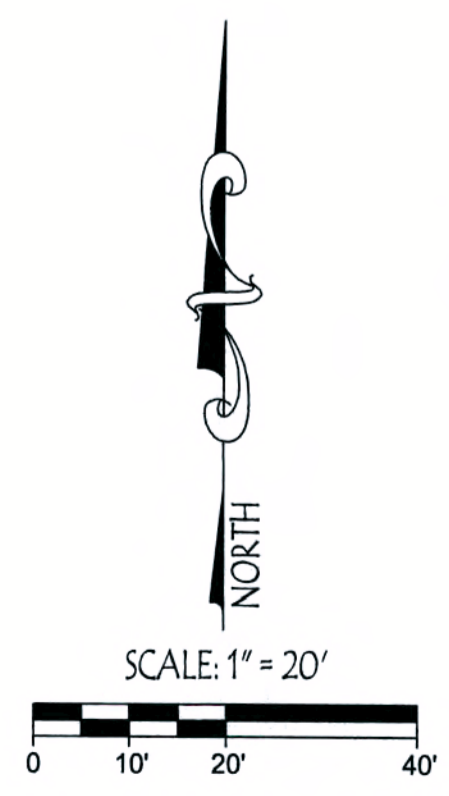
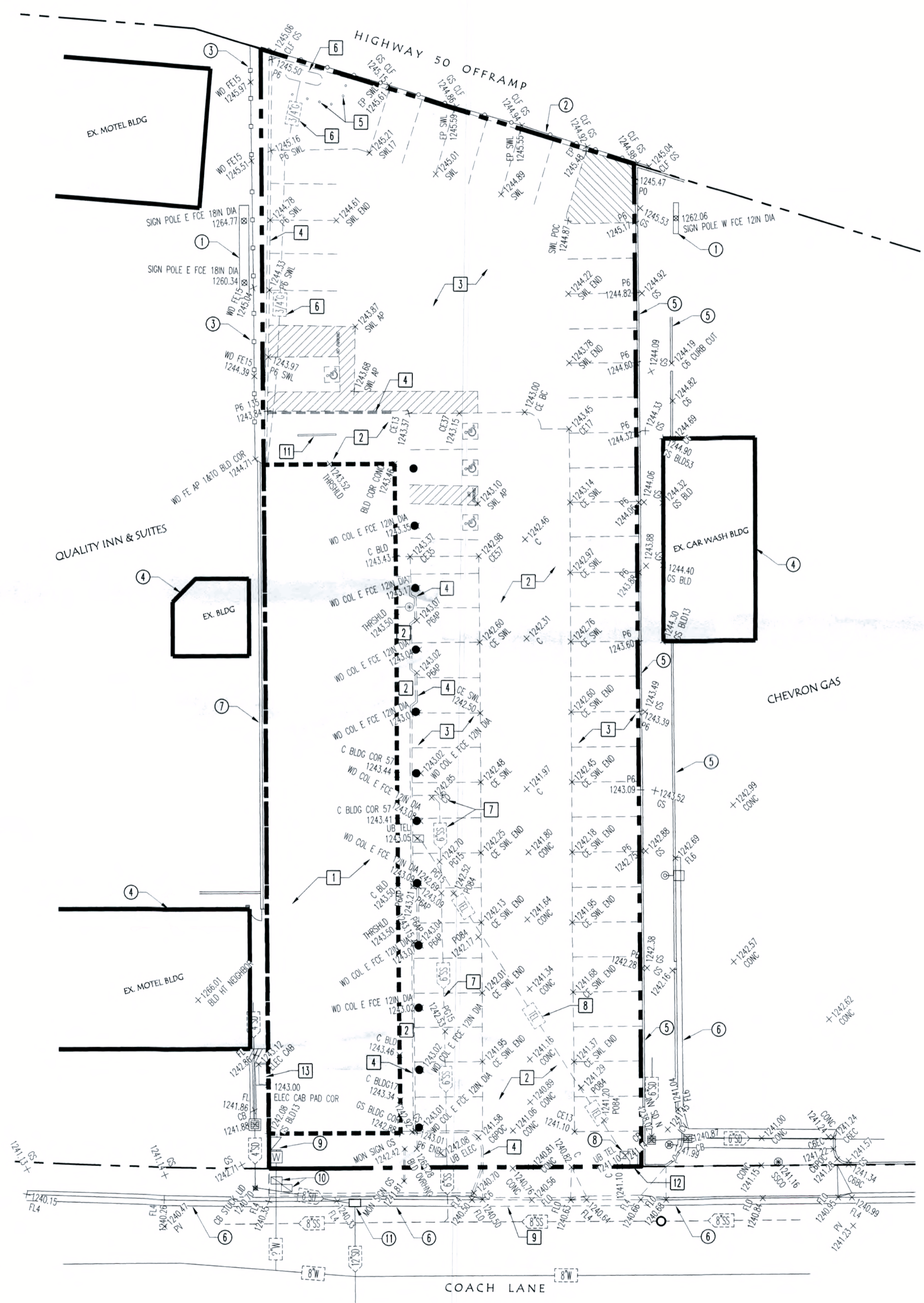
PROJECT BENCHMARK:

NATIONAL GEODETIC SURVEY, D16480; METAL ROD DRIVEN INTO GROUND WITH AN ALUMINUM SURVEY DISK AFFIXED, SET IN A 6" DIAMETER PVC WELL CASING WITH AN ALUMINUM ACCESS COVER, 98.0 METERS WEST OF A TWO POST SIGN READING CAMERON PARK, 34.4 METERS WEST OF A NORTH-SOUTH CHANK LINK FENCE, 8.0 METERS SOUTH OF THE ASPHALT CURB ON THE SOUTH SIDE OF EASTBOUND HIGHWAY 50, 4.5 METERS NORTH OF A WIRE R/W FENCE, 1.0 METER NORTH OF A METAL GUARD POST, AND 3.0 METERS HIGHER THAN THE HIGHWAY, HAVING AN ELEVATION OF 1109.40 FEET, NAVD88 DATUM.



SYMBOLS LEGEND table with columns for DESCRIPTION, PROPOSED, and EXISTING, listing various utility and structural symbols.

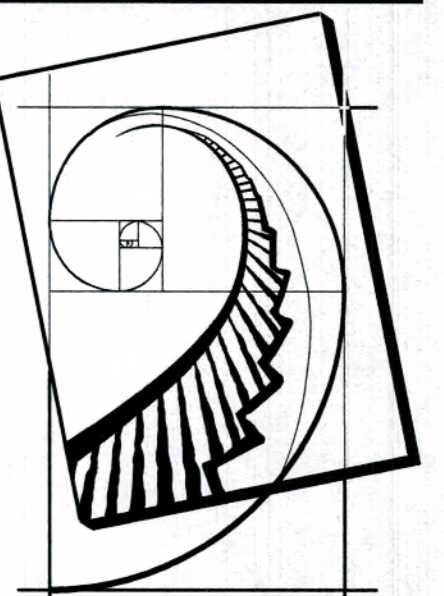
LIST OF ABBREVIATIONS table with columns for ABBREV., DESCRIPTION, ABBREV., and DESCRIPTION, listing various engineering and construction abbreviations.



T:\2023_JOBS\230400 - TB - 3371 Coach Lane, Cameron Park, CA\Civil\preliminary\230400_C1_DEMO.dwg By: RICHARD Saved on: 1/3/2024 2:29:16 PM



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KEY NOTES:

- ① EX. CURB, GUTTER & SIDEWALK
- ② EX. LANDSCAPING
- ③ EX. CURB & GUTTER
- ④ EX. POLE SIGN
- ⑤ EX. WOOD FENCE
- ⑥ EX. CALTRANS FENCE
- ⑦ NEW DRIVEWAY PER COUNTY STANDARDS
- ⑧ NEW SIDEWALK PER COUNTY STANDARDS
- ⑨ CORE DRILL INTO BACK OF CATCH BASIN
- ⑩ EX. CONCRETE CURB
- ⑪ EX. CONCRETE MASONRY SEATING WALL

RETAINING WALL KEY NOTES:

- ① 18 LF, 24" HIGH RETAINING WALL
- ② 38 LF, 32" HIGH RETAINING WALL
- ③ 10 LF, 40" HIGH RETAINING WALL
- ④ 18 LF, 32" HIGH RETAINING WALL
- ⑤ 92 LF, 40" HIGH RETAINING WALL
- ⑥ 12 LF, 24" HIGH RETAINING WALL
- ⑦ 14 LF, 32" HIGH RETAINING WALL
- ⑧ 14 LF, 40" HIGH RETAINING WALL
- ⑨ 4 LF, 32" HIGH RETAINING WALL
- ⑩ 22 LF, 40" HIGH RETAINING WALL
- ⑪ 22 LF, 48" HIGH RETAINING WALL
- ⑫ 12 LF, 56" HIGH RETAINING WALL
- ⑬ 42 LF, 48" HIGH RETAINING WALL
- ⑭ 38 LF, 40" HIGH RETAINING WALL
- ⑮ 26 LF, 32" HIGH RETAINING WALL
- ⑯ 6 LF, 24" HIGH RETAINING WALL

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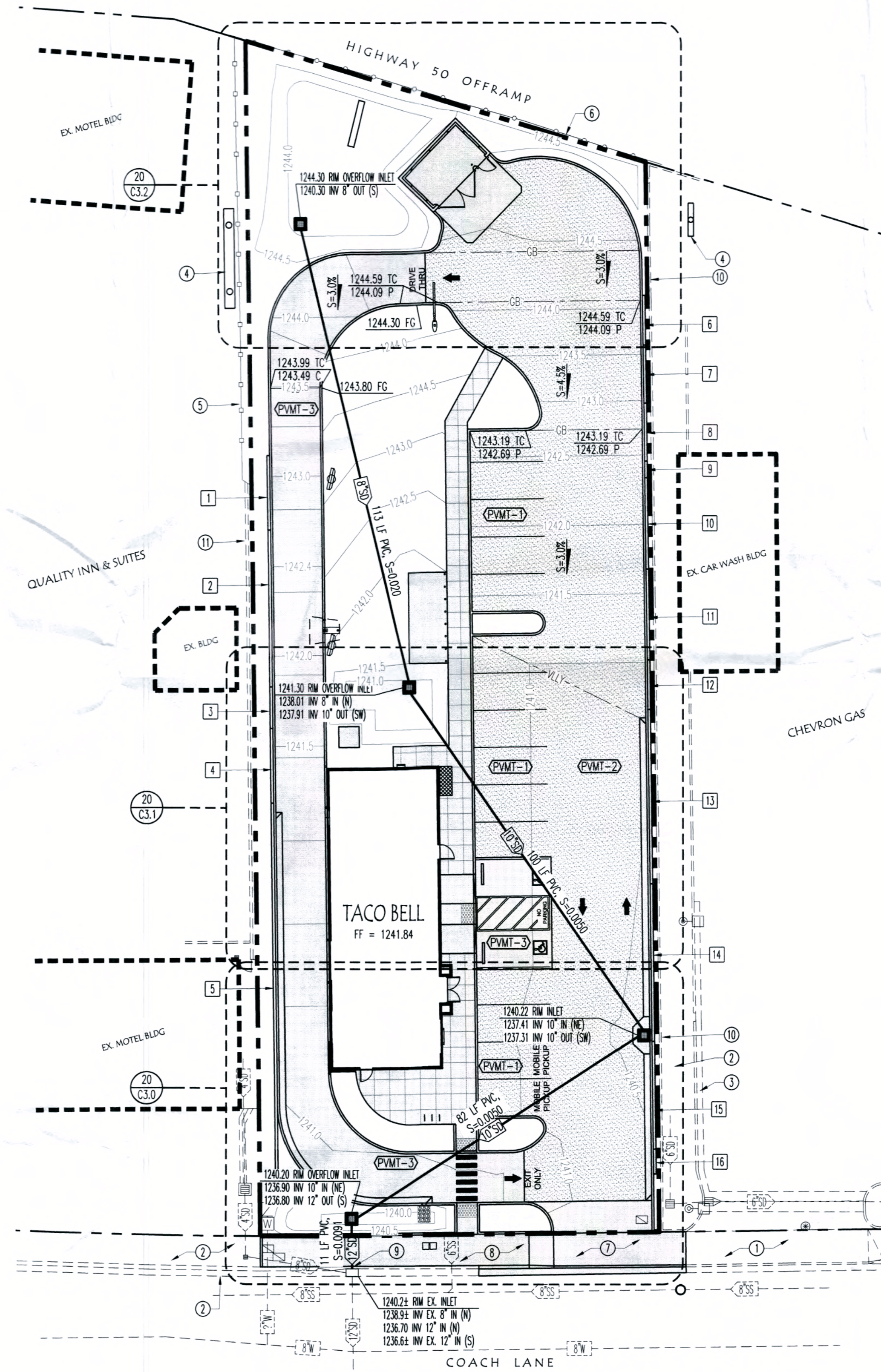
PROJECT
NEW TACO BELL
3371 COACH LANE
CAMERON PARK, CA 95682
APN#: 109-201-006

TACO BELL
ENDEAVOR 24

PRELIMINARY
GRADING PLAN

C2.0

SCALE: 1" = 20'
0 10' 20' 40'



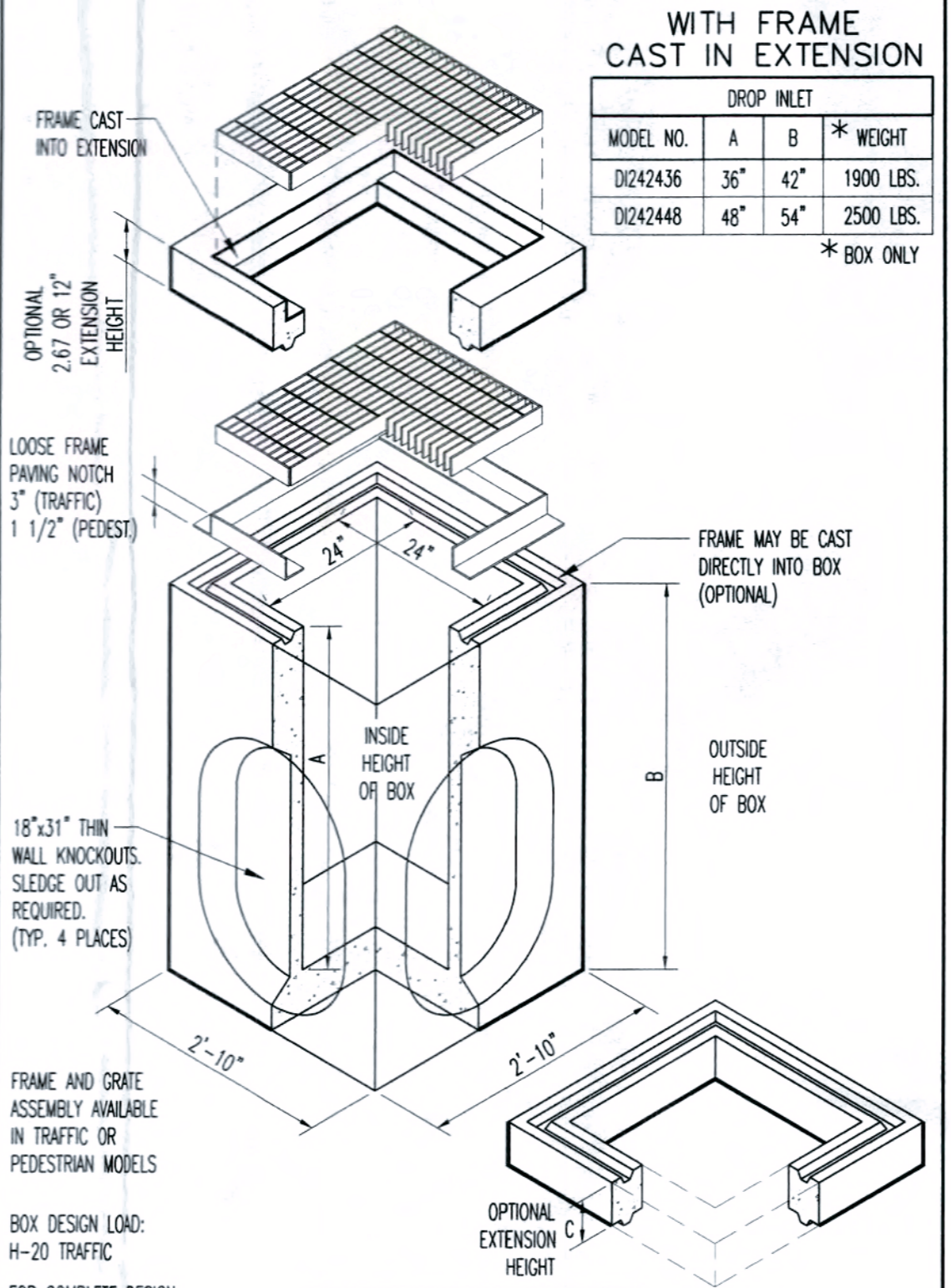
ON-SITE FLEXIBLE PAVEMENT SECTION TABLE				
PAVEMENT AREA	TRAFFIC INDEX	TRAFFIC	ASPHALT CONCRETE	AGGREGATE BASE
(PWI-1)	3.0	AUTO PARK	-	-
(PWI-2)	3.5	AUTO PARK	-	-

ON-SITE RIGID PAVEMENT SECTION TABLE				
PAVEMENT AREA	TRAFFIC INDEX	TRAFFIC	P.C. CONCRETE	AGGREGATE BASE
(PWI-3)	-	4.5 TRUCKS/DAY	-	-

PAVEMENT NOTES:

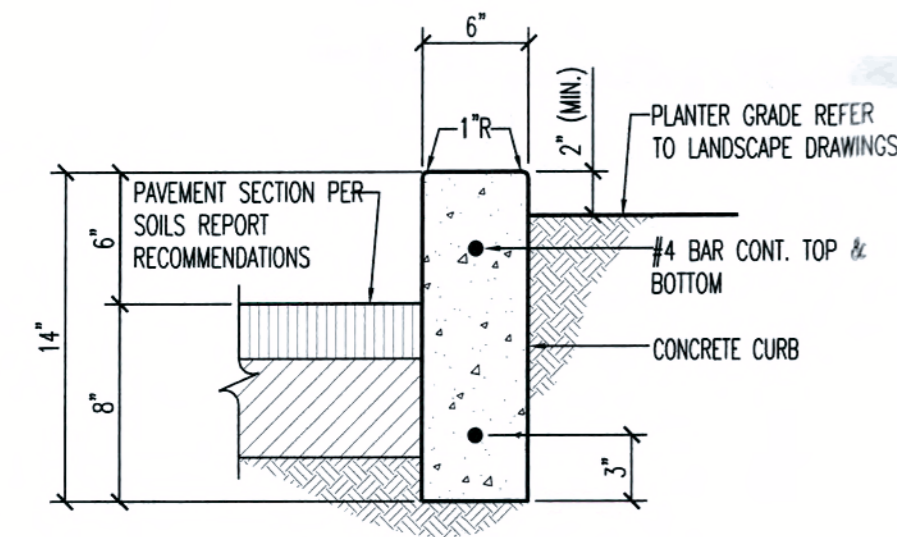
1. ALL VALUES ARE MINIMUMS.
2. SOILS REPORT BY _____ PROJECT NO. _____ DATED: _____
3. CONCRETE COMPRESSIVE STRENGTH SHALL BE 4,500 PSI MINIMUM
4. RIGID PAVEMENT SHALL BE REINFORCED WITH #4 BARS AT 18", BOTH WAYS, CENTERED IN THE SLAB.
5. CONCRETE FLATWORK SHALL BE 4" CONCRETE, OVER COMPACTED NATIVE, WITH #3 BARS AT 18", BOTH WAYS, CENTERED IN THE SLAB.
6. EXISTING A.C. PAVEMENT MAY BE GROUND AND USED FOR SUB-BASE MATERIAL (ON-SITE ONLY)
7. SUB-GRADE SHALL BE COMPACTED TO 90% RELATIVE DENSITY. (ON-SITE ONLY)
8. SUB-BASE MATERIAL WITHIN CITY R.O.W. SHALL COMPLY WITH CALTRANS STANDARDS.
9. INSTALL CONTINUOUS 1/2" FELT EXPANSION JOINT WHERE NEW FLATWORK ABUTS EXISTING FLATWORK.
10. CRACK CONTROL JOINTS:
FLATWORK: EVERY 6'-FT. WITH A MAXIMUM CONTROLLED AREA OR 30 SQ.-FT.
CONCRETE PAVEMENT: EVERY 14'-FT. WITH A MAXIMUM CONTROLLED AREA OR 200 SQ.-FT.

24"x24" DROP INLET WITH FRAME CAST IN EXTENSION

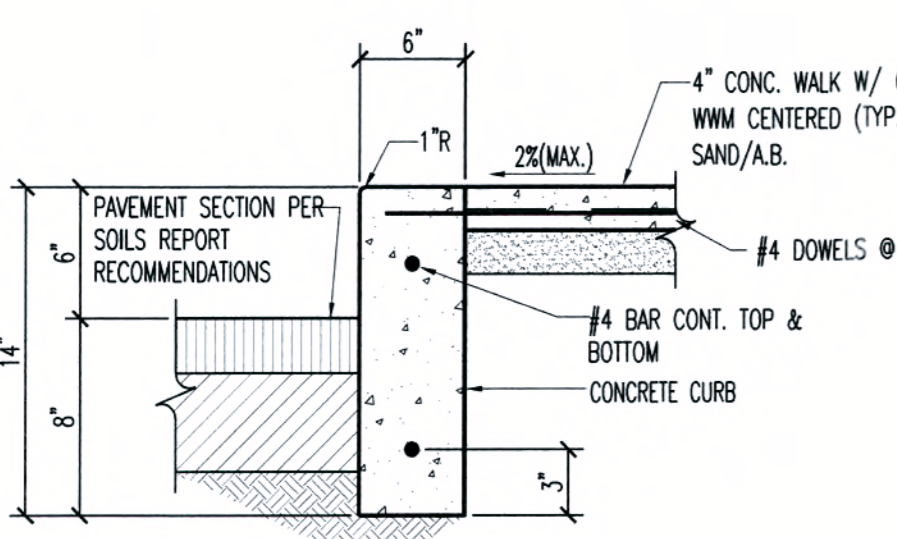


EXTENSION		
MODEL NO.	C	WEIGHT
RS242406	6"	300 LBS.
RS242412	12"	600 LBS.

18 PAVEMENT SECTIONS

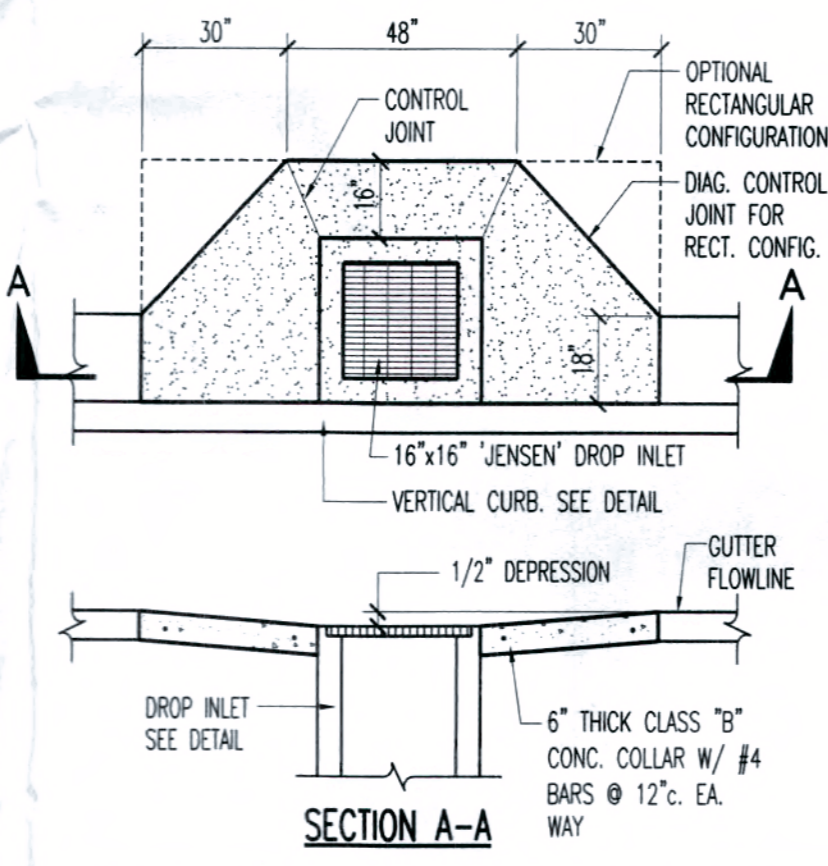


19 CURB @ PLANTER

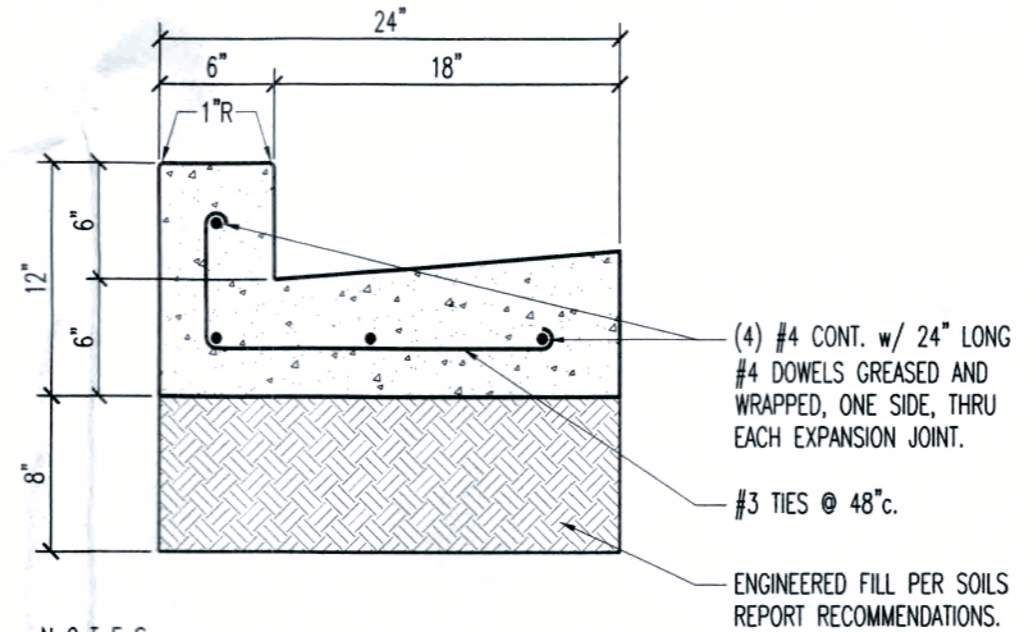


20 CURB @ SIDEWALK

14 DROP INLET



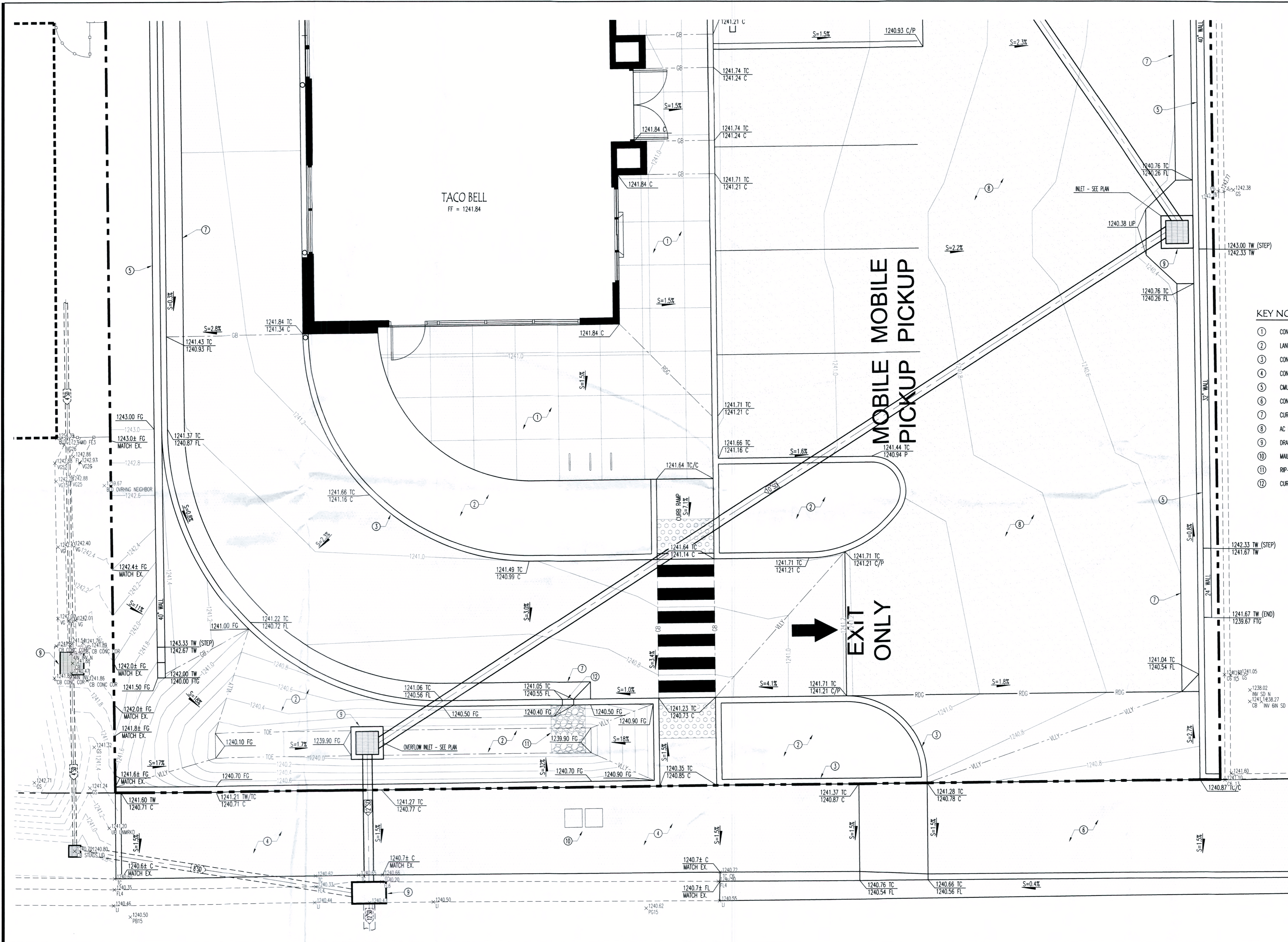
15 GUTTER DEPRESSION



- NOTES:
- 1) EXPANSION JOINTS SHALL BE CONSTRUCTED EVERY 200 FEET (MAXIMUM SPACING), AT CURB RETURNS, AT CATCH BASINS AND ON BOTH SIDES OF DRIVEWAYS.
 - 2) CURB & GUTTER SHALL HAVE A FINE HAIR BRUSH FINISH.

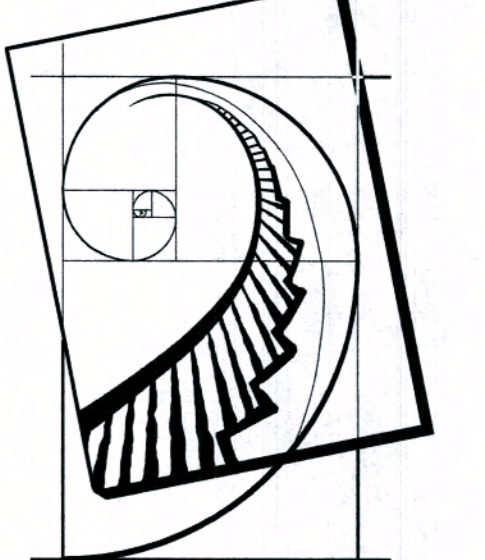
16 CURB & GUTTER

T:\2023_JOBS\23M040 - TB - 3371 Coach Lane, Cameron Park, CA\civil\preliminary\23M040_C2_GRADING.dwg By: RICHARD Saved on: 1/3/2024 9:22:21 AM
ALL LEGAL DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS OFFICE AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH LEGAL DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF PROJECT ARCHITECT.
ALL OTHER DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF AGGREGATE MATERIALS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.



KEY NOTES:

- ① CONC. FLATWORK
- ② LANDSCAPING AREA
- ③ CONC. CURB
- ④ CONC. SIDEWALK
- ⑤ CMU WALL
- ⑥ CONC. DRIVEWAY
- ⑦ CURB & CUTTER
- ⑧ AC PAVEMENT
- ⑨ DRAIN INLET
- ⑩ MAILBOX
- ⑪ RP-RAP
- ⑫ CURB OPENING



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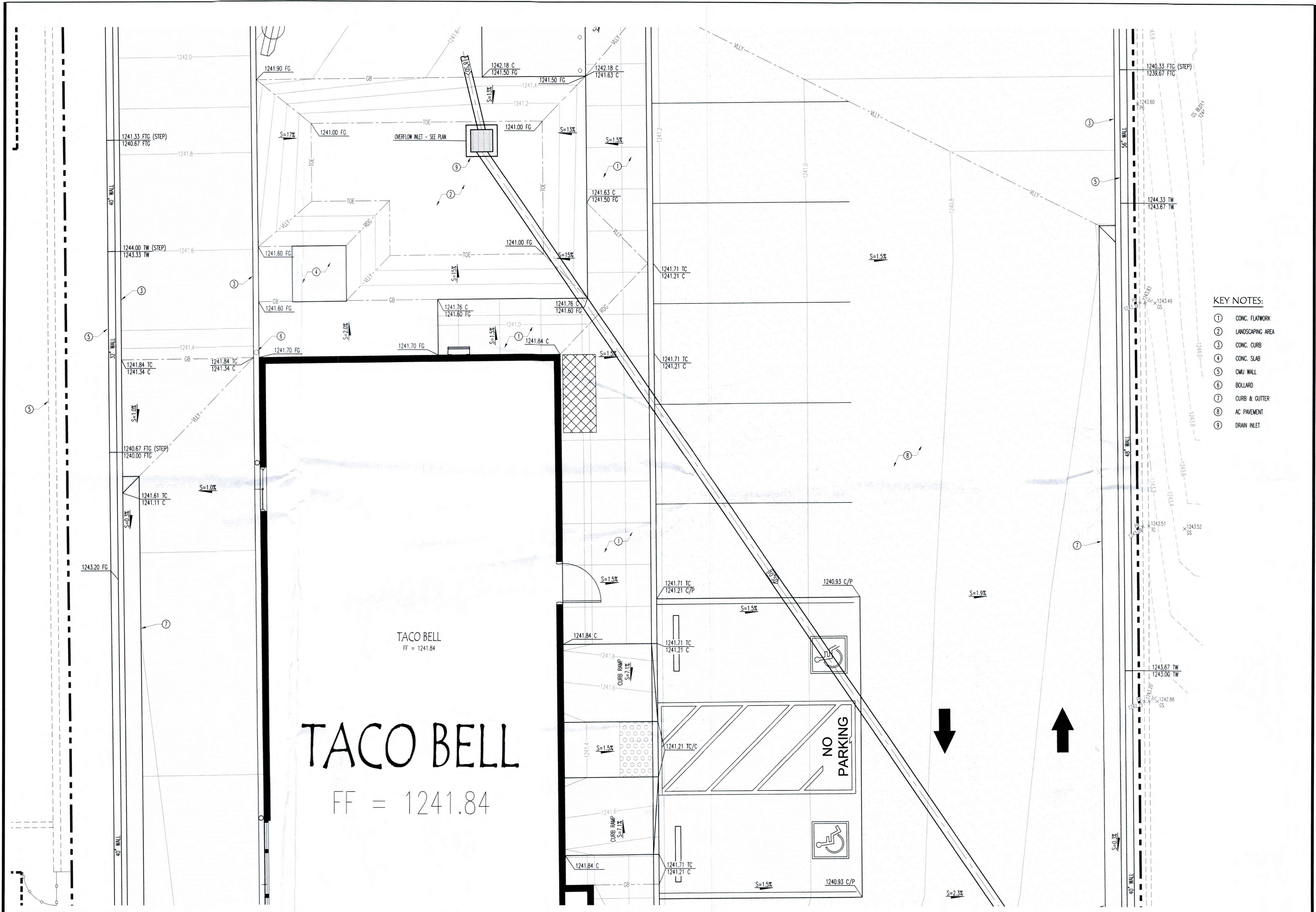
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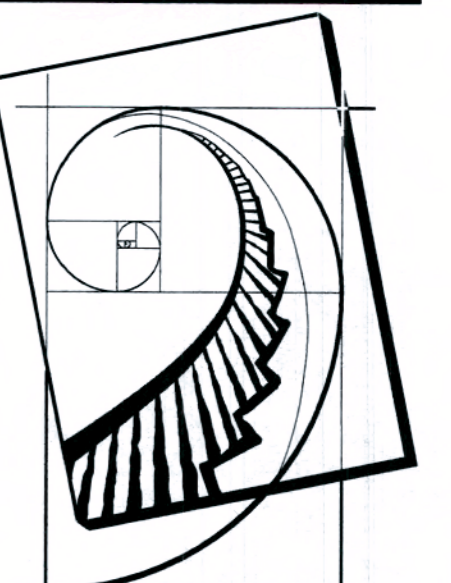


ENLARGED
 PRELIMINARY
 GRADING PLAN

C3.0



- KEY NOTES:**
- ① CONC. FLATWORK
 - ② LANDSCAPING AREA
 - ③ CONC. CURB
 - ④ CONC. SLAB
 - ⑤ CMU WALL
 - ⑥ BOLLARD
 - ⑦ CURB & GUTTER
 - ⑧ AC PAVEMENT
 - ⑨ DRAIN INLET



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ENLARGED
 PRELIMINARY
 GRADING PLAN

C3.1

Preliminary Plant Palette

Trees

- Street Trees - 15-gallon**
 - Pistachia chinensis 'Keith Davey'
 - Platanus acerifolia 'Bloodgood'
 - Quercus coccinea
 - Ulmus parvifolia
 - Zelkova serrata 'Village Green'

- Parking Lot Shade Trees - 15-gallon**
 - Acer rubrum 'October Glory'
 - Celtis sinensis
 - Pistachia chinensis 'Keith Davey'
 - Ulmus parvifolia

- Upright Trees along Main Drive Aisles - 15-gallon**
 - Acer rubrum 'Armstrong'
 - Brachychiton populneus
 - Ginkgo biloba 'August Beauty'
 - Magnolia grandiflora 'Sam Somers'

- Small Flowering Trees - 15-gallon**
 - Cercis canadensis
 - Cercis occidentalis
 - Lagerstroemia indica
 - Malus species

- Focal Point Tree - 15-gallon**
 - Schinus molle
 - Quercus wislizeni
 - Platanus x acerifolia 'Bloodgood'
 - Liquidambar styraciflua 'Rotundiloba'

- Shrub and Groundcover Zoning**
- Tall Evergreen Hedge - Irrigated 5-gallon shrubs of moderate growth rate, size in the 6'-12' spread and height range, minimal maintenance.**
 - Leucophyllum frutescens 'Texas Ranger'
 - Nerium oleander
 - Rhamnus alternata 'John Edwards'
 - Xylosma congestum 'Compacta'

- Evergreen Hedge - Irrigated 5-gallon shrubs of moderate growth rate, size in the 4'-6' spread and height range, minimal maintenance.**
 - Ligustrum japonicum 'Texanum'
 - Pittosporum tobira 'Variegata'
 - Olea europaea 'Little Ollie'
 - Rhaphiolepis indica 'White Enchantress'

- Narrow Upright Shrubs - Irrigated 5-gallon shrubs of average growth rate, size in the 36"-5' spread and 8'-15' height range, minimal maintenance.**
 - Cupressus sempervirens 'Tiny Towers'
 - Juniperus chinensis 'Spartan'
 - Juniperus scopulorum 'Skyrocket'
 - Thuja occidentalis 'Emerald'

- Large Accent Shrubs - Irrigated 5-gallon shrubs of small to medium size and moderate growth rate, size in the 36"-48" spread and height range, minimal maintenance.**
 - Callistemon viminalis 'Little John'
 - Hesperaloe parvifolia
 - Lantana hybridus 'Gold Rush'
 - Rosa 'Pink Flower Carpet'
 - Salvia greggi

- Grasses / Grass-like Plants - Irrigated 1-gallon and 5-gallon perennial and evergreen grasses and strip leaf plants planted in masses, size in the 24"-42" spread and height range.**
 - Calamagrostis acutiflora 'Karl Foerster'
 - Dianella tasmanica 'Variegata'
 - Dietes bicolor
 - Lomandra longifolia 'Breeze'
 - Muhlenbergia dubia

- Small Flowering Accent Shrubs - Irrigated 1-gallon plants of moderate growth rate, size in the 18"-48" spread and height range.**
 - Agapanthus africanus
 - Hemerocallis hybridus
 - Salvia nemerosa
 - Zauschneria californica

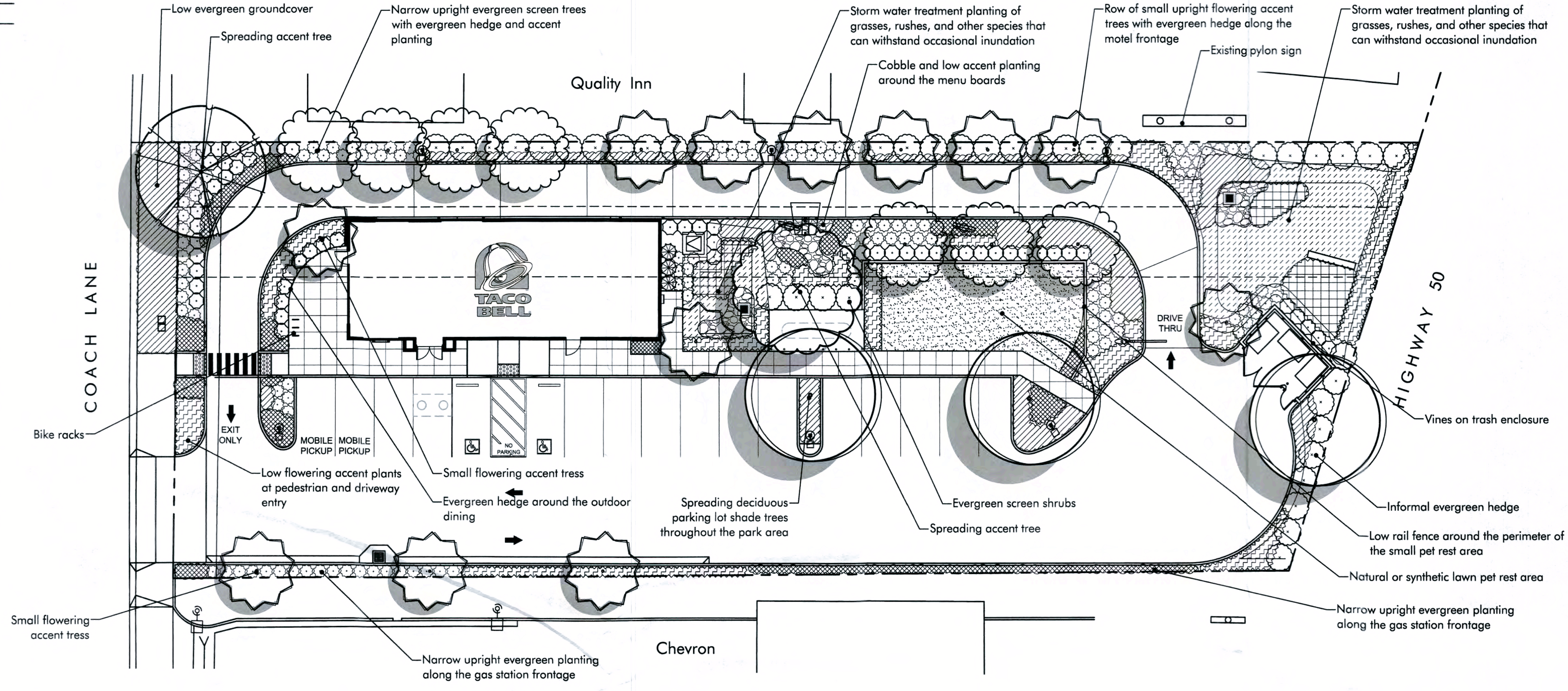
- Low Groundcover - Irrigated 1-gallon evergreen low spreading groundcover at 48"-6" o.c.**
 - Baccharis pilularis 'Twin Peaks II'
 - Cotoneaster dammeri 'Lowfast'
 - Juniperus species (Groundcover)
 - Trachelospermum asiaticum

- Storm Water Treatment Grasses - 5-gallon Rushes**
 - Chondropetalum tectorum
 - Cape Rush

- Storm Water Treatment Grasses - 1-gallon sedge**
 - Carex tumulicola
 - Lomandra confertifolius 'Olive Green'
 - Sedge
 - Dwarf Mat Rush

- Vines**
 - Ficus pumila
 - Parthenocissus tricuspidata
 - Trachelospermum jasminoides
 - Creeping Fig
 - Boston Ivy
 - Star Jasmine

- Cobble - 6" deep layer of 3"-4" river cobble with edging**



WELO Water Use Calculations

The following calculations represent the intended hydrozones and water usage as designed with this Preliminary Landscape Plan. As we move through the design process we anticipate minor adjustments/revisions of these calculations. However, compliance with WELO code requirements will always remain.

Hydrozone	Type of Plants	Water Use	Plant Factor	Irrigation Efficiency	ETAP	Hydrozone Area	%	Type of Irrigation	ETWU
1	Medium water using shrubs	Medium	.4	.81	0.49	1,467 sf	20.2%	Drip/Bubblers	21245.06
2	Low water using shrubs	Low	.3	.81	0.37	5,518 sf	76.0%	Drip/Bubblers	59933.65
3	Non-irrigated cobble	None	0	1.0	0.0	278 sf	3.8%	No Irrigation	0 gal
TOTAL						7,263 sf			81,178.71 gallons

Total Landscape Area (SLA + Landscape)	7,263 sf
Maximum Applied Water Allowance (MAWA)	95,847.63 gallon/year
Estimated Total Water Usage (ETWU)	81,178.71 gallon/year
Average Irrigation Efficiency	0.81

ETWU is less than MAWA, therefore water usage as designed exceeds code requirements

Irrigation

The entire site will be irrigated using a fully automatic system and designed to meet the County's Water Efficient Landscape Ordinance (WELO). The irrigation system will largely be low-volume design with limited use of pop-up sprays or rotators at fescue areas. The system will include in-line valves, quick couplers, and gate valves. New irrigation controller will be Hunter, Rainbird, Irritrol, or equal and will meet the WELO requirements of a 'Smart' controller. A complete irrigation design with these parameters will be provided with the building permit plans.

Landscape Area Calculations

Lawn Area	0 sf	0%
Synthetic Turf	945 sf	11.5%
Shrub Areas	6,985 sf	85.1%
Cobble Areas	278 sf	3.4%
Total On-Site Landscape	8,208 sf	100%
Size of Developed Parcel	26,825 sf	(0.62 acres)
Percentage of Site in Landscape	30.6%	

Landscape Concept

The landscape design concept for the Taco Bell is to provide an enjoyable and aesthetic space for customers as well as those living by. Plant material has been selected that performs well in the special conditions of the Cameron Park area (Sunset Zone #7). The plant material has also been selected to be cohesive with the design relative to the surrounding conditions.

Landscape includes no turf. Drought tolerant hardy shrubs and groundcover are proposed for the landscape area, and low to medium shrubs around buildings and at high profile areas.

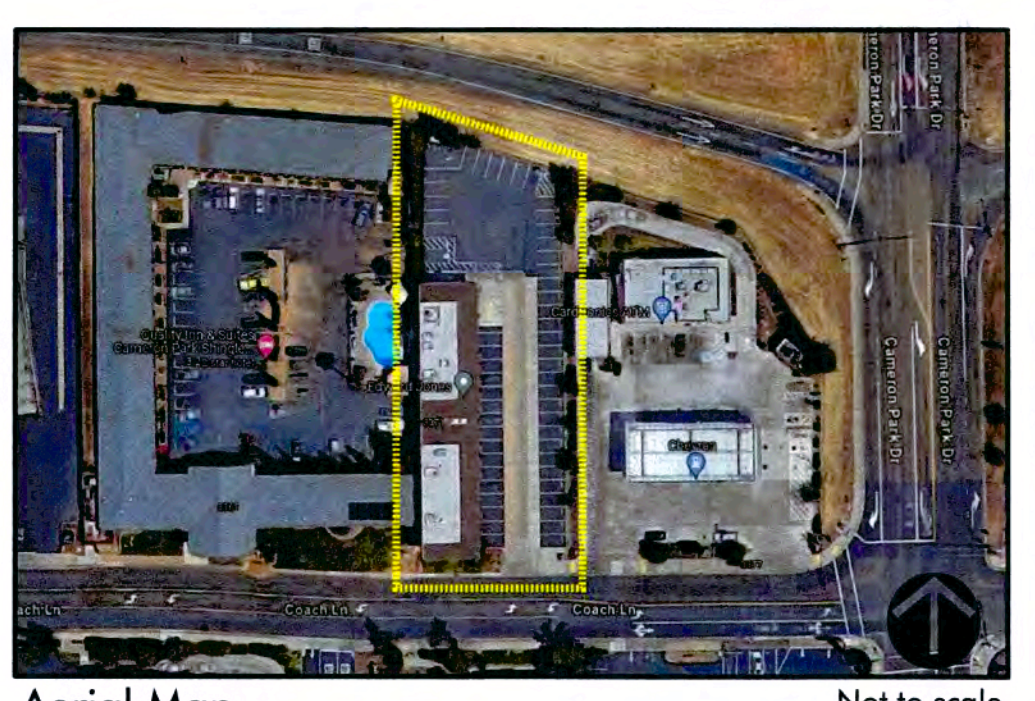
Special considerations have been provided in selecting plant material that respects the needs of the customers. Clear and secure view corridors have been provided to ensure the safety. Shade trees are provided along the perimeter of the project and parking lots with smaller trees around buildings.

Tree Root Barriers

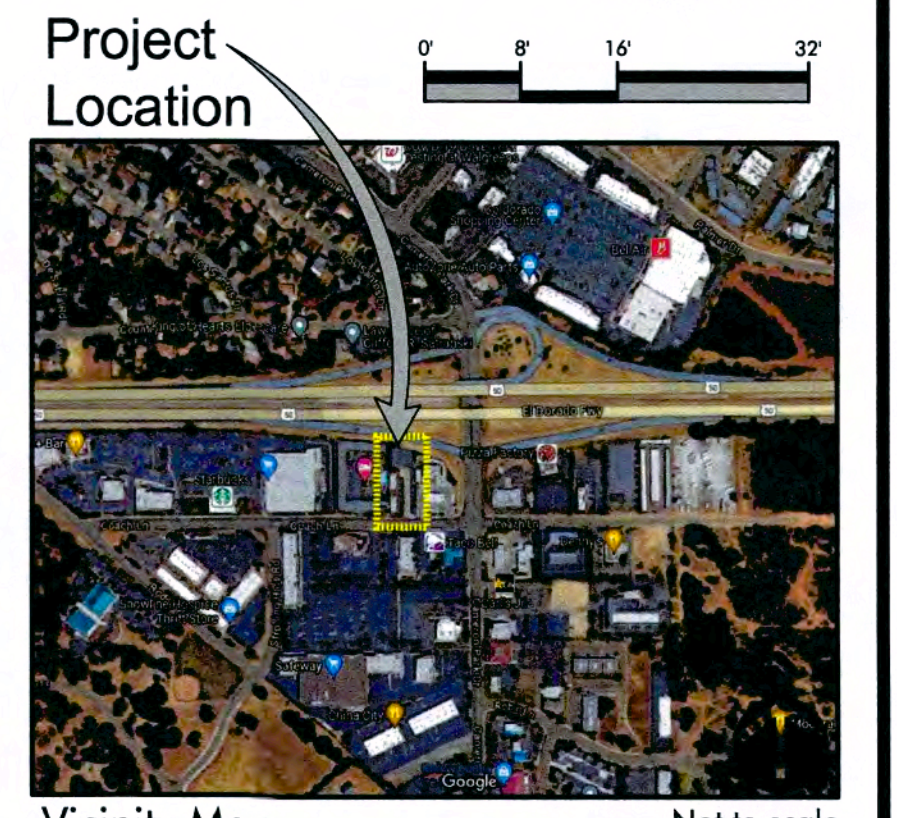
All trees denoted with the root barrier symbol are to have a linear DeepRoot Model #UB 18-2 root barriers installed during tree installation along the inside edge of the adjacent curb or sidewalk. The following minimum number of panels are to be installed with each tree on each side of the tree that has sidewalk or curb as denoted on the plans:

- 15 gallon trees: 5 panels
- 24" box trees: 6 panels

Tree sizes not listed above are to be installed with the quantity of panels as specified by the manufacturer.



Aerial Map Not to scale

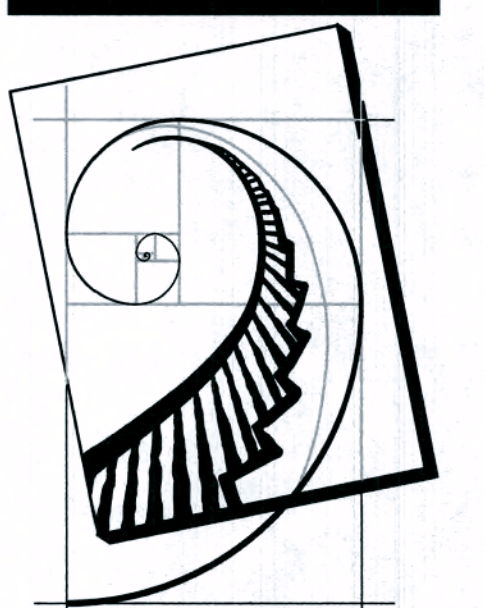


Vicinity Map Not to scale

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This plan represents the design style and theme of the landscape design and planting. These plans are preliminary and may change through the design process. The final planting plan may not contain all of the above plants in the sizes as shown. Additionally some new plant species may be used in the final design. This plan does however indicate the quantity of trees and the overall level of landscape development that will be carried through with the final design.

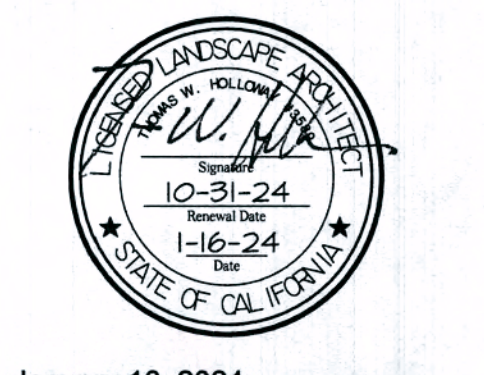
Final landscape design shall meet El Dorado County codes and requirements as well as Project Specific Conditions of Approval. Final design is subject to approval through the building permit review process.



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APNH# 109-201-006



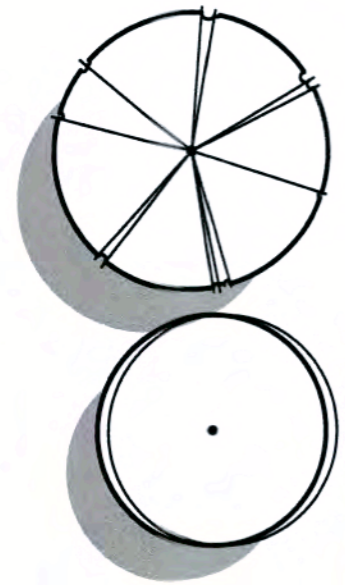
ENDEAVOR 24
Preliminary
Landscape
Plan

L0.1

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Plant Photos

Street Trees and Parking Lot Shade Trees



Pistachia chinensis 'Keith Davey' *Platanus acerifolia* 'Bloodgood' *Quercus coccinea* *Ulmus parvifolia*

Small Upright Trees



Acer rubrum 'Armstrong' *Arbutus* 'Marina' *Geijera parviflora* *Ginkgo biloba* 'Princeton Sentry'

Small Flowering Trees



Cercis canadensis *Cercis occidentalis* *Lagerstroemia indica* *Malus* spp.

Focal Point Trees



Schinus molle *Quercus wislizeni* *Platanus x acerifolia* 'Bloodgood' *Liquidambar styraciflua* 'Rotundiloba'

Vines



Ficus pumila *Parthenocissus tricuspidata*

Synthetic Lawn



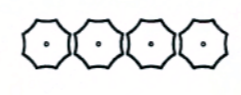
Synthetic Lawn

Loose Cobble



Loose Cobble

Tall Evergreen Hedge



Leucophyllum frutescens 'Texas Ranger' *Ligustrum japonicum* 'Texanum' *Pittosporum tobira* 'Variegata' *Raphiolepis indica*

Narrow Upright Shrubs



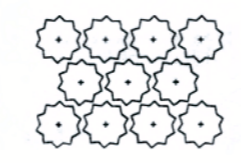
Cupressus sempervirens 'Tiny Towers' *Juniperus chinensis* 'Spartan' *Juniperus scopulorum* 'Skyrocket' *Thuja occidentalis* 'Emerald'

Hedges



Ligustrum japonicum 'Texanum' *Myrtus communis* 'Compacta' *Raphiolepis umbellata* *Rosmarinus officinalis* 'Miss Jessop's Upright'

Large Accent Shrubs



Callistemon viminalis 'Little John' *Hesperaloe parviflora* *Rosa* 'Pink Flower Carpet' *Salvia leucantha*

Grasses / Grass-like Plants



Calamagrostis acutiflora 'Karl Foerster' *Dianella tasmanica* 'Variegata' *Diets bicolor* *Muhlenbergia dubia*

Small Flowering Accent Shrubs

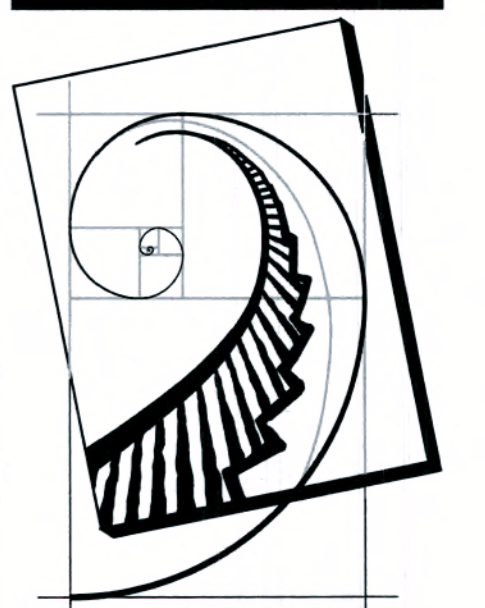


Agapanthus africanus *Hemerocallis hybridus* *Salvia nemerosa* *Zauschneria californica*

Low Groundcover



Baccharis pilularis 'Twin Peaks II' *Cotoneaster dammeri* 'Lowfast' *Juniperus* spp. *Myoporum parvifolia*



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 www.vmach.com

VMI JOB NUMBER
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January 16, 2024

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RECORD DATES

DD SUBMITTAL	-
BLDG. SUBMITTAL	-
BID SET	-
CONTRACT SET	-

REVISIONS

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