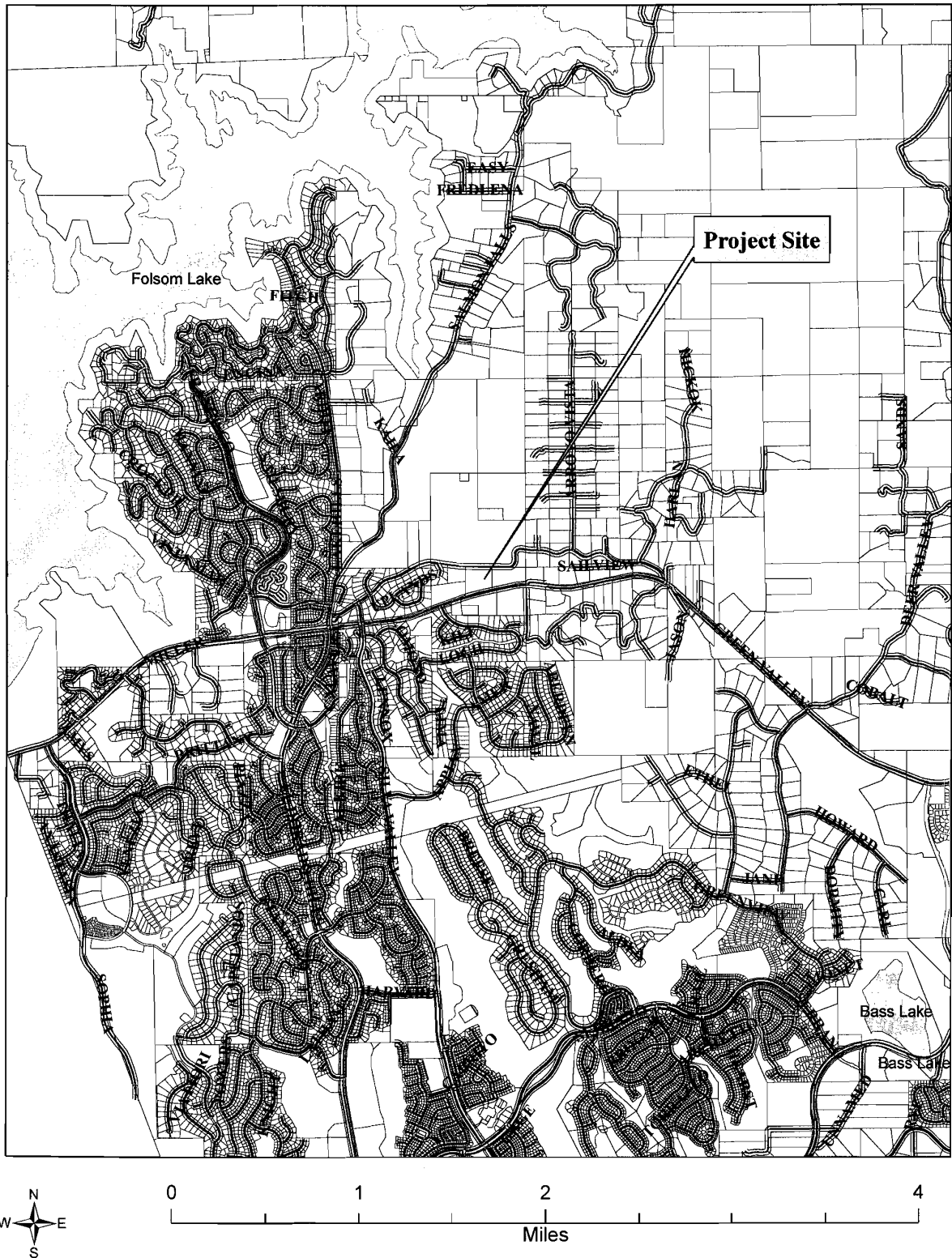


# Location Map



File Numbers Z14-0002/PD14-0001/TM14-1515

**Exhibit A**

POR. SECS. 13, 14 & 23, T.10N., R.8E., M.D.M.

126:07

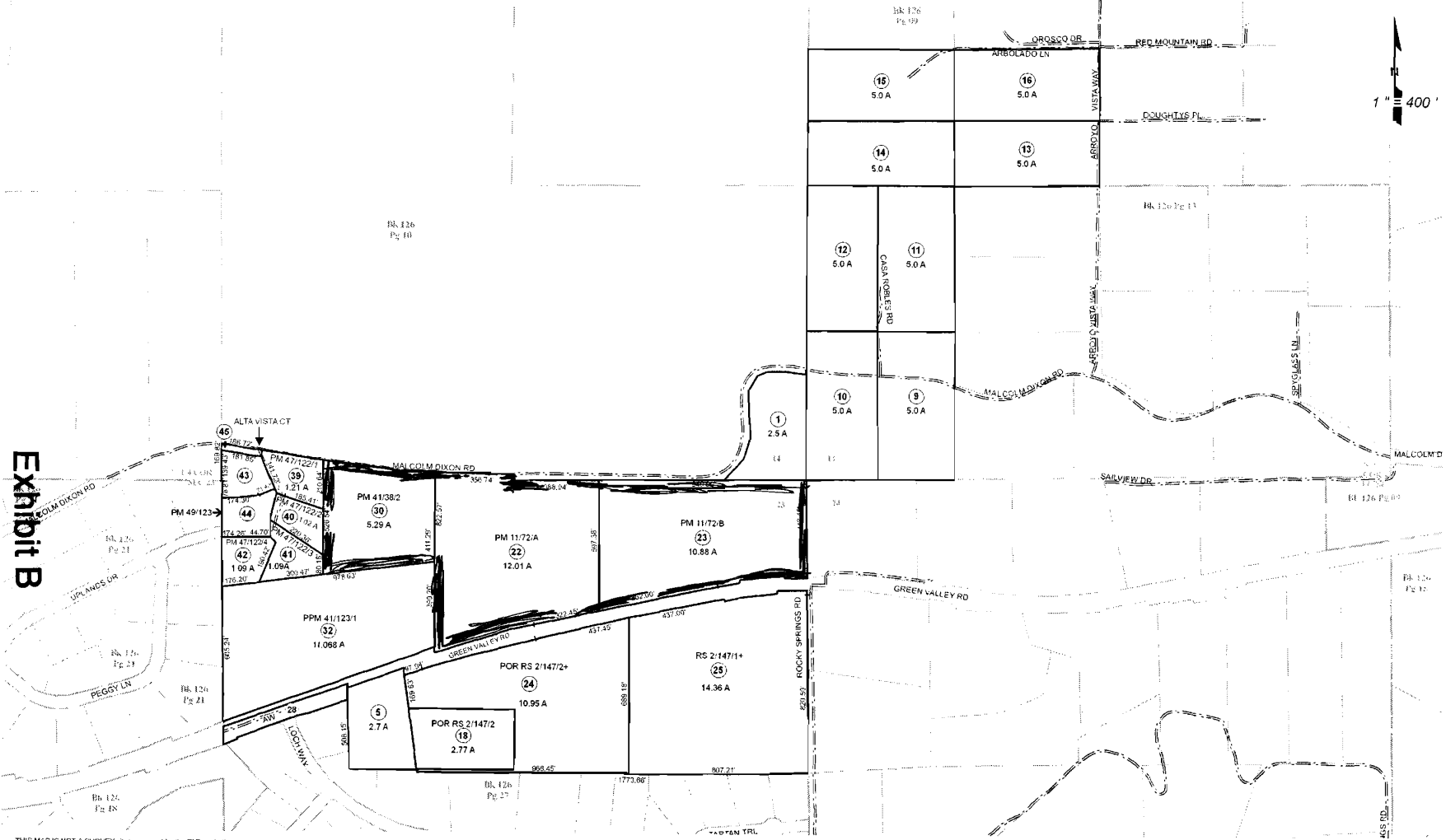


Exhibit B

THIS MAP IS NOT A SURVEY. It is prepared by the El Dorado Co. Assessor's Office for assessment purposes only. Area calculations and other statistics are not guaranteed. Users should verify items such as dimensions and acreage.

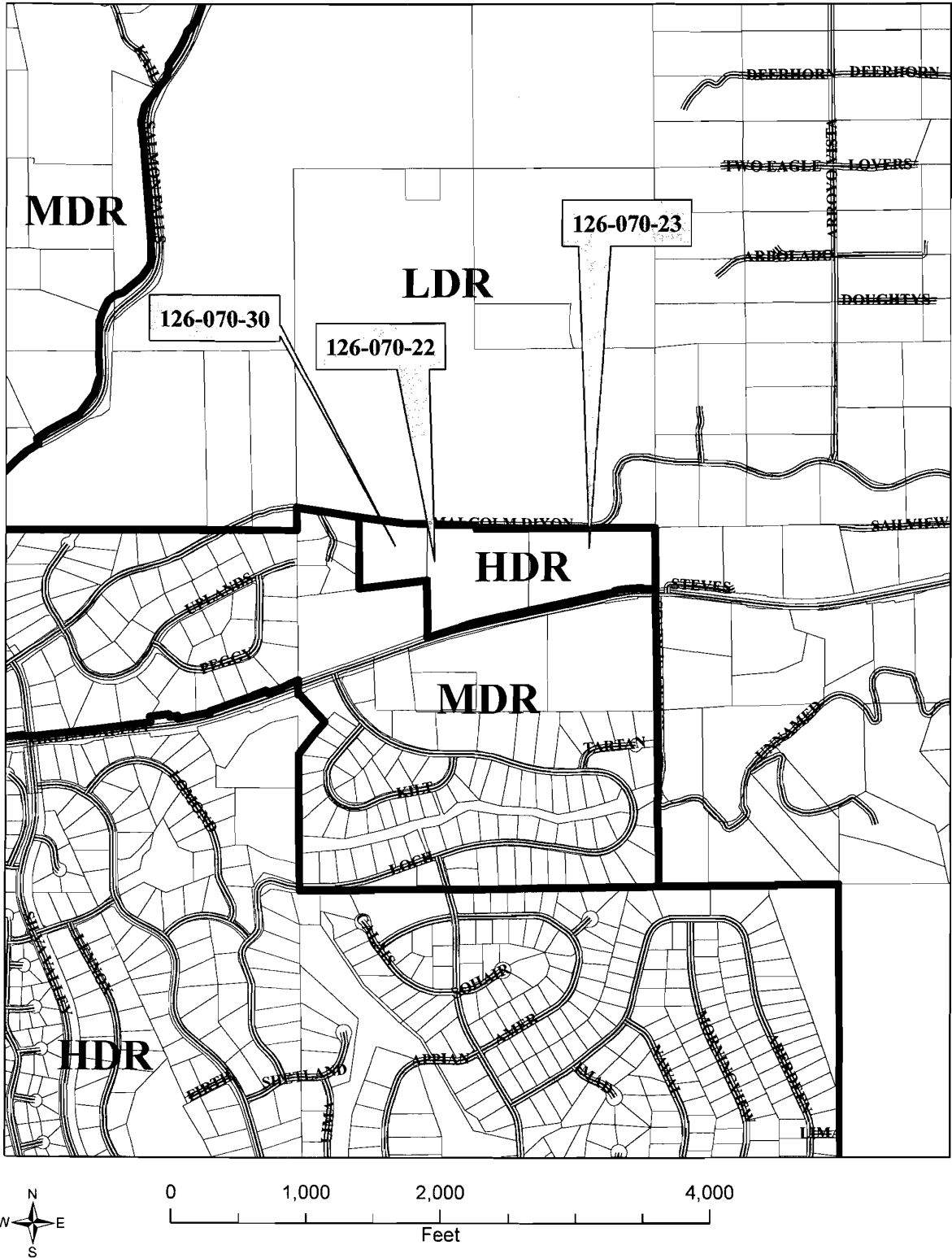
**Acreages Are Estimates**

Adjacent Map Pages Shown in Grey Text  
 Assessor's Block Numbers Shown in Ellipses  
 Assessor's Parcel Numbers Shown in Circles

Rev. Jan. 2, 2009

Assessor's Map Bk. 126, Pg. 07  
 County of El Dorado, CA

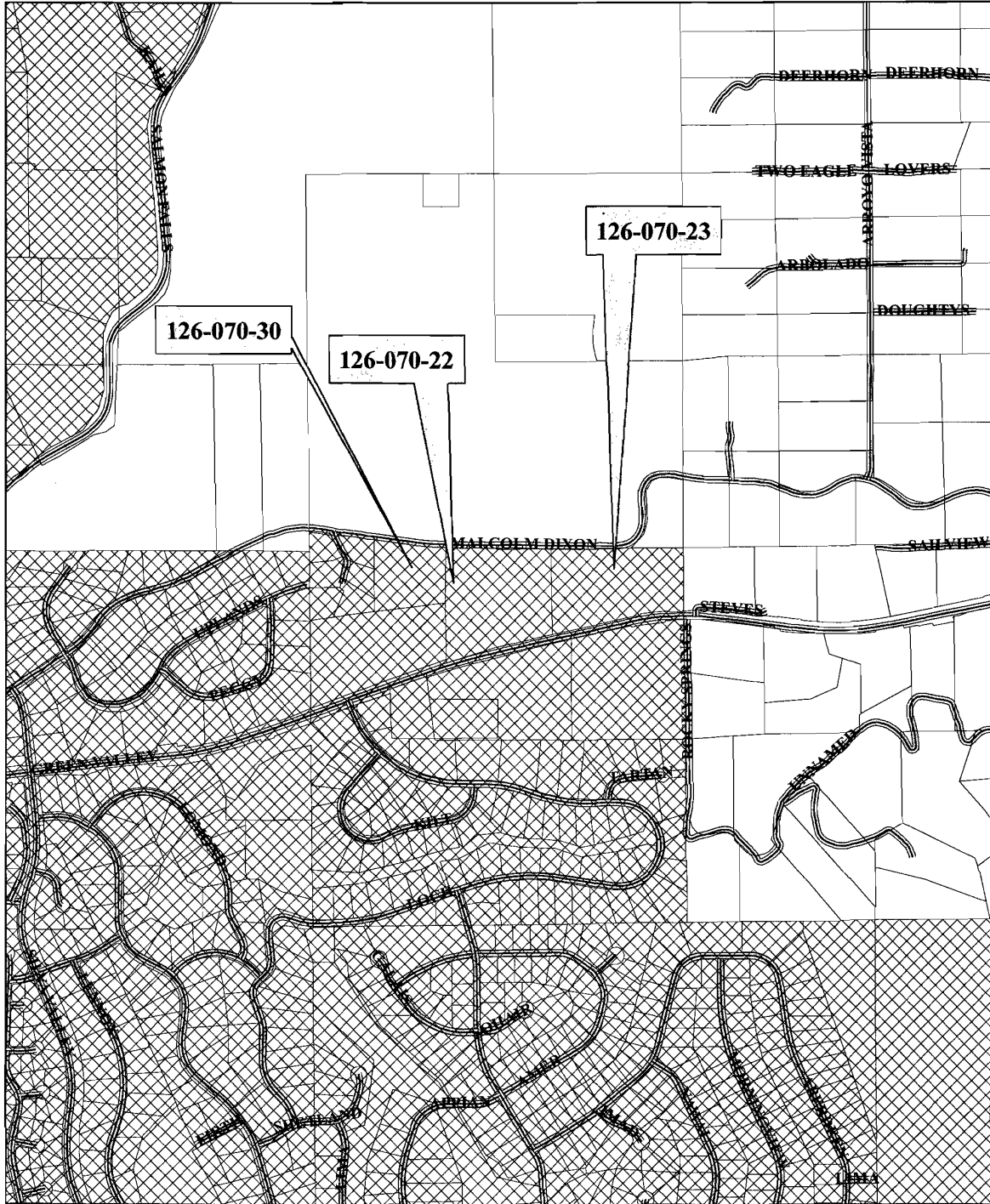
# General Plan Land Use Designations



File Numbers Z14-0002/PD14-0001/TM14-1515

Exhibit C-1

# Community Region

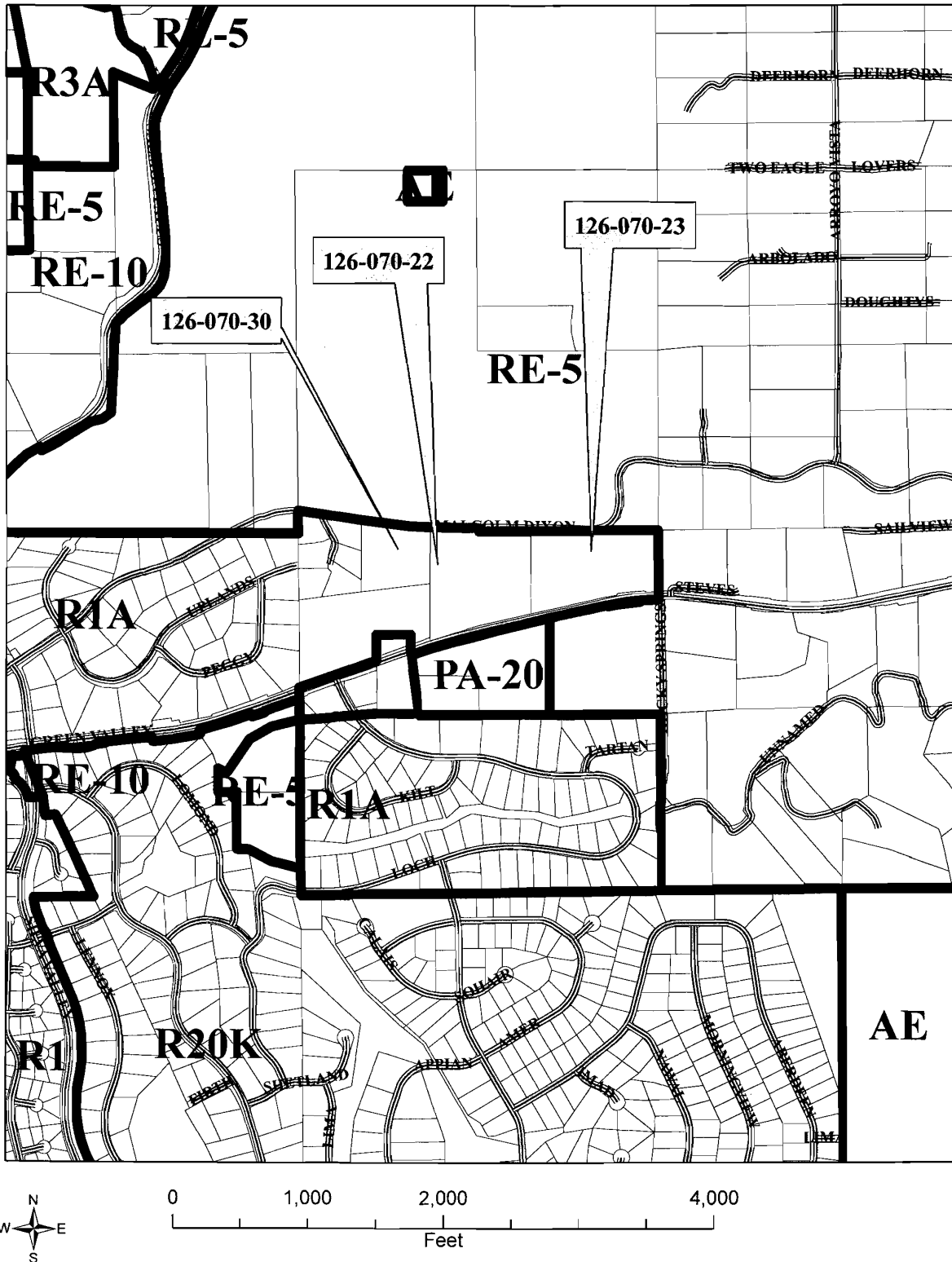


File Numbers Z14-0002/PD14-0001/TM14-1515

 El Dorado Hills Community Region

## Exhibit C-2

# Zoning Designations



File Numbers Z14-0002/PD14-0001/TM14-1515

Exhibit D

# TENTATIVE MAP WILSON ESTATES

COUNTY OF EL DORADO

AUGUST, 2014

STATE OF CALIFORNIA

**OWNERS OF RECORD**

LISA VOGLSANG  
CAROLINE RYAN  
A.L.E. RYAN

1815 GREENWICH STREET  
SAN FRANCISCO, CA 94123

**APPLICANT**

CTA ENGINEERING & SURVEYING  
3223 MONROE CIRCLE  
RANCHO CORDON, CA 95742

**ENGINEER**

**cta** Engineering & Surveying  
Civil Engineering - Land Surveying - Land Planning  
Professional Engineers - Registered

**MAP SCALE**

1" = 80'

**CONTOUR INTERVAL**

CONTOUR INTERVAL = 2 FEET

**SOURCE OF TOPOGRAPHY**

AERIAL PHOTOGRAPHY

**SECTION, TOWNSHIP and RANGE**

PORTION OF SECTIONS 13, 14 & 23, T.10N., R.8E., M.D.S.

**ASSESSOR'S PARCEL NUMBERS**

A.P.N. 128-070-22, 128-070-23, 128-070-30

**GENERAL PLAN**

HR or A COMMUNITY REGION

**PRESENT ZONING**

R1A

**PROPOSED ZONING**

R1A - PD / OS-PD (ZONE BOUNDARY ESTABLISHED BY FINAL MAP)

**TOTAL AREA**

28.18 ACRES

**TOTAL NUMBER OF PARCELS**

RESIDENTIAL LOTS (1-28)	16.51 AC
PRIVATE ROAD LOT (LOT R)	1.45 AC
LETTERED LOT (B), LOT (C)	0.80 AC
OPEN SPACE, DRAINAGE & WATERLINE	8.41 AC 1 SIDE OPEN SPACE
NEW CONNECTION (LOT A)	0.80 AC
MALCOLM DITCH ROADWAY DEDICATION	0.82 AC
GREEN VALLEY ROAD ROADWAY DEDICATION	0.54 AC
<b>TOTAL AREA</b>	<b>28.18 AC</b>

**MINIMUM LOT AREA**

20,004 SQUARE FEET

**WATER SUPPLY and SEWAGE DISPOSAL**

EL DORADO IRRIGATION DISTRICT

**PROPOSED STRUCTURAL FIRE PROTECTION**

EL DORADO HILLS COUNTY WATER DISTRICT (FIRE DEPARTMENT)

**DATE OF PREPARATION**

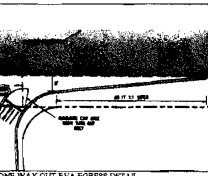
AUGUST, 2014

**PHASING PLAN NOTICE**

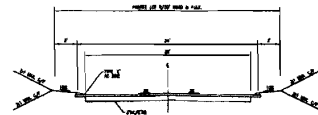
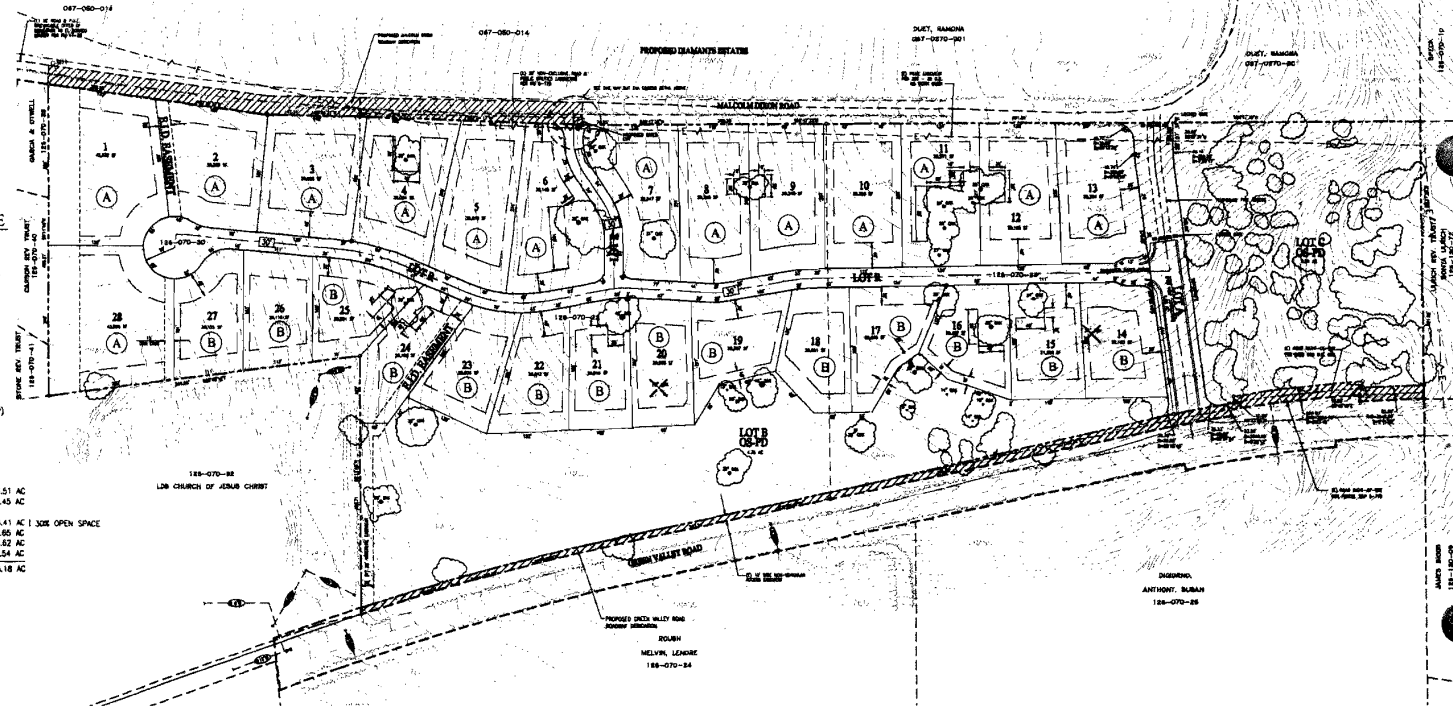
THE SUBDIVIDER MAY FILE MULTIPLE FINAL MAPS FOR THIS PROJECT. THE SUBDIVIDER SHALL NOT BE REQUIRED TO DEFINE THE NUMBER OR CONFIGURATION OF THE PROPOSED MULTIPLE FINAL MAPS (PER THE SUBDIVISION MAP ACT, SECTION 94458.1)

**ENGINEER'S CERTIFICATE**

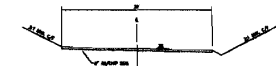
I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THE LAND DEVELOPMENT KNOWN AS WILSON ESTATES HAS BEEN DESIGNED IN ACCORDANCE WITH THE SPECIFICATIONS AND GUIDELINES ESTABLISHED BY THE COUNTY OF EL DORADO.



ONE WAY CUT EVA EGRESS DETAIL



TYPICAL ROAD SECTION



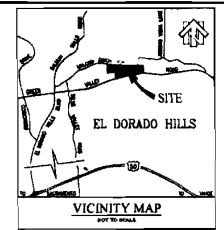
TEMPORARY FIRE ACCESS ROAD (GATED) < 20%



NEW CONNECTION

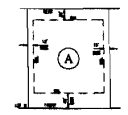


SCALE: 1"=80'

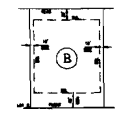


VICINITY MAP

RECEIVED  
PLANNING DEPARTMENT  
14 AUG 19 PM 3:26



MODIFIED R-1A SETBACKS UON



MODIFIED R-20,000 SETBACKS UON

**TYPICAL BUILDING SETBACKS  
ONE-FAMILY RESIDENTIAL  
UNLESS OTHERWISE NOTED (UON) ON TENTATIVE MAP**

**LEGEND:**

- (F) FIRE HYDRANT
- (S) SUBDIVISION BOUNDARY
- (R) RIGHT OF WAY LINE
- (L) LOT LINE
- (W) LOT R WIDTH

ALIGNED BOUNDARY	_____
PROPERTY LINE SET	_____
BOUNDARY OF EGRESS	_____
PROPERTY LINE SET	_____

DAVID R. CROSSAKEL, R.C.E. 34320 DATE \_\_\_\_\_



M:\06-047-002\PI\ANNING\TENTATIVE MAP\06-047-002-TM.dwg TENTATIVE MAP 8/19/2014 10:21:33 AM dimitri

# PRELIMINARY GRADING, DRAINAGE & TREE PRESERVATION PLAN WILSON ESTATES

COUNTY OF EL DORADO

JULY, 2014

STATE OF CALIFORNIA

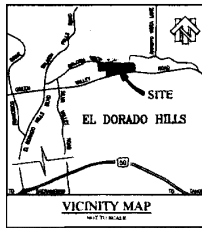
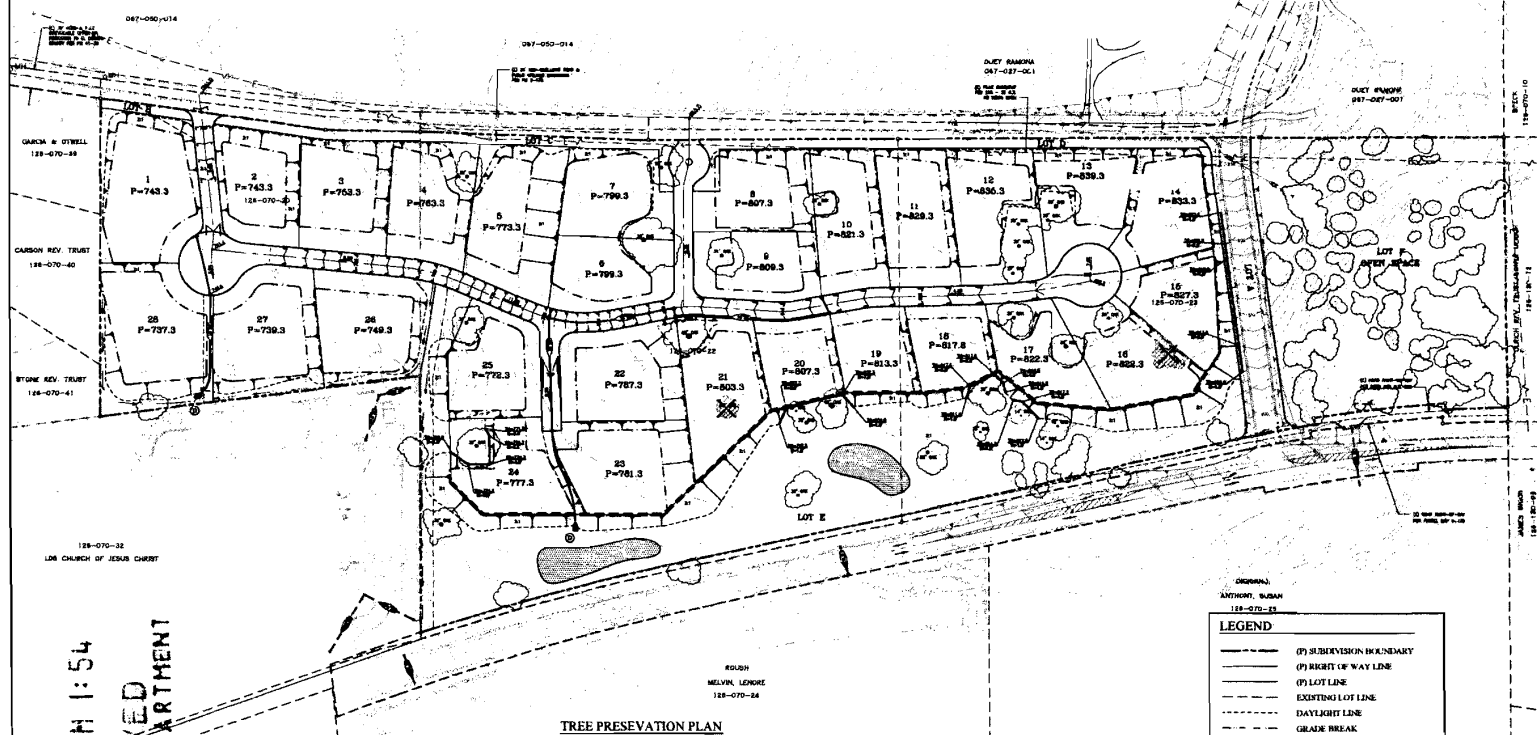


Exhibit F



14 JUL 22 PM 1:54  
RECEIVED  
PLANNING DEPARTMENT

**CANOPY REMOVAL NOTES**

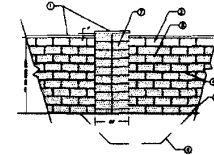
1. TOTAL SITE AREA = 28.38 AC
2. TOTAL SITE CANOPY = 1.14 AC (4% OF PROPOSED SITE)
3. ALLOWABLE CANOPY LOSS = 0.71 AC (2.5% OF PROPOSED SITE)
4. TOTAL REMOVAL PER PLAN = 0.43 AC
5. MITIGATION AREA AVAILABLE = 0.71 AC
6. THE PROJECT PROPONENT SHALL COMPLY WITH THE PROVISIONS OF POLICY 7.4.4 BY MEANS OF THE MITIGATION REQUIREMENTS AND 1:1 REPLACEMENT RATIO OF OPTION A, PROVIDED OR, AN OFF-SITE MITIGATION AS SET FORTH BY POLICY 7.4.4 AND THE FOLLOWING GUIDELINES:
  - a. REMOVAL OF ANY REMAINING REMnants SHALL BE REQUIRED AS A CONDITION OF APPROVAL OF ALL CONSTRUCTION PERMITS FOR WHICH THESE PROVISIONS APPLY, AND SHALL BE COMPLETED PRIOR TO THE START OF A GRADELINE HOLDING PERMIT, BEHIND A FENCE OR FENCE WITH OTHER MEASURES TO PREVENT ACCESS TO THE PROJECT.
  - b. THE PROPOSED CONTRACT SHALL INCLUDE IN THE BILL OF MATERIALS ALL OF THE FOLLOWING:
    - i. IN AC @ 17' ELEVATION
    - ii. IN AC @ 17' ELEVATION
  - c. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL REMnants FROM THE GRAZING WITHIN OR ON THE SITE OF THE CONSTRUCTION LIMITS AND/OR BILLINGS. THESE TREES ARE NOT SUBJECT TO REPLACEMENT REQUIREMENTS FOR THE PROJECT UNLESS APPROVED FOR POLICY 7.4.4. IF THE SUBJECT TREES SHALL BE REMOVED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF THESE TREES AND SHALL BE RESPONSIBLE FOR THE MITIGATION AREA AVAILABLE.
  - d. TREE PROTECTION FENCING SHALL BE PLACED AFTER COMPLETION OF TREE REMOVAL OPERATIONS AND PRIOR TO CLEARING AND GRUBBING.
  - e. IN AN EVENT OF REMOVAL OF TREES IN LIEU OF CANOPY REPLACEMENT BEING AVAILABLE, THE APPLICANT RESERVES THE RIGHT TO CHANGE THE MITIGATION PROJECT COMPLIANCE WITH AN APPROVED OPTION A CHECKLIST.

LEGEND	
	(S) SUBDIVISION BOUNDARY
	(R) RIGHT OF WAY LINE
	(L) LOT LINE
	(E) EXISTING LOT LINE
	(D) DASHED LINE
	(G) GRADE BREAK
	(P) PROPOSED CONTOUR
	(E) EXISTING CONTOUR
	P=820.5
	(F) FLARED END SECTION
	(S) STORM DRAIN LINE
	(I) DRAINAGE INLETS
	(C) PROPOSED DRAINAGE CUT-OFF
	(B) 6' INSET BARRIER
	(W) RETAINING WALL
	(D) DRAINAGE DITCH
	(T) TREE REMOVAL
	(M) TREE MITIGATION AREA
	(S) SLOPE ORIENTATION
	(G) GRADIENTS

**cta** Engineering & Surveying  
Civil Engineering • Land Surveying • Land Planning  
10000 Rockwell Road, Suite 200, El Dorado Hills, CA 95762

**WILSON ESTATES  
FENCE EXHIBIT**  
COUNTY OF EL DORADO, CALIFORNIA  
AUGUST, 2014

14 AUG 19 PM 3:26  
**RECEIVED  
PLANNING DEPARTMENT**



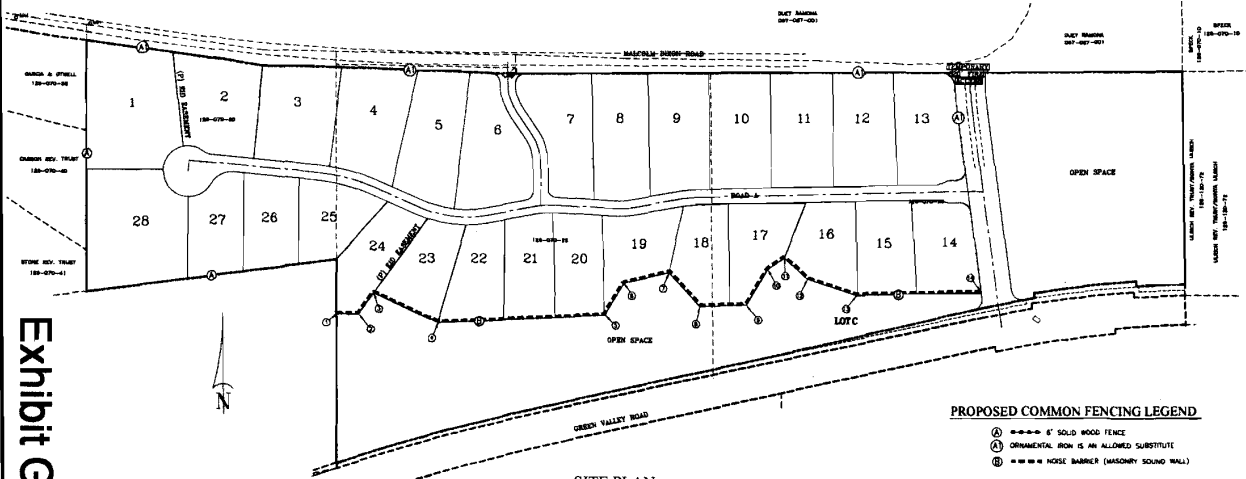
**NOISE BARRIER DETAIL  
(MASONRY SOUND WALL)**  
SCALE: 1"=4'

1. SPLAT FINDER CAP BY BAKULITE, COLOR TAN D-345.
  2. TOP COURSE, BAKULITE PHOTO # MASONRY #7"x11" BLOCK, STD. FACE/CONCRETE BACK, COLOR: TAN D-345. PLACE NUMBER AND NET OVER STEEL TENSION ROD.
  3. REINFORCING FIELD COURSE, BAKULITE PHOTO # MASONRY #7"x11" SPLAT FACE/CONCRETE BACK BLOCK, COLOR: TAN D-345.
  4. HORIZONTAL JOINT REINFORCING, PER MANUFACTURER'S SPECIFICATIONS, SEE PHOTO # ENGINEERING.
  5. CONCRETE SETTING PAD.
  6. CONCRETE FOOTING, DASHED LINE INDICATES LINE OF TOP FOOTING OR USE OF CONTRAST COLOR TRENCH FORM. SEE PHOTO # ENGINEERING.
  7. 3" HIDE & 1" DEEP PLASTER, PLACO W&A 2007 G.C. BAKULITE PHOTO # MASONRY #7"x11" BLOCK, STD. FACE/CONCRETE BACK, COLOR: TAN D-345.
- NOTE: ALL MASONRY WALLS ARE TO BE FINISHED WITH AN ANTI-WEAR FINISH COATING, COATING IS TO BE BLACK SLURRY (PROVIDED). MONITORING PERIOD: 90 DAYS (OVER PAINT). ACCEPTANCE CRITERIA: 100% DEFECTS. SEE 100% DEFECTS CONTROL, INC.) OR APPROVED EQUAL, NON-SUBSTITUTABLE TYPE ONLY.

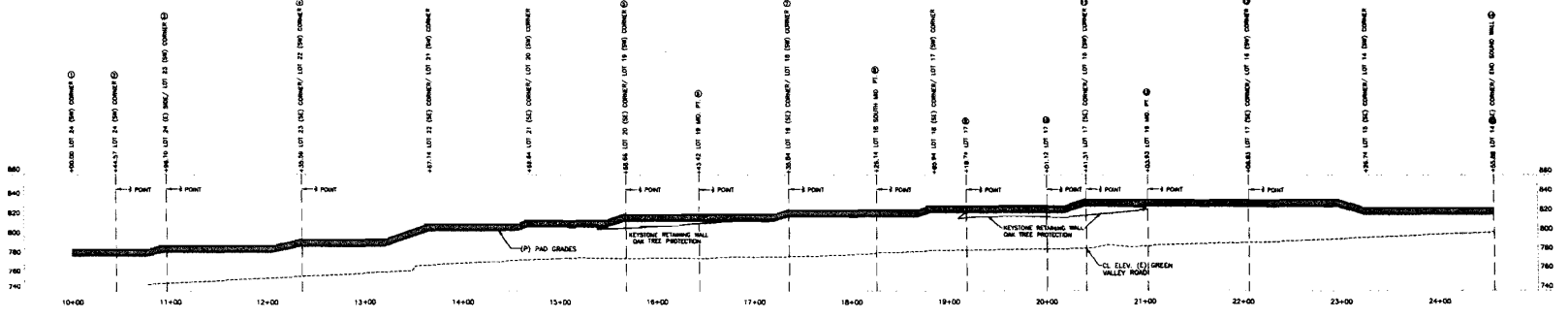


**6' SOLID WOOD FENCE**  
SCALE: 1"=5'

- PROPOSED COMMON FENCING LEGEND**
- ① 6' SOLID WOOD FENCE
  - ② ORNAMENTAL IRON IS AN ALLOWED SUBSTITUTE
  - ③ NOISE BARRIER (MASONRY SOUND WALL)



**SITE PLAN**  
SCALE: 1"=100'



**6' NOISE BARRIER (MASONRY SOUND WALL) PROFILE**  
SCALE: 1"=50' HORIZ. & VERT.

**cta** Engineering & Surveying  
Civil Engineering • Land Surveying • Land Planning  
2000 Highway 99, Suite 200, Rockwell, CA 95969  
Telephone: 707.942.0000 • Fax: 707.942.0001

**Exhibit G**

M:\06-047-002\PI ANNING\EXHIBITS\06-047-002 Wall Exhibit August 2014.dwg I 8/19/2014 10:20:46 AM dimitri



ZONING MAP  
**WILSON ESTATES**

TM 14-1515

APN 126-070-022, 126-070-023, 126-070-30

EL DORADO COUNTY CALIFORNIA

SCALE: 1"=200'      AUGUST, 2014

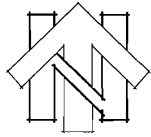
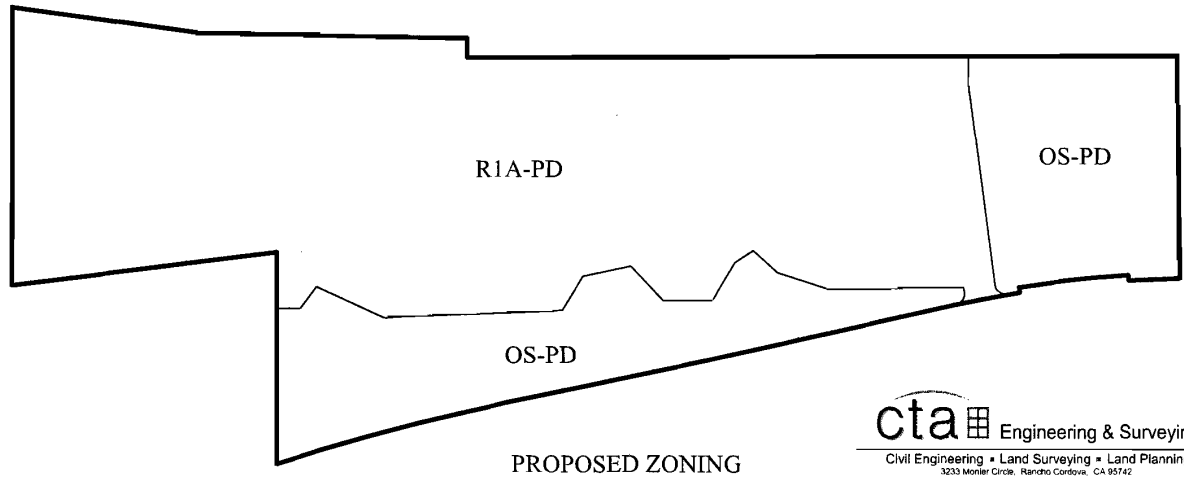


Exhibit H



**cta** Engineering & Surveying  
Civil Engineering • Land Surveying • Land Planning  
3233 Mosler Circle, Rancho Cordova, CA 95742  
T (916) 838-0819 • F (916) 838-2479 • www.ctaenr.com

M:\06-047-002\PLANNING\EXHIBITS\06-047-002 ZONING.dwg, 8/25/2014 2:23:58 PM, rtursov

14 JUL 22 PM 1:54

# WILSON ESTATES

PRELIMINARY ONSITE / OFFSITE SEWER EXHIBIT  
EL DORADO HILLS, CA  
SCALE 1" = 100' JULY, 2014

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PLANNING DEPARTMENT

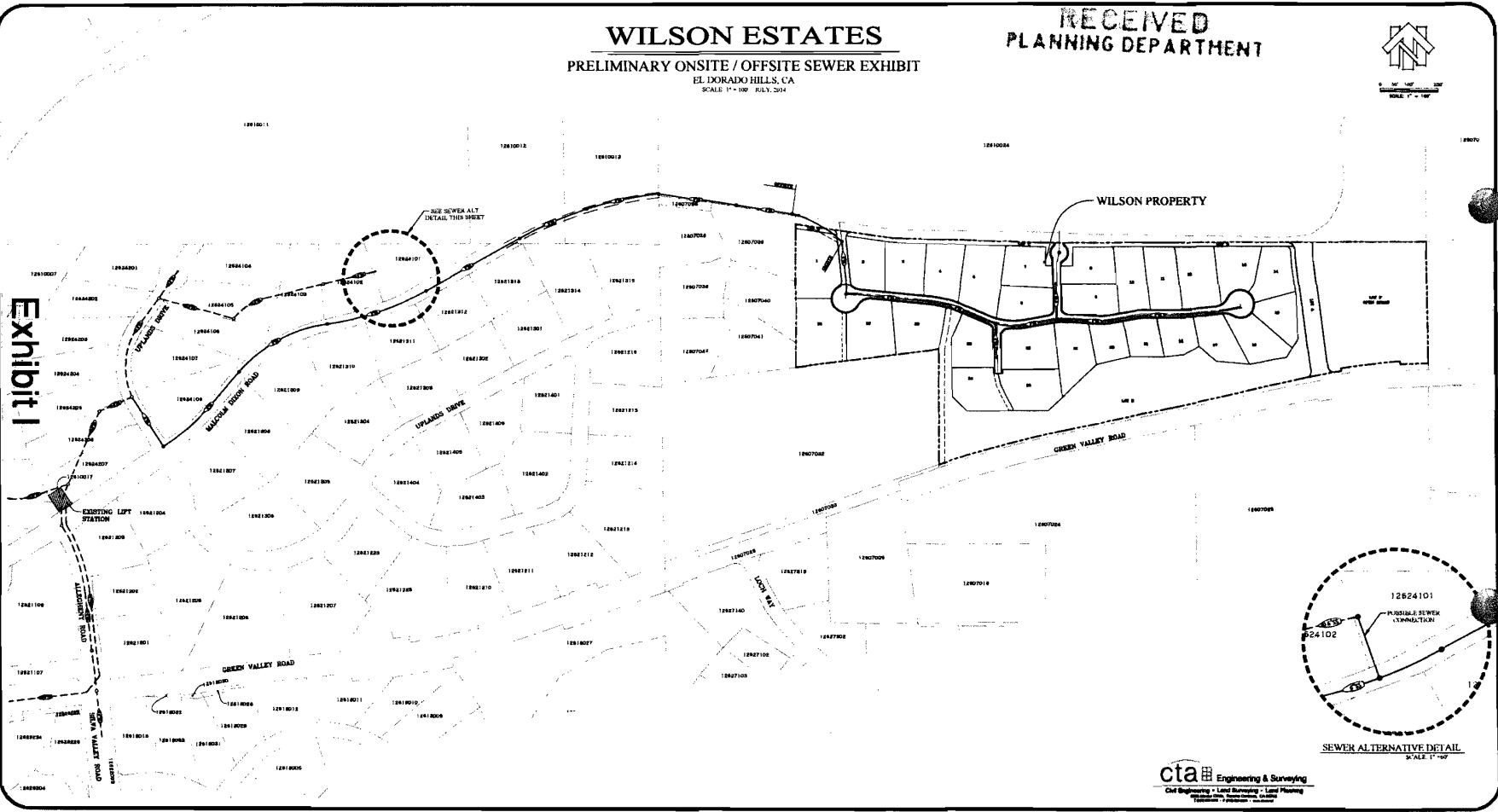
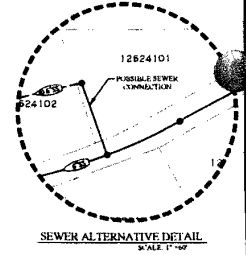


Exhibit I



cta Engineering & Surveying  
Civil Engineering • Land Surveying • Land Planning  
12000 Green Valley Road, Suite 100  
El Dorado Hills, CA 95762

# SLOPE MAP WILSON ESTATES

COUNTY OF EL DORADO

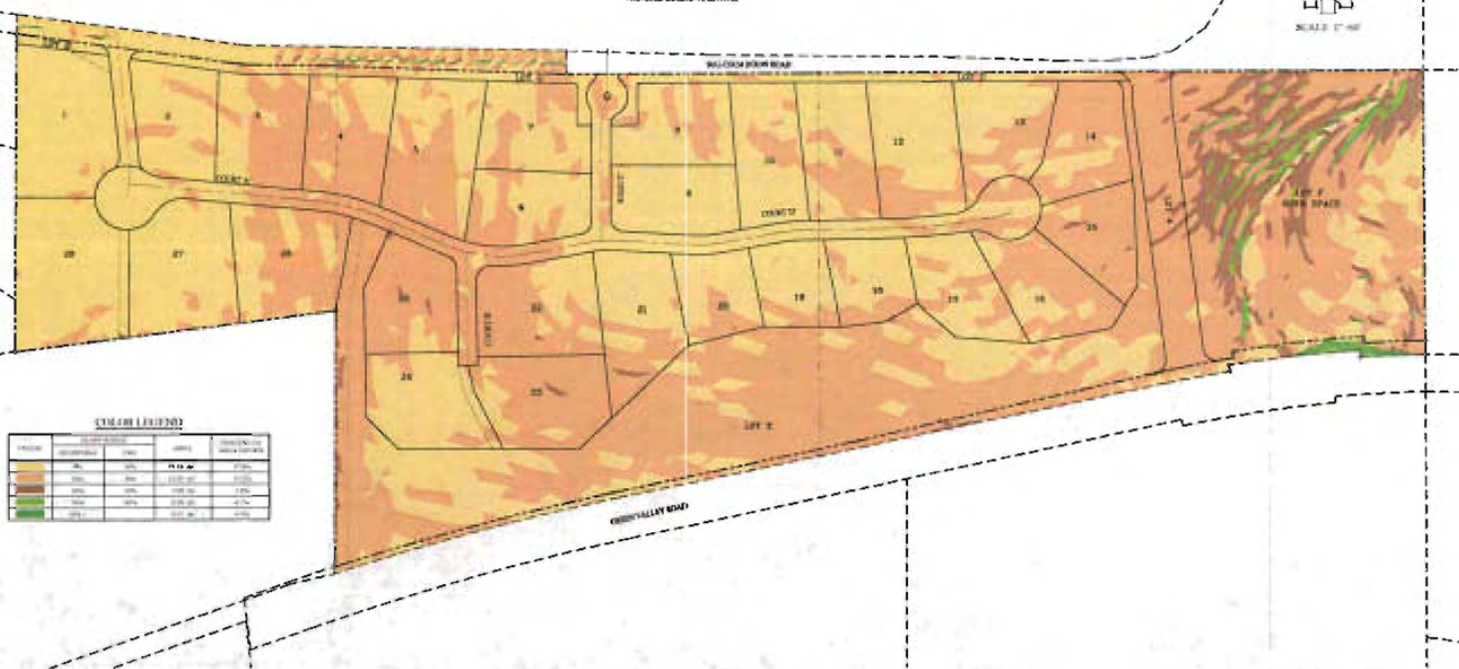
JULY, 2014

STATE OF CALIFORNIA

14 JUL 22 PM 1:54  
RECEIVED  
PLANNING DEPARTMENT



Exhibit J



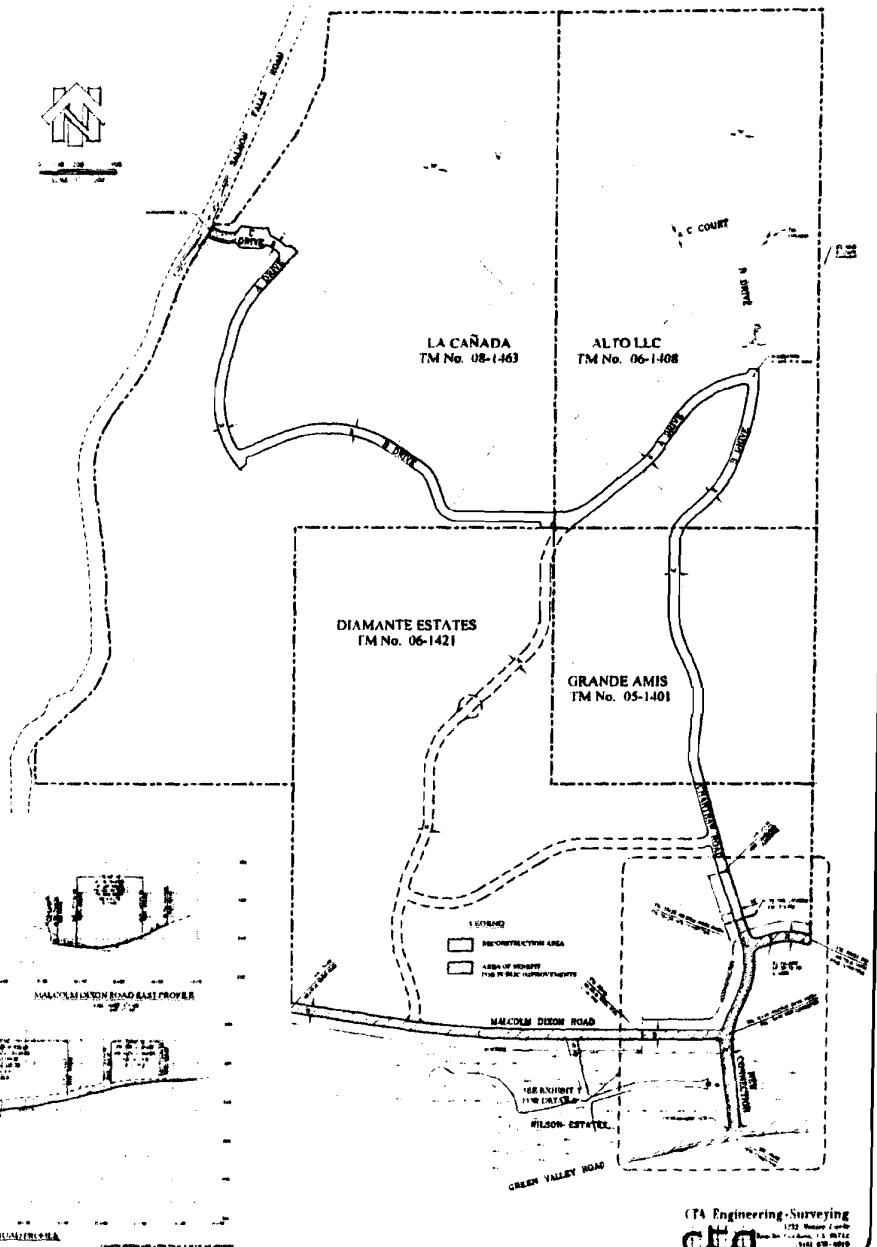
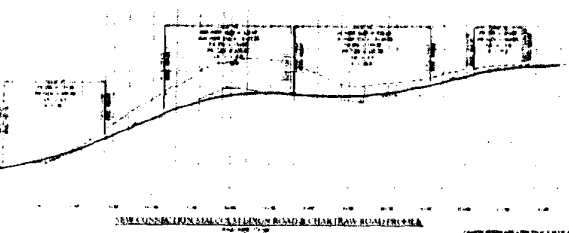
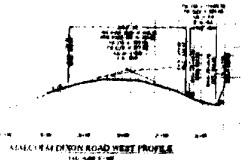
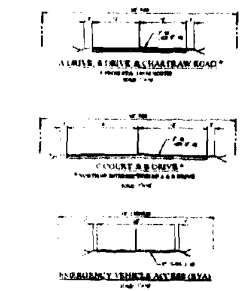
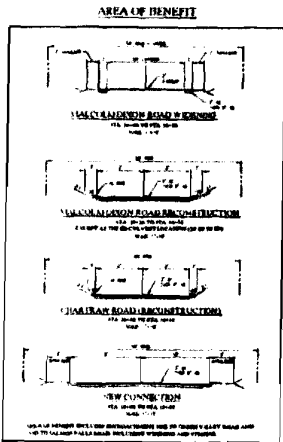
**SYMBOL LEGEND**

SYMBOL	DESCRIPTION
[Color swatch]	0% - 2%
[Color swatch]	2% - 5%
[Color swatch]	5% - 10%
[Color swatch]	10% - 15%
[Color swatch]	15% - 20%
[Color swatch]	20% - 25%
[Color swatch]	25% - 30%
[Color swatch]	30% - 35%
[Color swatch]	35% - 40%
[Color swatch]	40% - 45%
[Color swatch]	45% - 50%
[Color swatch]	50% - 55%
[Color swatch]	55% - 60%
[Color swatch]	60% - 65%
[Color swatch]	65% - 70%
[Color swatch]	70% - 75%
[Color swatch]	75% - 80%
[Color swatch]	80% - 85%
[Color swatch]	85% - 90%
[Color swatch]	90% - 95%
[Color swatch]	95% - 100%



**MALCOLM DIXON AREA TRAFFIC CIRCULATION PLAN**  
**EXHIBIT X**  
**EL DORADO COUNTY, CALIFORNIA**

12/17/2010



CTA Engineering-Surveying  
 1752 Sunset Lane  
 El Dorado, CA 95764  
 916.438.0000  
 916.438.0000

**Exhibit K**

14 JUN -4 AM 11:24  
RECEIVED  
PLANNING DEPARTMENT



May 30, 2014

Tom Dougherty, Project Planner  
El Dorado County Planning Department  
2850 Fairlane Court  
Placerville, CA 95667

RE: **Z 11-0007, PD 11-0004 & TM 11-1504 WILSON ESTATES (Ann Wilson/CTA  
Engineering & Surveying)**

Dear Mr. Dougherty:

The El Dorado Hills Community Services District ("District") appreciates this opportunity to respond to the request for comments on the above referenced project. The CSD has a mission to *"improve the quality of life for El Dorado Hills' residents through responsible leadership and by providing superior service and facilities"*. The District has purview over parks, recreation facilities and programs, street lighting, cable television, solid waste management, CC&R's and design review, under grounding utilities, Landscaping and Lighting Assessment District creation and administration, bicycle and pedestrian trails and open space management. In addition to the above, the District comments on community issues including traffic circulation, lighting, and noise impacts from new development.

The following comments are advisory in nature, unless otherwise noted, and warrant comment by the CSD as they affect our futures residents' quality of life. The CSD supports the applicant's above referenced project and would like the following conditions considered during the development of this project and as it moves forward:

1. The developer/owner should ensure that all HOA CC&R's in place at the time of the subdivision of the land be fully complied with. Particular attention should be given to minimum lot sizes allowed and setback requirements.

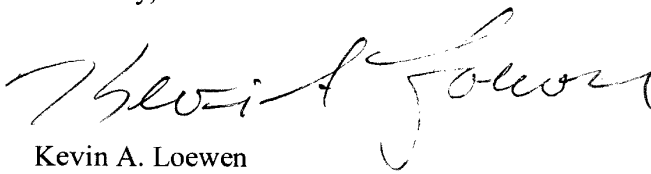
**Exhibit L**

2. Construction of future new residences will be subject to payment of Park Impact Fees in place at time of building permit issuance. Park Impact fees are to be paid at time of building permit issuance
3. The subdivided lots will be subject to payment of Quimby fees prior to the release of the final map for the subdivision. The Quimby requirement will be based on the formula provide in section 16.12.090 of the El Dorado County Subdivisions Ordinance. The Quimby Factor for this project is .462 acres required and the fair market value will be established by the County assessor. This fee is paid directly to El Dorado Hills CSD **before** the final map is released to the Project Owner, or Owner's representative.
4. The District requests to be provided a copy of the landscape and streetscape designs for District records.
5. No interruption of bike trails is allowed. Bike trails should be linked with existing bike trails in the vicinity.
6. All trails that may be adjacent to property should be connected. No interruption of trail system is allowed.
7. All efforts should be made to preserve any existing Oak Trees. In the event that Oak Trees are removed, the standard Oak Tree Mitigation guidelines found in the CSD Design Review guidelines should be followed.
8. Streetlights should be limited to all major intersections for safety purposes; however, they should be shielded so that the night skies can be preserved.
9. Guidelines for construction, landscape, and entry lighting to be implemented include:
  - a. Light beams shall not trespass adjacent areas.
  - b. Lighting shall not be angled to create glare for passing traffic.
  - c. Lighting fixtures shall be hidden from view through plantings.
10. Each residence will have its own cable television hookup service available which must be provided by current cable television franchisor.
11. Trenching to be provided for cable lines; Electrical and cable to be under grounded and in common trenches.
12. The El Dorado Hills CSD requires mandatory waste management services for each new residence, including recycling services. Waste management services required to be provided by current waste collection provider.

13. In consideration of the mandatory waste management service required by El Dorado Hills CSD, each residential lot should be developed with accommodations to store a minimum of three waste and recycle material containers provided by the current waste management contractor. These containers are to be in an area not visible from the street.
14. All construction debris resulting from any new construction should be disposed of in a manner consistent with the solid waste diversion plan practiced by El Dorado Hills CSD and as mandated by AB939, and in compliance with El Dorado County Construction and Demolition Debris Recycling Ordinance, Section 1, Chapter 8.43 of Title 8 of the El Dorado County Ordinance Code.

In summary, the District supports approval of the rezoning request and the parcel map to create twenty-eight (28) residential lots ranging in size from 21,810 square feet to 38,070 square feet. Please keep me informed of the progress of this project and provide the District with copies of staff reports and conditions of approval prior to the Technical Advisory Committee, Planning Commission Hearing and consideration by the Board of Supervisors. If you have any questions or need additional information, please feel free to contact me directly at (916) 614-3233

Sincerely,



Kevin A. Loewen  
Parks and Planning Director



**El Dorado Hills Area Planning Advisory Committee**  
 1021 Harvard Way  
 El Dorado Hills, CA 95762

2014 Board Chair  
 John Hidaahl  
Vice Chair  
 Jeff Haberman  
Secretary  
 Kathy Prevost

RECEIVED  
 PLANNING DEPARTMENT  
 JUN 16 AM 10:12

June 13, 2014

El Dorado County Planning Services  
 Attn: Tom Dougherty, Project Planner  
 2850 Fairlane Court  
 Placerville, CA 95667

**Subject: Z14-0002/PD14-0001/TM14-1515 – Wilson Estates (Lisa Vogelsang RTR/CTA Engineering – A tentative subdivision map and development plan to create 28 single-family lots ranging in size from 21,810 to 38,070 square feet in size and one interior private road lot, etc...a rezone from R1A to R1APD.**

**The full APAC -committee met on June 11, 2014 and voted 4 to 2 for conditional support of the project, if approval is conditioned as defined below. The proponents have made several changes to their original proposal, over an extended period of time, which have significantly improved the project's compatibility with the surrounding properties. The added open space helps preserve some of the natural woodlands within the project. A *minority report* is included that expresses continued opposition to the project as currently proposed.**

**APAC's condition for approval:**

The Heritage Oak tree located in the intersection of the entrance road and main east/west Subdivision Street is **preserved** with a new street design that eliminates the need to remove the Oak tree.

Two members of the APAC committee **voted for non-support** of the project and their **minority report** follows describing their concerns:

**APAC's Minority Report:**

*The residents and neighbors of Malcolm Dixon Road genuinely feel that CTA Engineering is doing a disservice by coming forward with plans that will not be well received by the existing residents and neighbors of the community.*

*The plan before us today completely disregards previous negotiations, mitigations, board direction, and community input.*

*The board denied the last map for the following reason.*

*Denial of findings: 10-29-13*

El Dorado Hills APAC - Non-partisan Volunteers Planning Our Future

**Exhibit M**



1. 2.0 GENERAL PLAN FINDINGS

2. 2.1 *the project is inconsistent with Policy 2.2.5.21, which requires that development projects be designed in a manner which avoids incompatibility with surrounding land uses. The proposed zoning, design of the subdivision, and the proposed lot sizes of less than an acre are not compatible with the Medium and Low Density Residential land use designations and development patterns on lands surrounding the site of the proposed development.*

1. 4.0 ADMINISTRATIVE FINDINGS

2. 4.1 Tentative Subdivision Map Findings

4.1.1 *The proposed tentative map is inconsistent with the Residential One-Acre (RIA) zoning of the site*

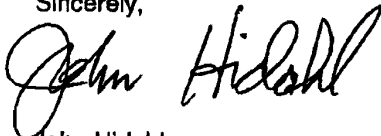
*The current map does not make the lot sizes compatible and is incompatible with surrounding land uses of MDR and LDR.*

*The current map presented at APAC on 6-11-14*

- *Provides no buffer or transition to the western end residents*
- *Provides no one acre parcels*
- *Removes Oak Trees that can be saved*
- *Still asks the board for a rezone which the community was strongly opposed to.*
- *Is still a gated community with a HOA which the community is opposed to.*
- *gives up 30% of the land to open space*
- *Puts all 280 vehicle trips onto Malcolm Dixon Road's historic bridges. (The connector road and exit onto that connector was previous mitigation to divide the traffic between Green Valley Road and Malcolm Dixon Road.)*

APAC appreciates having the opportunity to comment on this project. If you have any questions about any of these conditions, please contact Norm Rowett, subcommittee chair at [arowett@pacbell.net](mailto:arowett@pacbell.net) or 916-933-2211; or John Hidahl, APAC Chairman at [Hidahl@aol.com](mailto:Hidahl@aol.com) or 916-933-2703.

Sincerely,



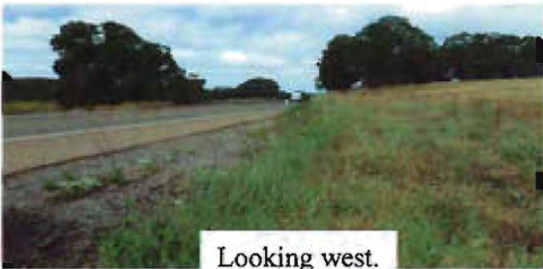
John Hidahl,  
APAC Chairman

Cc: APAC file

Exhibit N-1



Standing on Green Valley Road looking north at the point where proposed "New Connector, Lot R" would encroach.  
Note: The road does not bend here, that is just how the camera makes it appear by joining three photos.

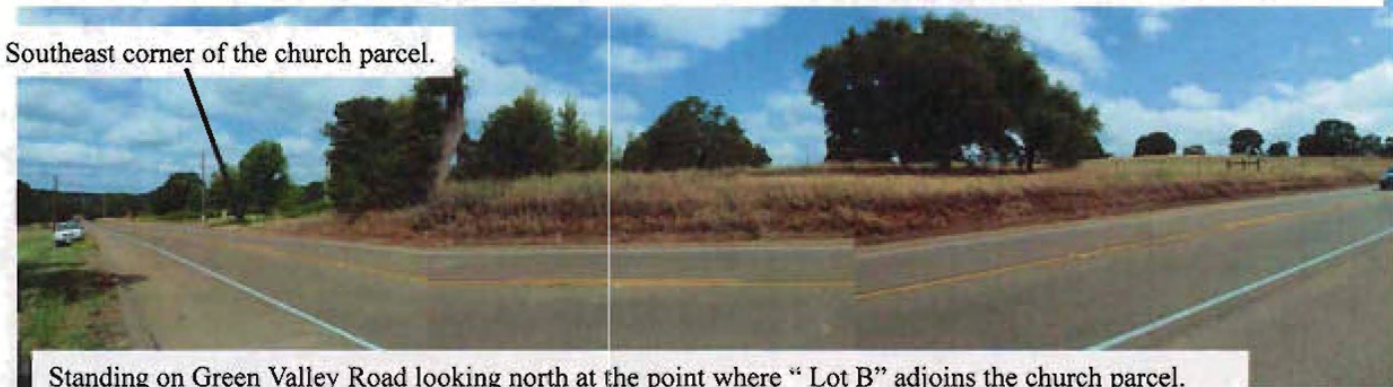


Looking west.



Looking east.

Standing on at the point where proposed "New Connector, Lot R" would encroach looking east and west for existing.



Southeast corner of the church parcel.

Standing on Green Valley Road looking north at the point where " Lot B" adjoins the church parcel.  
Note: The road does not bend here, that is just how the camera makes it appear by joining three photos.



Exhibit N-2



Point where the intermittent stream (Dutch Ravine) exits the parcel south under Green Valley Road through a culvert.



The intermittent stream (Dutch Ravine).



Standing at the north end of the church parcel looking north at the area near proposed Lots 1 and 25-28. Where the trees are in the background is where Malcolm Dixon Road marks the north project boundary.



Exhibit N-3



Existing EID facilities near the intersection of Malcolm Dixon Road and Allegheny Road.



Standing on Malcolm Dixon Road looking east at the Uplands Drive intersection. The project proposes to install a sewer line under Malcolm Dixon from the project site and then north (left) to an existing manhole located in Uplands Drive.



Standing on Malcolm Dixon Road looking west at the parcel adjoining the northwest project area corner.



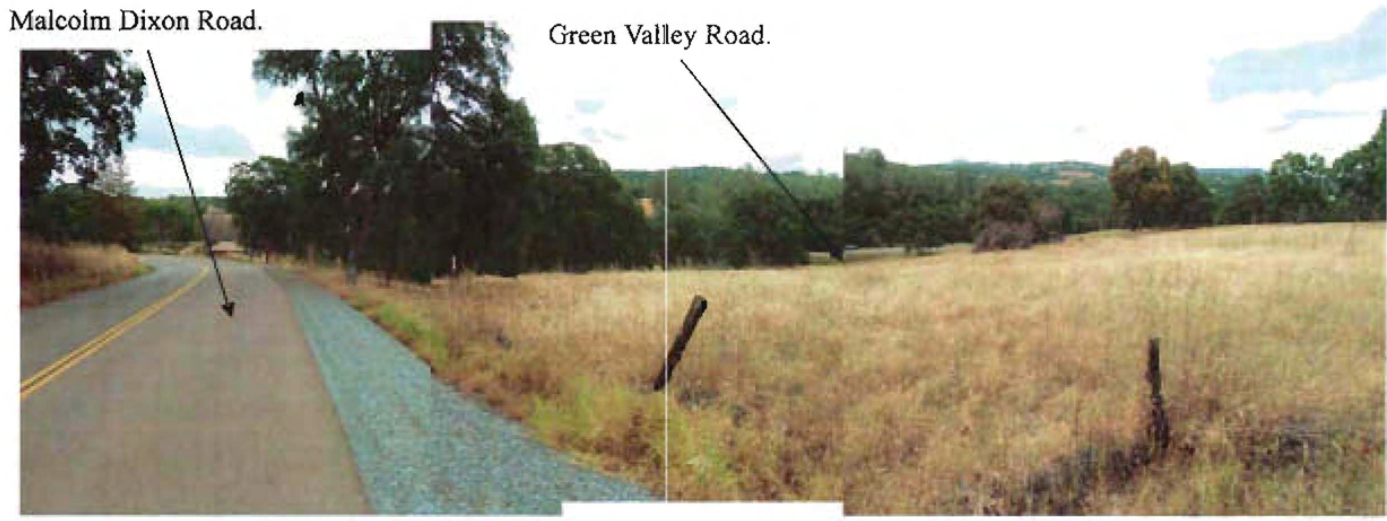
Standing on Malcolm Dixon Road near the northwest project corner looking east.



Standing on Malcolm Dixon Road near the northwest project corner looking east at the "Lot R" exit near proposed Lots 6-7.

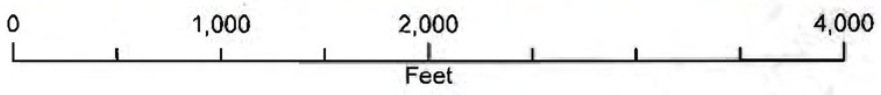


Exhibit N-4



Standing on Malcolm Dixon Road near where the "New Connector, Lot R" Temporary Fire Access would encroach, looking south.





**Exhibit O**

File Numbers Z14-0002/PD14-0001/TM14-1515