

9/12/2019

Edcgov.us Mail - Fwd: TCW Superior South Storage Public Comment-PC 09.12.19



(Distributed at hearing)

PC 9-12-19
Item # 3
12 pages

Debra Ercolini <debra.ercolini@edcgov.us>

Fwd: TCW Superior South Storage Public Comment-PC 09.12.19

1 message

Char Tim <charlene.tim@edcgov.us>
To: Debra Ercolini <debra.ercolini@edcgov.us>

Thu, Sep 12, 2019 at 7:40 AM

Char Tim
Clerk of the Planning Commission

County of El Dorado
Planning and Building Department
2850 Fairlane Court
Placerville, CA 95667
(530) 621-5351 / FAX (530) 642-0508
charlene.tim@edcgov.us

----- Forwarded message -----

From: **TCDR Admin** <towncenterdrc@gmail.com>
Date: Wed, Sep 11, 2019 at 11:33 PM
Subject: TCW Superior South Storage Public Comment-PC 09.12.19
To: <charlene.tim@edcgov.us>
Cc: <jvegna@edcgov.us>, <gary.miller@edcgov.us>, <jeff.hansen@edcgov.us>, <james.williams@edcgov.us>, <brian.shinault@edcgov.us>, Norb <nwitt@sbcglobal.net>, Louis Mansour <louisr@mansourco.com>

Dear Commissioners:

The purpose of this letter is to provide to the Planning Commission with the Town Center West (TCW) Design Review Committee (DRC) comments and concerns on the proposed Superior Self Storage in Town Center West. The DRC has provided the applicant with numerous letters with comments which have yet to be addressed, mainly relating to the landscaping, outdoor storage and DRC approval.

Previous letters identified the requirement of the proposed landscape plans need to be consistent with the approved PD Landscape Criteria. The DRC received Sierra Nevada Arborist report, dated July 25, 2019, identifying one hundred sixteen (116) trees being removed. The Tree Inventory plan, as prepared by Great Valley Design, Inc., identifies the trees being removed with a note that all trees over the DBH of 4" shall be replaced with a similar species and locations. The replaced trees are recognized by the DRC as "Subsequent Planting" not new plantings and therefore "shall be matched to maturing tree size or 36" box, whichever is smaller." This is consistent with Section 3.3.4 of the Landscape Character within the Town Center West Design Guidelines and Development Standards. The DRC request the Planning Commission to add an additional condition of approval requiring the projects landscaping plan to be consistent with the Town Center West Design Guidelines and Development Standards Section 3.3 and Appendix 3 – Specific Landscape Criteria, as approved in 1995.

The DRC also requests that an additional condition be added which restricts any outdoor storage of cars, trucks RVs, boats or any vehicles of any type. All storage, if any, of this type shall be limited to indoor storage only. The only vehicles that shall be parked at the facility shall be parked

on a daily basis and shall be used by employees, maintenance or repair crew vehicles only. No over-night parking shall be allowed.

Finally, the proposed project is still not consistent with the Plan Development which governs the parcels. The DRC's administrative responsibilities are to review and approve projects within Town Center West to confirm their consistency with the approved PD95-02 & PD95-07. The DRC request the Planning Commission add an additional condition of approval requiring all documents be submitted to the DRC for their review and approval prior to being submitted to El Dorado County Planning for processing the PD Amendment and building permits. An approval by El Dorado County Planning does not constitute an approval by the DRC or authority to move forward with the proposed change of use.

Enclosed are copies of our previous comments provided to the applicant for the Planning Commission's review. Please note, DRC has provided its preliminary approval based on the conditions outlined in these letters.

Sincerely,

Norb Witt
TCW DRC Chair

4 attachments

-  **12.02.18 DRC comment letter.pdf**
82K
-  **10.05.18 DRC comment letter.pdf**
241K
-  **10.26.18 DRC comment letter.pdf**
511K
-  **08.09.19 DRC comment letter.pdf**
153K



EL DORADO HILLS TOWN CENTER WEST
DESIGN REVIEW COMMITTEE

c/o El Dorado Hills Town Center West Owner's Association
4364 Town Center Blvd., Suite 310, El Dorado Hills, CA 95762
Phone: 916.933.3013 Fax 916.933.3018

December 2, 2018

TPC/VPD I, LLC
Tim Shannahan
PO Box 1850
Folsom, CA 95630

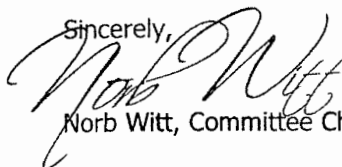
Subject: Town Center West Design Review Committee (DRC) Initial Review
Conceptual Site, Architectural & Landscaping Plans for Superior Self Storage

Dear Mr. Shannahan;

The DRC has reviewed your resubmittal of the Superior Self Storage Conceptual Site, Architectural and Landscaping Plans located at 4250 Town Center Blvd. The DRC does not want the existing look of the exterior of the building changed. The additional square footage can be added to the existing warehouse, but the additional roll up door on the west side of the building will not be approved. The DRC wants the building to maintain its original approved look of a warehouse and not a self-storage.

The project is still not consistent with the Plan Development which governs the parcels. The DRC's administrative responsibilities are to review and approve project within Town Center West to confirm their consistency with the approved PD95-02 & PD95-07. Until your project is consistent with an approved PD the DRC cannot take an official action. Furthermore, the PD Amendment needs to be approved by Blue Shield and the Owner's Association Board as well.

Sincerely,


Norb Witt, Committee Chair

cc: Craig Brinitzer, Newmark Knight Frank
Kris Pigman, TPC/VPD I, LLC



EL DORADO HILLS TOWN CENTER WEST DESIGN REVIEW COMMITTEE

c/o El Dorado Hills Town Center West Owner's Association
4364 Town Center Blvd., Suite 310, El Dorado Hills, CA 95762
Phone: 916.933.3013 Fax 916.933.3018

October 5, 2018

TPC/VPD I, LLC
Tim Shannahan
PO Box 1850
Folsom, CA 95630

Subject: Town Center West Design Review Committee (DRC) Initial Review
Conceptual Site, Architectural & Landscaping Plans for Superior Self Storage

Dear Mr. Shannahan;

The DRC has complete their initial review of the Superior Self Storage Conceptual Site, Architectural and Landscaping Plans located at 4250 Town Center Blvd. The DRC cannot take an official action on the application at this time. The proposed use of a self-storage facility is **not** consistent with the uses outlined within the approved Planned Development 95-07 (PD9507) or Planned Development 95-02 (PD9502) for this site. Until the use is an allowed use, the DRC cannot take an official action on your proposed project. Although the DRC cannot take official action at this time, the DRC has the following initial comments on your submittal.

Conceptual Site Plan

1. The Conceptual Site Plan is defined as Phase 1 Site Plan. How many phases are proposed for the project? What does the additional phases include?
2. The new flag pole shall be no higher than the current building height and shall only fly the American and/or the California State flag. No project or advertisement flags/banners shall be allowed. Furthermore, the existing flags poles within the media of the drive isle entrance shall be removed prior to the installation of the new flag pole is done. Finally, the DRC wants to ensure the American flag shall be flown only from sunrise up to sunset unless it is properly lit up in a manner that the dignity accorded to the flag is preserved by lighting that prevents its being enveloped in darkness as outlined in the US Flag Code.

Conceptual Architectural Design Plans

1. The Conceptual Architectural Plan does not show/identify any new exterior elements. Are there any new exterior elements or any existing elements being removed?
2. All signage shall be reviewed and approval under separate submittal. Approval of Conceptual Architectural plans/elevations shall not include approval of any exterior signage shown on plans.

3. New paint colors being proposed are consistent with the natural palette of Town Center and the Specific Plan. The exterior walls are being proposed as a light tan (Sands of Time) with a dark brownish color (Portabello) band on the lower wall and dark green (Poseidon) upper wall accent band. The existing roll up doors will also be painted the dark green. A final material board with brush outs is needed prior to final approval.
4. The directional on the Phase I Elevation and Phase I Color Elevations Sheets are incorrect. East should be north, west should be south, North should be west and South should be east.
5. The DRC wants to ensure that the existing east screen wall shall remain.

Landscaping Plan

Based on the plan submitted and the view from Google Earth is it unclear what landscaping shown on the Great Valley Design Illustrative Landscape Plan: Phase One plan is new landscaping being added to the site, or being changed out or is existing. Any and all trees removed shall be replaced to be consistent with the approved green screening required at the time the building was originally built. Furthermore, all the brown grass areas shall be restored to be full green. The DRC never approved the removal or A more comprehensive plan is needed prior to the DRC taking an action approving landscaping. This maybe ok for a conceptual approval with the understanding that all existing landscaping shall be restored and all proposed landscaping shall be consistent with the approved PD landscaping criteria.

Signage (Pacific Neon)

1. Latrobe Entry monument sign: This proposed monument signage is not allowed and needs to be removed. This location is reserved for the Town Center West overall project entry sign and not individual use.
2. Project Entry Signage at driveway entrance: Section 6.2.1 of the approved PD95-02 allows one (1) sign per street entry with a minimum of 10' from the right of way (ROW) line and a maximum of 40 sq ft. The proposed entry signage has an overall sq ft of 56' (35 sq ft of actual signage face) and does not show the ROW line.
3. Building Signage:
 - a. PD9502 identifies 3 different users listed below and although the proposed use does not really fall into any of these. The DRC has reviewed the signage as an Office User and the proposed Building Signage letter height of 28" and internally illuminated is consistent with an Office User is allowable by the DRC.
 - b. Proposed Wording: "SELF STORGE" is proposed to be in green and CLIMATE CONTROL is proposed to be white. Section 6.2 of Appendix 5 of the Approved PD 95-02 & 95-07 Signage Criteria limits the signage to Illuminated Corporate identification letters and symbols. Please revise the final signage to be consistent with the approved signage criteria.
 - c. Final signage drawings shall be submitted separately to the DRC and shall include fabrication and installation documents.

Tim Shannahan
October 5, 2018
Page 3 of 3

Additional Site Comments

1. There shall be no outdoor storage or cars, trucks, RVs, boats or any vehicles of any type. All storage, if any, of this type shall be limited to indoor storage only. The only vehicles that shall be parked at the facility shall be parked on a daily basis and shall be used by employees, maintenance or repair crew vehicles only. No over-night parking shall be allowed.
2. There is an outstanding drainage issue at the southwest corner of the property, which is creating additional wetlands. A drainage (storm drain) pipe needs to be installed from the southwest corner of the property and extend to the wet land preserve. Please work with the adjacent property owners and the Town Center West Owner's Association (if needed/required) to discuss and provide a solution of the outstanding drainage issue.
3. There are required Latrobe Road Frontage Improvements, which have been deferred for many years. These improvements including, but not limited to landscaping shall be completed prior to final DRC occupancy approval is granted.

The DRC reserves the right to provide additional comments regarding the site, grading, architectural, as well as the landscape design and the planting palette.

Sincerely,



Norb Witt, Committee Chair

cc: Craig Brinitzer, Newmark Knight Frank



EL DORADO HILLS TOWN CENTER WEST DESIGN REVIEW COMMITTEE

c/o El Dorado Hills Town Center West Owner's Association
4364 Town Center Blvd., Suite 310, El Dorado Hills, CA 95762
Phone: 916.933.3013 Fax 916.933.3018

October 26, 2018

TPC/VPD I, LLC
Tim Shannahan
PO Box 1850
Folsom, CA 95630

Subject: Town Center West Design Review Committee (DRC) Initial Review
Conceptual Site, Architectural & Landscaping Plans for Superior Self Storage

Dear Mr. Shannahan;

The DRC has reviewed your resubmittal of the Superior Self Storage Conceptual Site, Architectural and Landscaping Plans located at 4250 Town Center Blvd. Although the resubmittal clarifies the additional phase for your project, it does not address the majority of the DRC's comments. Below are the committee's comments which were not addressd.

Conceptual Site Plan

1. The new flag pole shall be no higher than the current building height and shall only fly the American and/or the California State flag. No project or advertisement flags/banners shall be allowed. Furthermore, the existing flags poles within the media of the drive isle entrance shall be removed prior to the installation of the new flag pole is done. Finally, the DRC wants to ensure the American flag shall be flown only from sunrise up to sunset unless it is properly lit up in a manner that the dignity accorded to the flag is preserved by lighting that prevents its being enveloped in darkness as outlined in the US Flag Code. *The flag pole is still identified as 50 feet tall. The DRC previous comment stated the flag pole shall not be higher than the current building height and shall only fly the American and California State flag. Please reduce the flag pole height and acknowledge only the American flag and California State flag shall be flown.*

Conceptual Architectural Design Plans

1. New paint colors being proposed are consistent with the natural palette of Town Center and the Specific Plan. The exterior walls are being proposed as a light tan (Sands of Time) with a dark brownish color (Portabello) upper wall accent band. The existing roll up doors will also be painted the dark green band on the lower wall and dark green (Poseidon). A final material board with brush outs is needed prior to final approval. *Please provide confirmation that a full material board with brush outs and material samples will be provided to the DRC prior to its final approval on the project.*

2. The directional on the Phase I Elevation and Phase I Color Elevations Sheets are incorrect. East should be north, west should be south, North should be west and South should be east. *The directional on the Elevation plans are still incorrect. Attached is an 8½" x 11" showing the correct cardinal directions, please correct the elevation sheets to reflect the correct cardinal directional bearings.*
3. The DRC wants to ensure that the existing east screen wall shall remain. *Please identify on all plans the existing screen wall shall remain.*

Landscaping Plan

Based on the plan submitted and the view from Google Earth is it unclear what landscaping shown on the Great Valley Design Illustrative Landscape Plan: Phase One plan is new landscaping being added to the site, or being changed out or is existing. Any and all trees removed shall be replaced to be consistent with the approved green screening required at the time the building was originally built. Furthermore, all the brown grass areas shall be restored to be full green. The DRC never approved the removal or A more comprehensive plan is needed prior to the DRC taking an action approving landscaping. This maybe ok for a conceptual approval with the understanding that all existing landscaping shall be restored and all proposed landscaping shall be consistent with the approved PD landscaping criteria. *The resubmitted Landscaping plan is dated the same date as originally submitted plan. This plan does not provide any additional information or clarification on what landscaping is truly staying, being adding and/or being removed. Please provide a comprehensive landscaping plans for he DRC review and approval.*

Signage (Pacific Neon)

1. Latrobe Entry monument sign: This proposed monument signage is not allowed and needs to be removed. This location is reserved for the Town Center West overall project entry sign and not individual use. *The resubmittal still identifies the monument sign at the southwest corner of Latrobe Road and Town Center Blvd. This monument sign shall be removed for the DRC to accept the submittal.*
2. Building Signage:
 - a. Proposed Wording: "SELF STORGE" is proposed to be in green and CLIMATE CONTROL is proposed to be white. Section 6.2 of Appendix 5 of the Approved PD 95-02 & 95-07 Signage Criteria limits the signage to Illuminated Corporate identification letters and symbols. Please revise the final signage to be consistent with the approved signage criteria. *The resubmittal signage is not consistent with the Approved PD95-02 & 95-07 Signage Criteria. The DRC cannot provide approval of the proposed signage and will not be accepted as part of the conceptual review.*
 - b. Final signage drawings shall be submitted separately to the DRC and shall include fabrication and installation documents. *Please provide acknowledgement that it is*

Tim Shannahan
October 26, 2018
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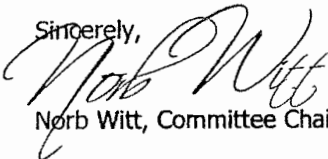
understood all signage shall be reviewed separately by the DRC and the signage submittal shall include all fabrication and installation details/documentation.

Additional Site Comments

1. There shall be no outdoor storage or cars, trucks, RVs, boats or any vehicles of any type. All storage, if any, of this type shall be limited to indoor storage only. The only vehicles that shall be parked at the facility shall be parked on a daily basis and shall be used by employees, maintenance or repair crew vehicles only. No over-night parking shall be allowed. *Please provide acknowledgement and confirm there will be no outside storage of any vehicles of any type.*
2. There is an outstanding drainage issue at the southwest corner of the property, which is creating additional wetlands. A drainage (storm drain) pipe needs to be installed from the southwest corner of the property and extend to the wet land preserve. Please work with the adjacent property owners and the Town Center West Owner's Association (if needed/required) to discuss and provide a solution of the outstanding drainage issue. *Please provide acknowledgement and confirm the outstanding drainage issued will be addressed and remediated prior to a certificate of occupancy of Phase I of the project.*
3. There are required Latrobe Road Frontage Improvements, which have been deferred for many years. These improvements including, but not limited to landscaping shall be completed prior to final DRC occupancy approval is granted. *Please provide acknowledgement and confirmation all outstanding frontage improvements shall be completed prior to a certificate of occupancy of Phase I.*

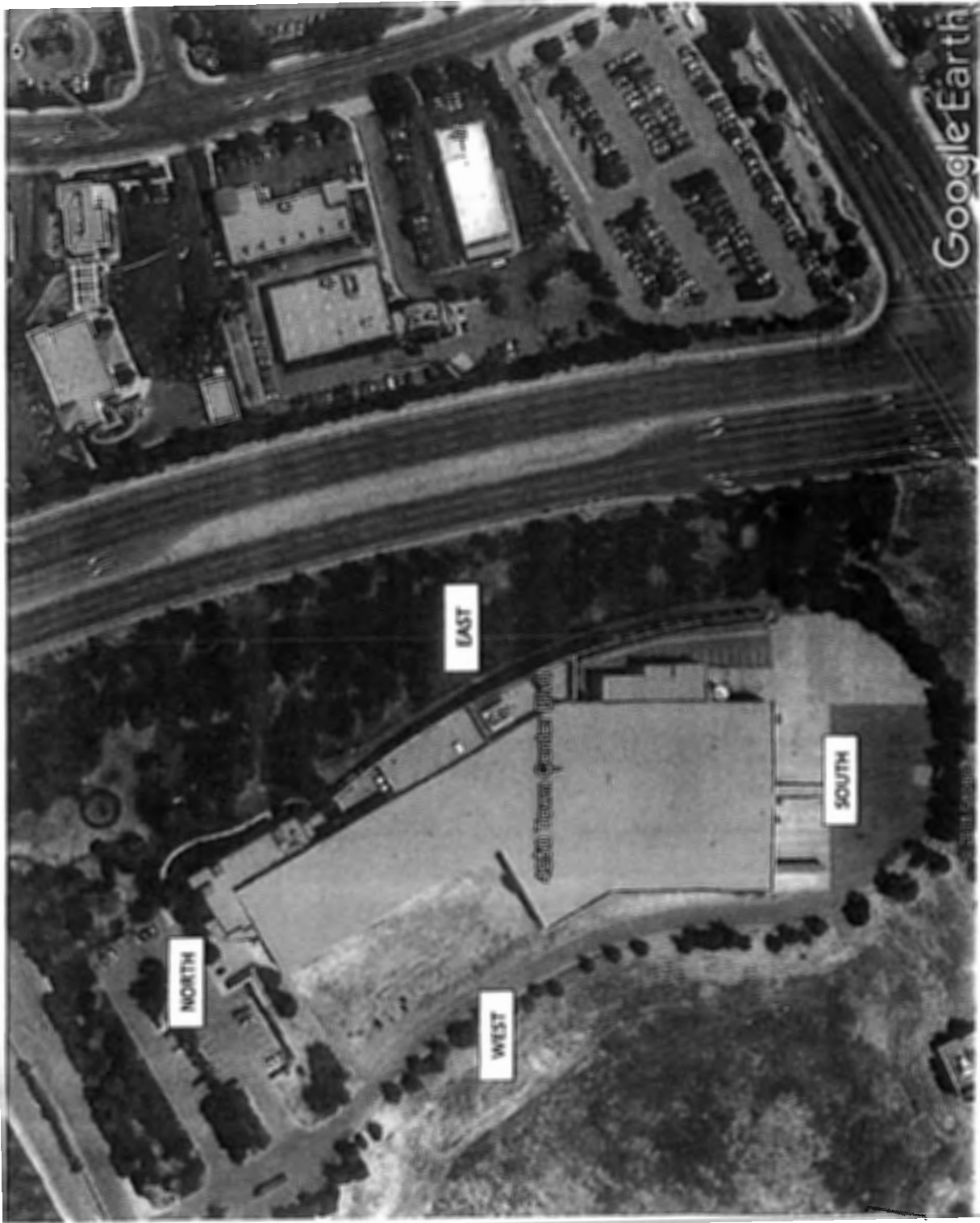
Please provide the DRC with a complete revised submittal, addressing all comments provided by the DRC for its review and approval. The DRC reserves the right to provide additional comments regarding the site, grading, architectural, as well as the landscape design and the planting palette.

Sincerely,



Norb Witt, Committee Chair

cc: Craig Brinitzer, Newmark Knight Frank
Kris Pigman, TPC/VPD I, LLC





EL DORADO HILLS TOWN CENTER WEST
DESIGN REVIEW COMMITTEE

c/o El Dorado Hills Town Center West Owner's Association
4364 Town Center Blvd., Suite 310, El Dorado Hills, CA 95762
Phone: 916.933.3013 Fax 916.933.3018

August 9, 2019

Ponte' Palmero
Senior Retirement Communities
Erik Pilgaard

Sent via email: epilegaa@pacbell.net

Subject: Proposed Landscaping for Superior Self Storage

Dear Mr. Pilgaard;

The purpose of this letter is to follow up on the DRC's previous letter, dated October 5 and December 2, outlining the requirement of the Town Center West Owner's Association Board (Board) approval of the proposed amendment to the Town Center West 95-02 Plan Development (PD). Please provide the status regarding the Board's approval of the PD Amendment?

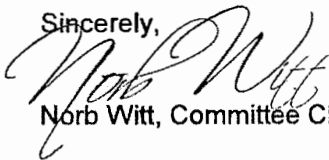
The previous letters also identified the requirement of the proposed landscape plans needing to be consistent with the approved PD Landscape Criteria. Please provide clarification as to how the proposed landscape planting plans are consistent with the PD Landscape Criteria. The Sierra Nevada Arborist report, dated July 25, 2019, identifies one hundred sixteen (116) trees being removed. The Tree Inventory plan, as prepared by Great Valley Design, Inc., identifies the location of one hundred nineteen (119) trees being removed with a note that all trees over the DBH of 4" shall be replaced with a similar species and locations. The replaced trees are recognized by the DRC as "Subsequent Planting" and therefore "shall be matched to maturing tree size or 36" box, whichever is smaller." This is consistent with Section 3.3.4 of the Landscape Character within the Town Center West Design Guidelines and Development Standards. Please revise the planting plans to identifying each "replanted" tree type, size as well as the type and size it is replacing. Furthermore, the Section 3.3.10 of the PD Landscape Character requires "all landscaped areas will be maintained with an automatic irrigation system." It appears the existing landscape area is not being maintained by an automatic irrigation system and thus allowing additional trees to fail and the overall property to become unattractive and unsightly condition. Under Section 3.03 of the recorded TCW Declaration of Covenants, Conditions and Restrictions (CC&R) "each owner has the duty and responsibility for keeping the landscaping within the Lot in a well maintained, safe, clean and attractive

Erik Pilgaard
August 10, 2019
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condition at all times." The current condition of the property is not consistent with Section 3.03 of the CC&Rs.

Finally, the proposed project is still not consistent with the Plan Development which governs the parcels. The DRC's administrative responsibilities are to review and approve project within Town Center West to confirm their consistency with the approved PD95-02 & PD95-07. All documents shall be submitted to the DRC for their review and approval prior to being submitted to El Dorado County Planning for processing the PD Amendment. An approval by El Dorado County Planning does not constitute an approval by the DRC or authority to move forward with the proposed change of use.

Sincerely,



Norb Witt, Committee Chair

Cc: Tiffany Schmid, Director, EDC Planning & Building
Rommel "Mel" Pabalinas, Principal Planner, EDC Planning & Building
Aaron Mount, Senior Planner, EDC Planning & Building
Evan Mattes, Associate Planner, EDC Planning & Building