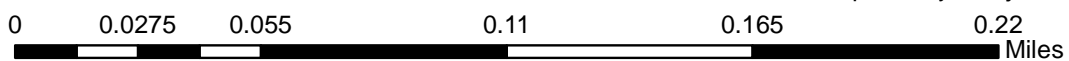
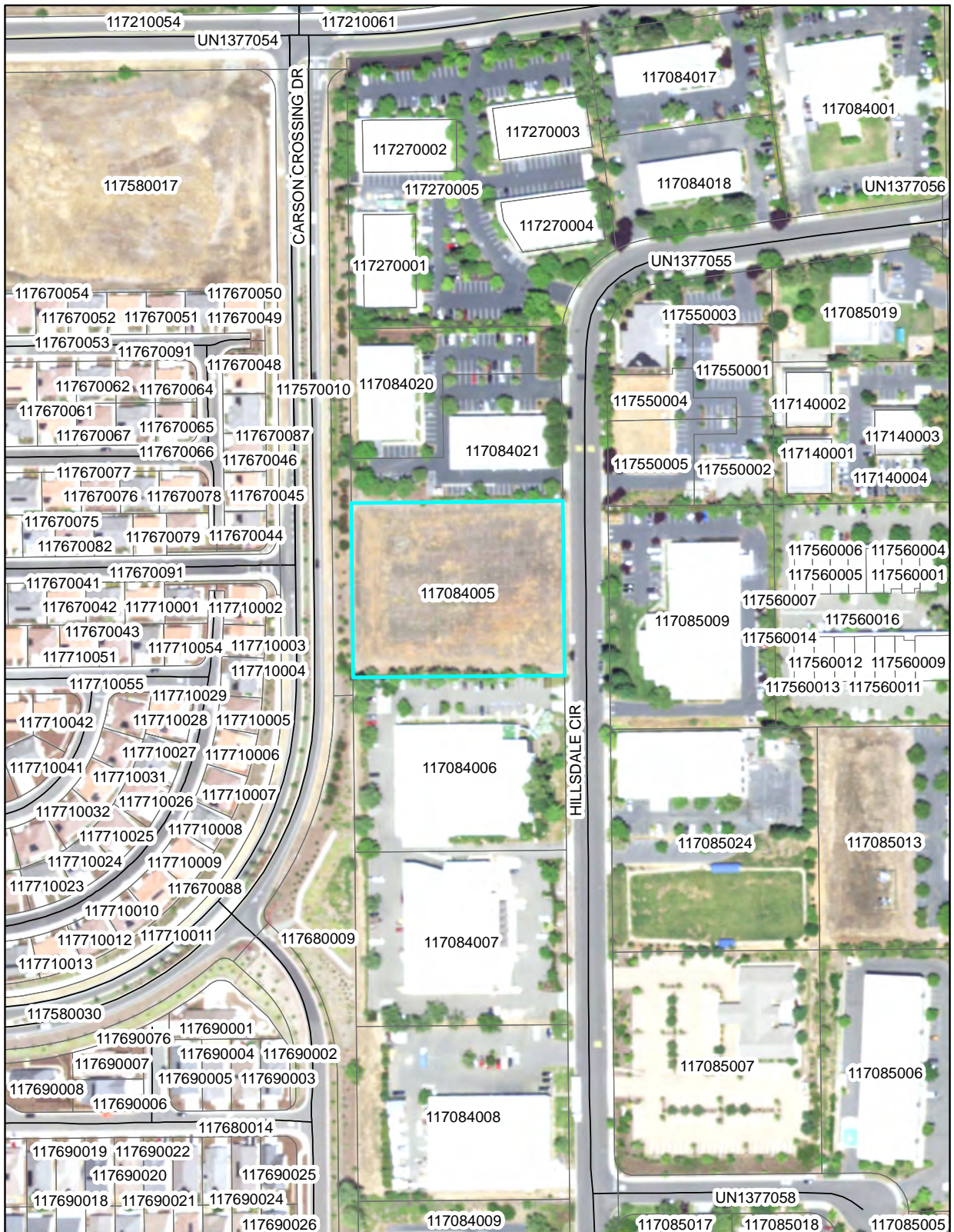


CUP23-0010/EDH VERIZON WIRELESS TELECOMMUNICATIONS FACILITY EXHIBIT B - AERIAL MAP

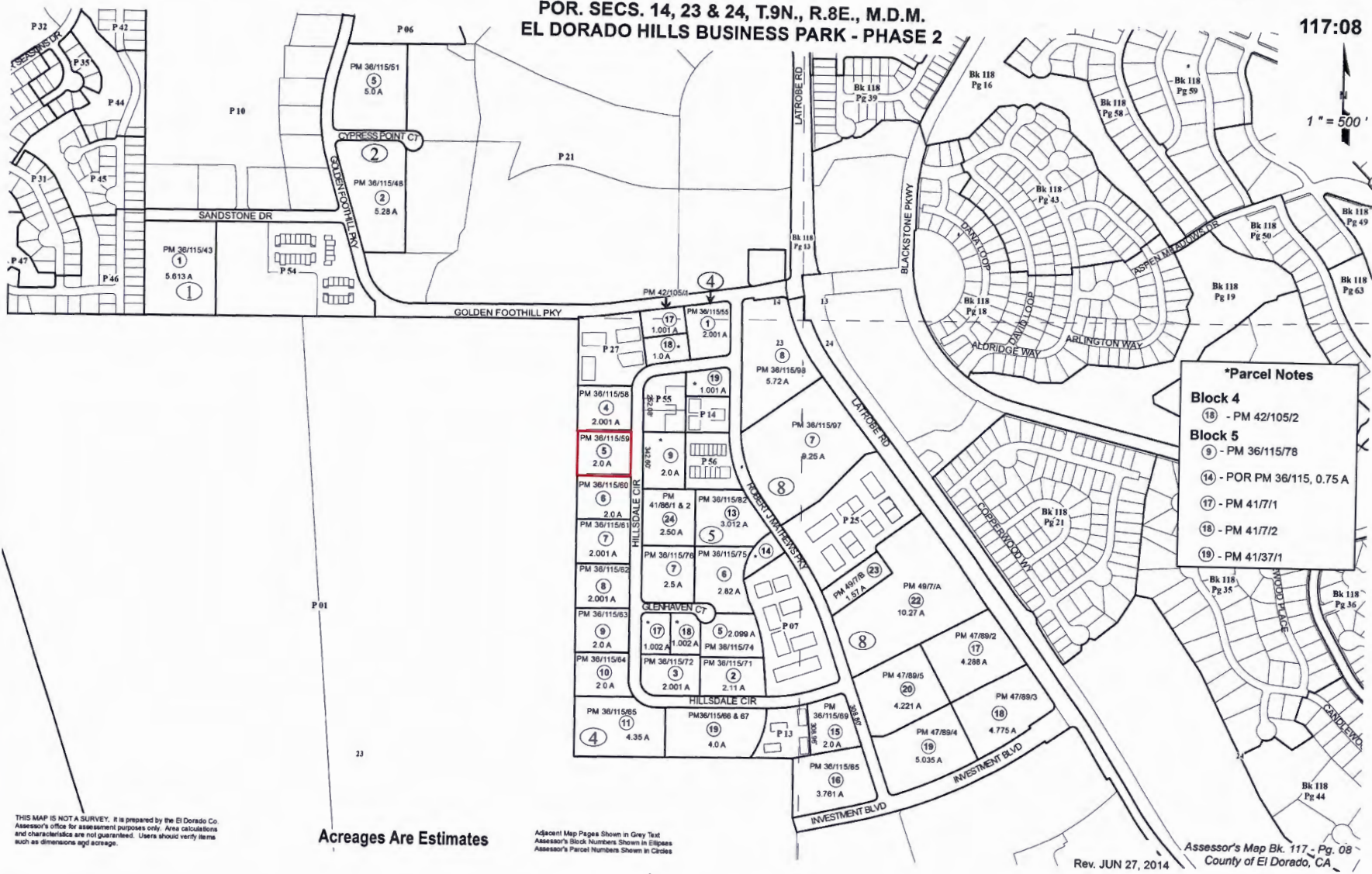


Prepared by: Benjamin Koff 11/7/2023

2023 MAR 31 PM 2:12
 RECEIVED
 PLANNING DEPARTMENT

**POR. SECS. 14, 23 & 24, T.9N., R.8E., M.D.M.
 EL DORADO HILLS BUSINESS PARK - PHASE 2**

117:08
 1" = 500'



***Parcel Notes**

Block 4
 18 - PM 42/105/2

Block 5
 9 - PM 36/115/78
 14 - POR PM 36/115, 0.75 A
 17 - PM 41/7/1
 18 - PM 41/7/2
 19 - PM 41/37/1

THIS MAP IS NOT A SURVEY. It is prepared by the El Dorado Co Assessor's office for assessment purposes only. Area calculations and characteristics are not guaranteed. Users should verify items such as dimensions and acreage.

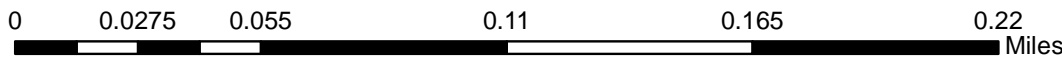
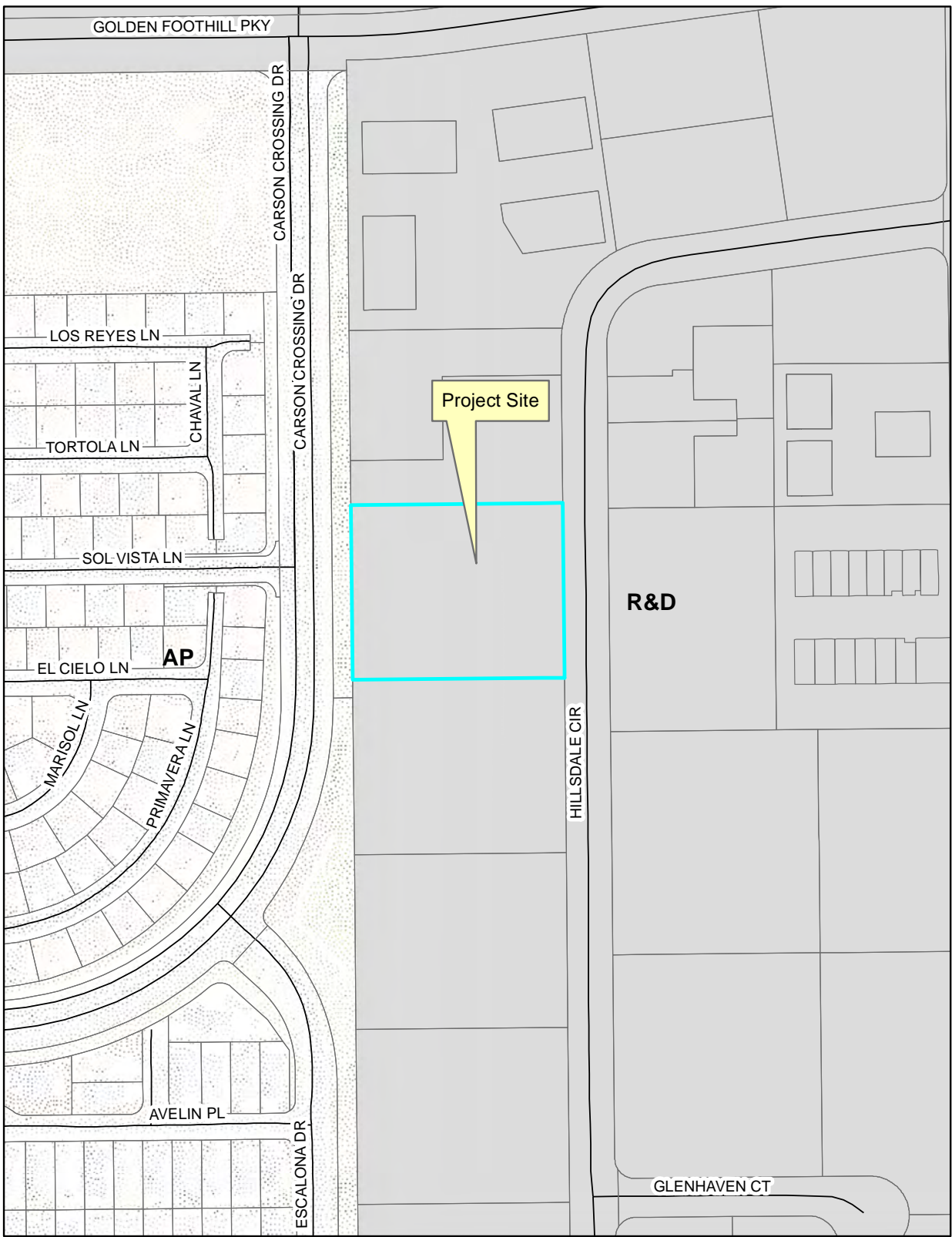
Acreages Are Estimates

Adjacent Map Pages Shown in Grey Text
 Assessor's Block Numbers Shown in Ellipses
 Assessor's Parcel Numbers Shown in Circles

Rev. JUN 27, 2014
 Assessor's Map Bk. 117 - Pg. 08
 County of El Dorado, CA

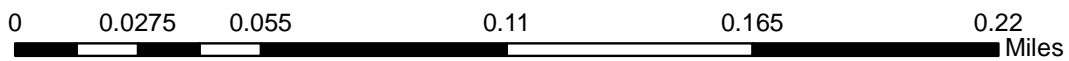
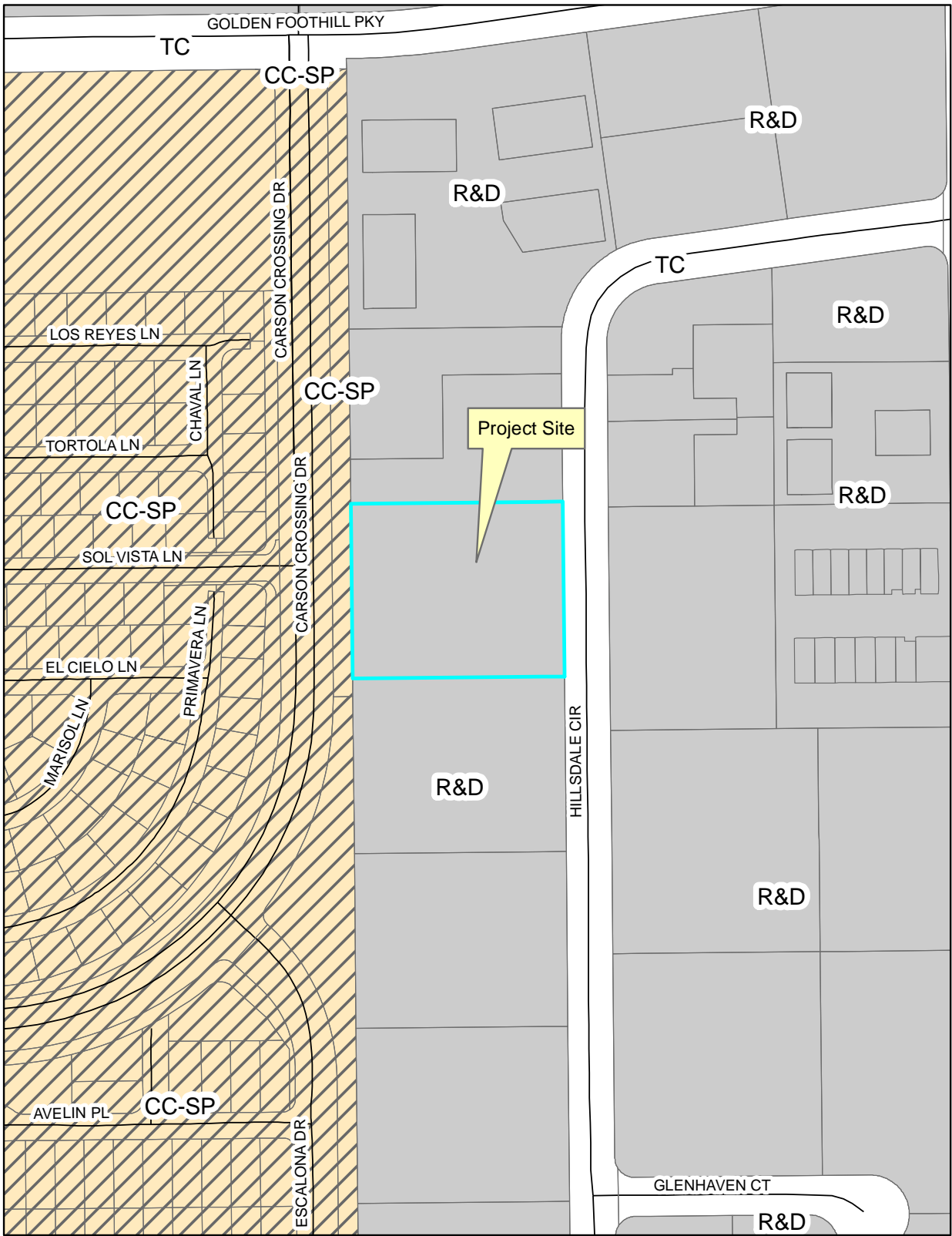
CUP23-0010

CUP23-0010/EDH VERIZON WIRELESS TELECOMMUNICATIONS FACILITY
EXHIBIT D - GENERAL PLAN LAND USE MAP



Prepared by: Benjamin Koff 11/7/2023

CUP23-0010/EDH VERIZON WIRELESS TELECOMMUNICATIONS FACILITY
EXHIBIT E - ZONING MAP



Prepared by: Benjamin Koff 11/7/2023

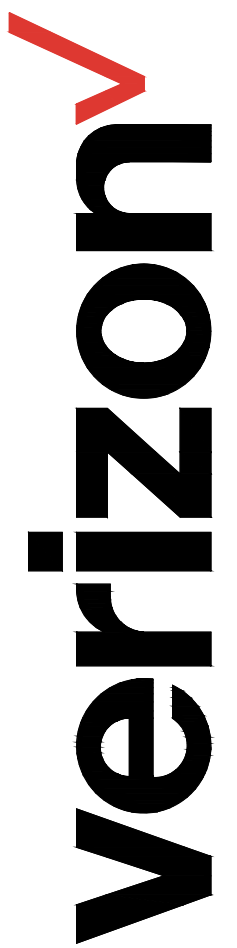


GOLDEN FOOTHILLS
4994 HILLSDALE CIRCLE, EL DORADO HILLS, CA 94585
LOCATION NUMBER: 295540

VERIZON WIRELESS EQUIPMENT ENGINEER:	PROPERTY OWNER:
SIGNATURE _____ DATE _____	SIGNATURE _____ DATE _____
VERIZON WIRELESS CONSTRUCTION:	EPIC WIRELESS GROUP INC – LEASING
SIGNATURE _____ DATE _____	SIGNATURE _____ DATE _____
VERIZON WIRELESS REAL ESTATE:	EPIC WIRELESS GROUP INC – ZONING
SIGNATURE _____ DATE _____	SIGNATURE _____ DATE _____
VERIZON WIRELESS RF ENGINEER:	EPIC WIRELESS GROUP INC – CONSTRUCTION
SIGNATURE _____ DATE _____	SIGNATURE _____ DATE _____

**GOLDEN
FOOTHILLS**

295540
4994 HILLSDALE CIRCLE
EL DORADO HILLS, CA 94585



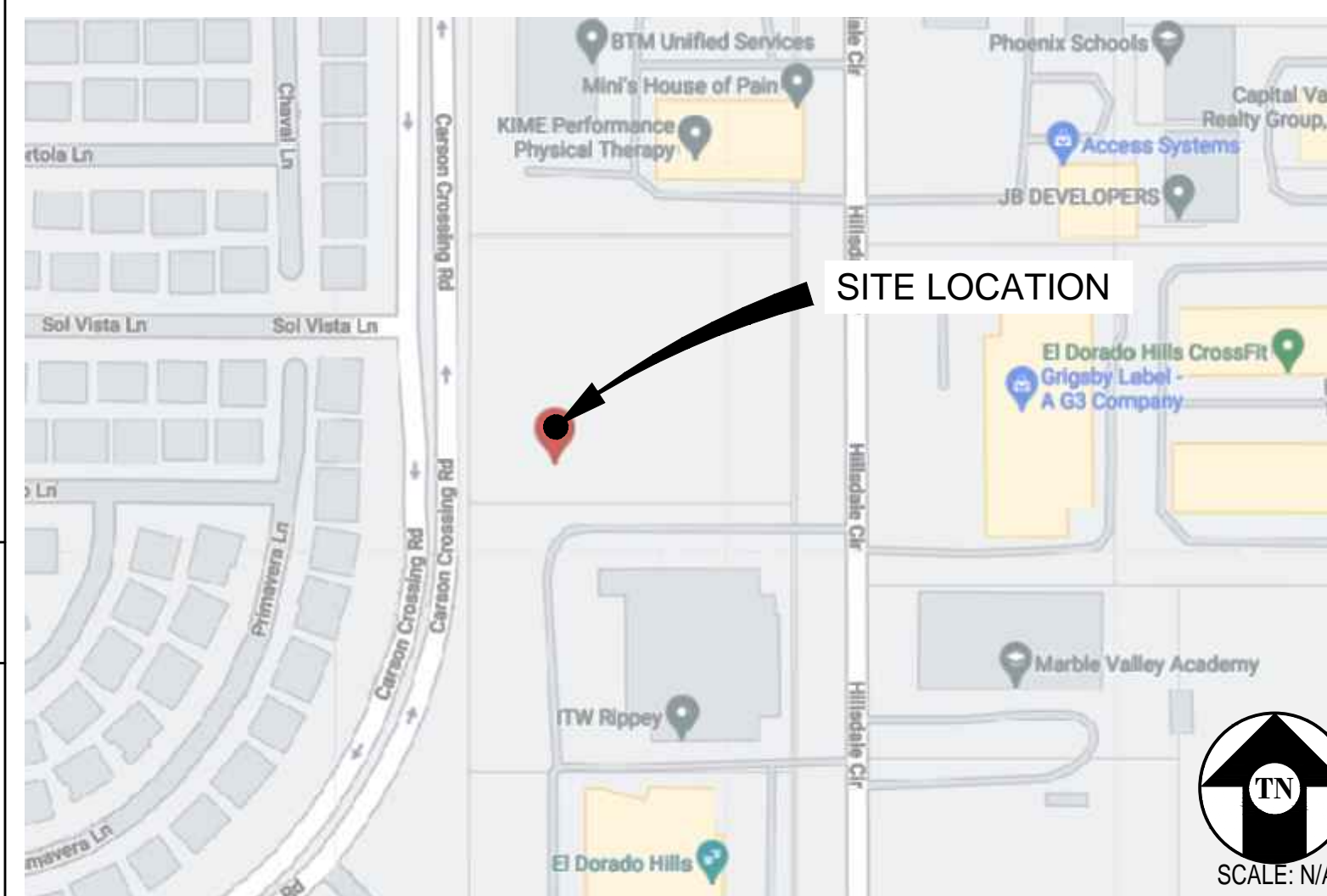
2785 MITCHELL DRIVE, BLDG 9
WALNUT CREEK, CA 94598

PROJECT DESCRIPTION

A (P) VERIZON WIRELESS UNMANNED TELECOMMUNICATION FACILITY CONSISTING OF INSTALLING:

- (P) VERIZON WIRELESS 32'-8"x40'-0" (1,305 SQ FT) LEASE AREA
- (P) MONOPINE
- (9) (P) & (3) (F) ANTENNAS
- (6) (P) & (3) (F) RADIOS @ ANTENNAS
- (4) (P) RAYCAP 6627 SURGE SUPPRESSORS, (2) @ EQUIPMENT & (2) @ ANTENNAS
- (2) (P) 12X24 HYBRID CABLES
- (P) UTILITIES TO (P) SITE LOCATION

VICINITY MAP



CODE COMPLIANCE

ALL WORK & MATERIALS SHALL BE PERFORMED & INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES:

- 2019 CALIFORNIA ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R.
- 2019 CALIFORNIA BUILDING CODE (CBC), PART 2, VOLUME 1&2, TITLE 24 C.C.R. (2018 INTERNATIONAL BUILDING CODE AND 2019 CALIFORNIA AMENDMENTS)
- 2019 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R. (2017 NATIONAL ELECTRICAL CODE AND 2019 CALIFORNIA AMENDMENTS)
- 2019 CALIFORNIA MECHANICAL CODE (CMC) PART 4, TITLE 24 C.C.R. (2018 UNIFORM MECHANICAL CODE AND 2019 CALIFORNIA AMENDMENTS)
- 2019 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R. (2018 UNIFORM PLUMBING CODE AND 2019 CALIFORNIA AMENDMENTS)
- 2019 CALIFORNIA ENERGY CODE (CEC), PART 6, TITLE 24 C.C.R.
- 2019 CALIFORNIA FIRE CODE, PART 9, TITLE 24 C.C.R. (2018 INTERNATIONAL FIRE CODE AND 2019 CALIFORNIA AMENDMENTS)
- 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE, PART 11, TITLE 24 C.C.R.
- 2019 CALIFORNIA REFERENCED STANDARDS, PART 12, TITLE 24 C.C.R.

ALONG WITH ANY OTHER APPLICABLE LOCAL & STATE LAWS AND REGULATIONS

DISABLED ACCESS REQUIREMENTS

THIS FACILITY IS UNMANNED & NOT FOR HUMAN HABITATION. DISABLED ACCESS & REQUIREMENTS ARE NOT REQUIRED IN ACCORDANCE WITH CALIFORNIA STATE BUILDING CODE, TITLE 24 PART 2, SECTION 11B-203.5

PROJECT INFORMATION

SITE NAME:	GOLDEN FOOTHILLS	SITE ACQUISITION COMPANY:	EPIC WIRELESS GROUP 605 COOLIDGE DRIVE, SUITE 100 FOLSOM, CA 95630
SITE #:	295540	LEASING CONTACT:	ATTN: MELISSA VIOS (916) 755-2480 MELISSA.VIOS@EPICWIRELESS.NET
COUNTY:	EL DORADO	ZONING CONTACT:	ATTN: MELISSA VIOS (916) 755-2480 MELISSA.VIOS@EPICWIRELESS.NET
JURISDICTION:	EL DORADO COUNTY	CONSTRUCTION CONTACT:	ATTN: JOE ZAGAR (916) 747-5758 JOE.ZAGAR@EPICWIRELESS.NET
APN:	117-084-005-000		
SITE ADDRESS:	4994 HILLSDALE CIRCLE EL DORADO HILLS, CA 94585		
CURRENT ZONING:	VACANT/INDUSTRIAL		
CONSTRUCTION TYPE:	V-B		
OCCUPANCY TYPE:	U, (UNMANNED COMMUNICATIONS FACILITY)		
POWER:	PG&E		
LATITUDE:	N 38° 37' 28.61" NAD 83		
LONGITUDE:	W 121° 03' 47.05" NAD 83		
GROUND ELEVATION:	533' AMSL		
PROPERTY OWNER:	GOLD RUSH HILL A CA LLC 1261 HAWKS FLIGHT COURT, SUITE H EL DORADO HILLS, CA 95762		
APPLICANT:	VERIZON WIRELESS 2785 MITCHELL DRIVE, BLDG 9 WALNUT CREEK, CA 94598		

DRIVING DIRECTIONS

FROM:	2785 MITCHELL DRIVE, BLDG 9, WALNUT CREEK, CA 94598
TO:	4994 HILLSDALE CIRCLE, EL DORADO HILLS, CA 94585
	<ol style="list-style-type: none"> 1. START OUT GOING NORTHEAST ON MITCHELL DR TOWARD OAK GROVE RD. 0.12 MILES 2. TURN LEFT ONTO OAK GROVE RD. 0.54 MILES 3. TURN LEFT ONTO TREAT BLVD. 2.16 MILES 4. TURN RIGHT ONTO BUSKIRK AVE. 0.21 MILES 5. MERGE ONTO I-680 N (PORTIONS TOLL). 7.98 MILES 6. MERGE ONTO I-680 N (PORTIONS TOLL). 14.20 MILES 7. MERGE ONTO I-80 E VIA EXIT 71A TOWARD SACRAMENTO. 41.44 MILES 8. MERGE ONTO US-50 E VIA EXIT 82 ON THE LEFT TOWARD SOUTH LAKE TAHOE/SACRAMENTO. 29.44 MILES 9. MERGE ONTO LATROBE RD VIA EXIT 30A. 2.17 MILES 10. TURN RIGHT ONTO GOLDEN FOOTHILL PKWY. 0.07 MILES 11. TURN LEFT ONTO ROBERT J MATHEWS PKWY. 0.08 MILES 12. TURN RIGHT ONTO HILLSDALE CIR. 0.19 MILES
END AT:	4994 HILLSDALE CIRCLE, EL DORADO HILLS, CA 94585
ESTIMATED TIME:	1 HOUR 40 MINUTES
ESTIMATED DISTANCE:	98.6 MILES

SHEET INDEX

SHEET	DESCRIPTION	REV
T-1.1	TITLE SHEET	-
C-1	TOPOGRAPHIC SURVEY	-
A-1.1	SITE PLAN	-
A-1.2	EQUIPMENT PLAN	-
A-2.1	ANTENNA PLAN	-
A-3.1	ELEVATIONS	-
A-4.1	DETAILS	-
E-1.1	ELECTRICAL PLAN	-
<u>LANDSCAPING PLAN BY OTHERS (DATED 12/15/22)</u>		
L-1.0	IRRIGATION PLAN	-
L-1.1	IRRIGATION NOTES & DETAILS	-
L-2.0	PLANTING PLAN	-
L-2.1	PLANTING NOTES & DETAIL	-

Streamline Engineering and Design, Inc.
8445 Sierra College Blvd, Suite E Granite Bay, CA 95746
Contact: Kevin Sorenson Phone: 916-860-1930
E-Mail: kevin@streamlineeng.com Fax: 916-860-1941

THIS DRAWING AND DESIGN IS THE PROPERTY OF STREAMLINE ENGINEERING AND DESIGN, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. NO PART OF THIS DRAWING OR DESIGN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. Copyright © 2022 Streamline Engineering and Design, Inc. All Rights Reserved.

**PRELIMINARY:
NOT FOR
CONSTRUCTION**

KEVIN R. SORENSON
S4469

ISSUE STATUS

Δ	DATE	DESCRIPTION	REV.
	04/08/22	ZD 90%	-
	05/17/22	CLIENT REV	C.C.
	08/18/22	ZD 100%	C.C.
	08/31/22	CLIENT REV	C.C.
	12/20/22	CLIENT REV	C.C.
	-	-	-

DRAWN BY:	C. CODY
CHECKED BY:	J. GRAY
APPROVED BY:	-
DATE:	12/20/22

SHEET TITLE:

TITLE SHEET

SHEET NUMBER:

T-1.1

CUP23-0010/EDH VERIZON WIRELESS TELECOMMUNICATIONS FACILITY
EXHIBIT F - SITE PLAN

LEASE AREA DESCRIPTION

All that certain lease area being a portion of Parcel 59 as is shown on that certain Parcel Map recorded at Book 36 of Parcel Maps at Page 115, El Dorado County Records, State of California, and being a portion of the Section 23, Township 9 North, Range 8 East, M.D.B. & M, being more particularly described as follows:

Commencing at a survey spike and washer set for the Northerly terminus of that certain centerline tangent of Carson Crossing Drive labeled "N00°34'36"W 963.21'" as is shown that certain Tract Map filed for record at Book "J" of Maps at Page 135, Official Records, from which a similar monument bears South 25°45'02" West 1632.40 feet; thence from said point of commencement South 07°00'45" East 892.14 feet to the True Point of Beginning; thence from said point of beginning South 00°34'36" East 40.00 feet; thence North 89°25'24" East 32.67 feet; thence North 00°34'36" West 40.00 feet; thence South 89°25'24" West 32.67 feet to the point of beginning.

Together with a non-exclusive easement for access and utility purposes fifteen feet in width the centerline of which is described as follows: beginning at a point which bears North 00°34'36" West 7.50 feet from the Northwest corner of the above described lease area and running thence North 89°25'24" East 40.17 feet to a point hereafter defined as Point "A"; thence North 00°19'57" West 159.42 feet; thence North 66°05'55" East 31.83 feet; thence North 89°37'57" East 62.31 feet to a point hereafter defined as Point "B"; thence continuing North 89°37'57" East 162.7 feet more or less to the public right of way.

Also together with a non-exclusive easement for access and utility purposes fifteen feet in width the centerline of which is described as follows: beginning at Point "A" as previously defined and running thence South 00°19'57" East 31.90 feet; thence North 89°16'44" East 255.0 feet more or less to the public right of way.

Also together with a non-exclusive easement for utility purposes ten feet in width the centerline of which is described as follows: beginning at Point "B" as previously defined and running thence North 00°50'27" West 24.8 feet more or less to the existing transformer and also from said Point "B" and running thence South 00°50'27" East 18.6 feet more or less to the existing utility room and electrical facilities.

Also together with a non-exclusive easement for utility purposes ten feet in width the centerline of which is described as follows: beginning at a point which bears North 00°34'36" West 0.79 feet from the Southeast corner of the above described lease area and running thence North 89°15'35" East 262.4 feet more or less to the public right of way.

Also together with a non-exclusive easement for utility purposes ten feet in width the centerline of which is described as follows: beginning at a point which bears South 89°25'24" West 6.90 feet from the Northeast corner of the above described lease area and running thence North 00°19'57" West 163.45 feet to a point hereafter defined as Point "C"; thence South 66°05'55" West 28.9 feet more or less to the existing electrical box.

Also together with a non-exclusive easement for utility purposes ten feet in width the centerline of which is described as follows: beginning at Point "C" as previously defined and running thence North 66°05'55" East 15.60 feet.

THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATION AS INSTRUMENTS OF SERVICE, ARE THE EXCLUSIVE PROPERTY OF GEIL ENGINEERING AND THEIR USE AND PUBLICATION SHALL BE RESTRICTED TO THE ORIGINAL SITE AND CARRIER FOR WHICH THEY ARE PREPARED. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED EXCEPT BY WRITTEN PERMISSION FROM GEIL ENGINEERING TITLE TO THESE PLANS AND/OR SPECIFICATIONS SHALL REMAIN WITH GEIL ENGINEERING WITHOUT PREJUDICE AND VISUAL CONTACT WITH THEM SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

BOUNDARY SHOWN IS BASED ON MONUMENTATION FOUND AND RECORD INFORMATION. THIS IS NOT A BOUNDARY SURVEY. THIS IS A SPECIALIZED TOPOGRAPHIC MAP WITH PROPERTY LINES AND EASEMENTS BEING A GRAPHIC DEPICTION BASED ON INFORMATION GATHERED FROM VARIOUS SOURCES OF RECORD AND AVAILABLE MONUMENTATION FOUND DURING THE FIELD SURVEY. PROPERTY LINES AND LINES OF TITLE WERE NOT INVESTIGATED NOR SURVEYED EXCEPT AS SHOWN ON THIS PLAN. NO PROPERTY MONUMENTS WERE SET.

DATE OF SURVEY: 03-23-22

SURVEYED BY OR UNDER DIRECTION OF: KENNETH D. GEIL, R.C.E. 14803

LOCATED IN THE COUNTY OF EL DORADO, STATE OF CALIFORNIA

BEARINGS SHOWN ARE BASED UPON MONUMENTS FOUND AND RECORD INFORMATION. THIS IS NOT A BOUNDARY SURVEY.

ELEVATIONS SHOWN ON THIS PLAN ARE BASED UPON U.S.G.S. N.A.V.D. 88 DATUM. ABOVE MEAN SEA LEVEL.

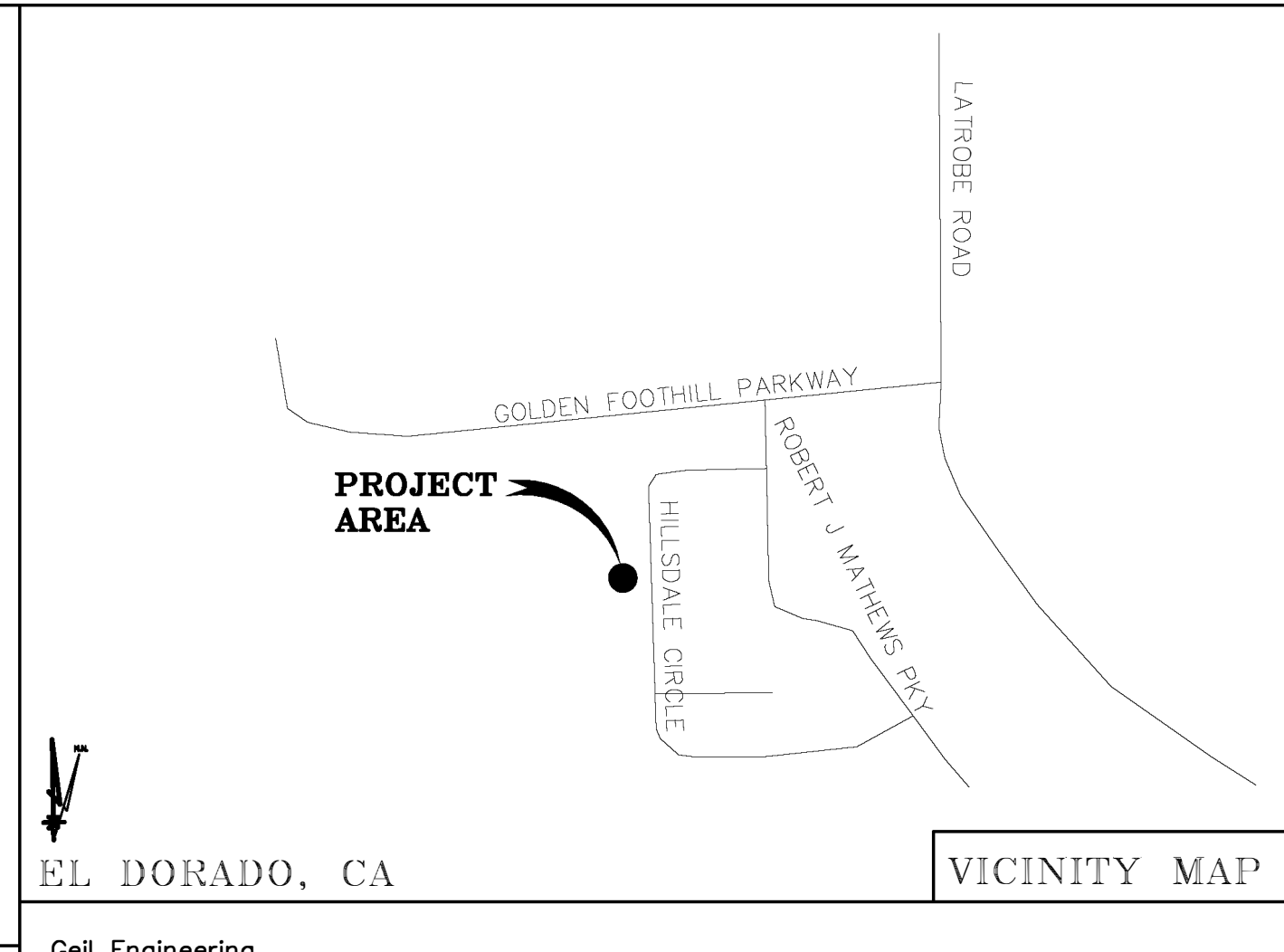
N.G.V.D. 1929 CORRECTION: SUBTRACT 2.56' FROM ELEVATIONS SHOWN.

CONTOUR INTERVAL: 1'

CONTRACTOR IS RESPONSIBLE TO VERIFY LEASE AREA PRIOR TO CONSTRUCTION.

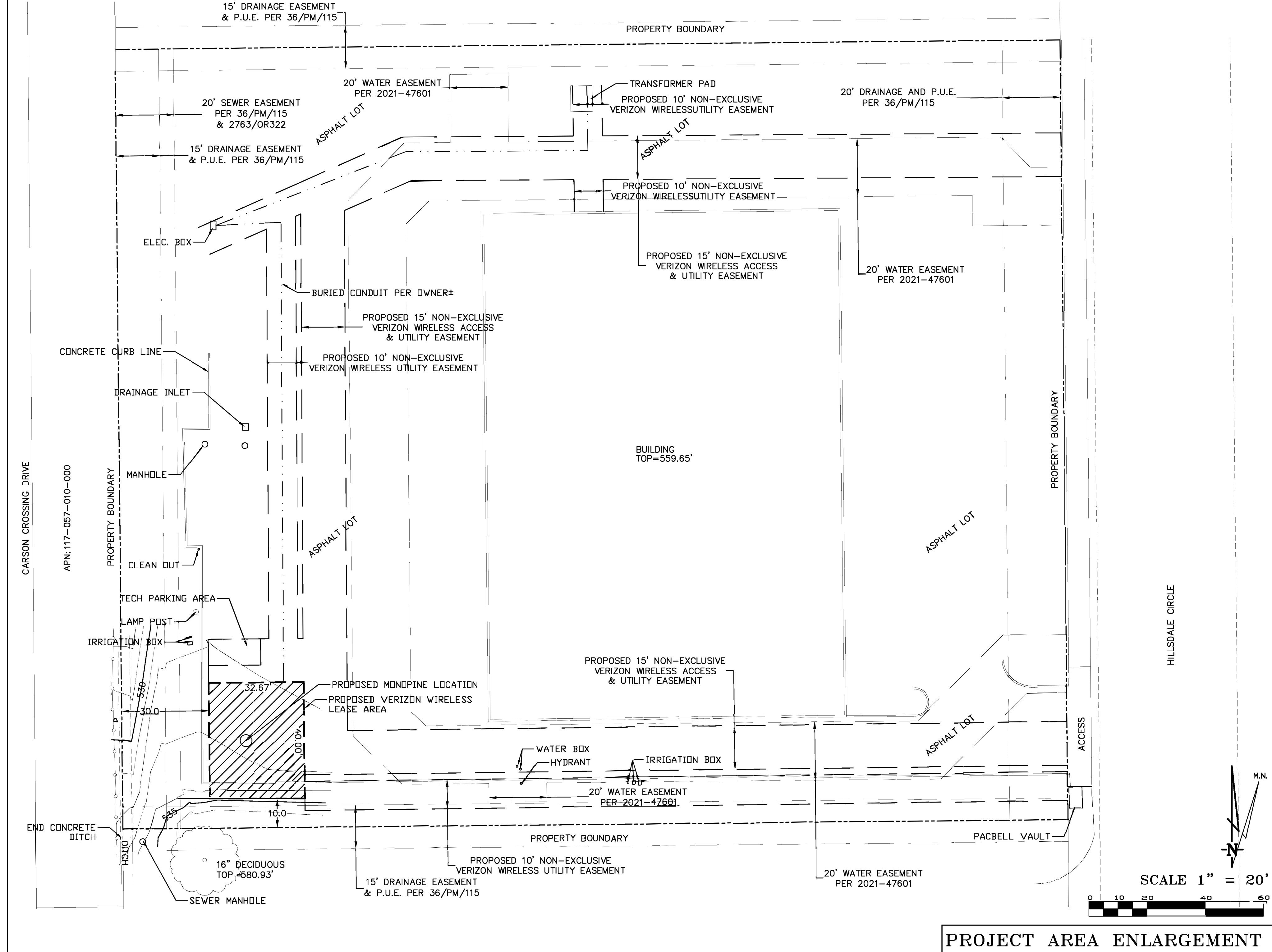
ASSESSOR'S PARCEL NUMBER: 117-084-005-000

OWNER(S): GOLD RUSH HILL A CA LLC
1261 HAWKS FLIGHT COURT #1
EL DORADO HILLS, CA 95762



DEPT	APPROVED	DATE
A&C		
RF		
INT		
EE/IN		
OPS		
EE/OUT		

Surveyor: **GEIL ENGINEERING**
ENGINEERING * SURVEYING * PLANNING
1226 HIGH STREET
AUBURN, CALIFORNIA 95603
Phone: (530) 885-0426 Fax: (530) 823-1309



El Dorado, CA

Cell Engineering
Engineering * Surveying * Planning
1226 High Street
Auburn, California 95603-5015
Phone: (530) 885-0426 * Fax: (530) 823-1309

Verizon Wireless

Project Name: Golden Foothills

Project Site Location: 4994 Hillsdale Circle
El Dorado Hills, CA 95762
El Dorado County

Date of Observation: 03-23-22

Equipment/Procedure Used to Obtain Coordinates: Trimble Pathfinder
Pro XL post processed with Pathfinder Office software.

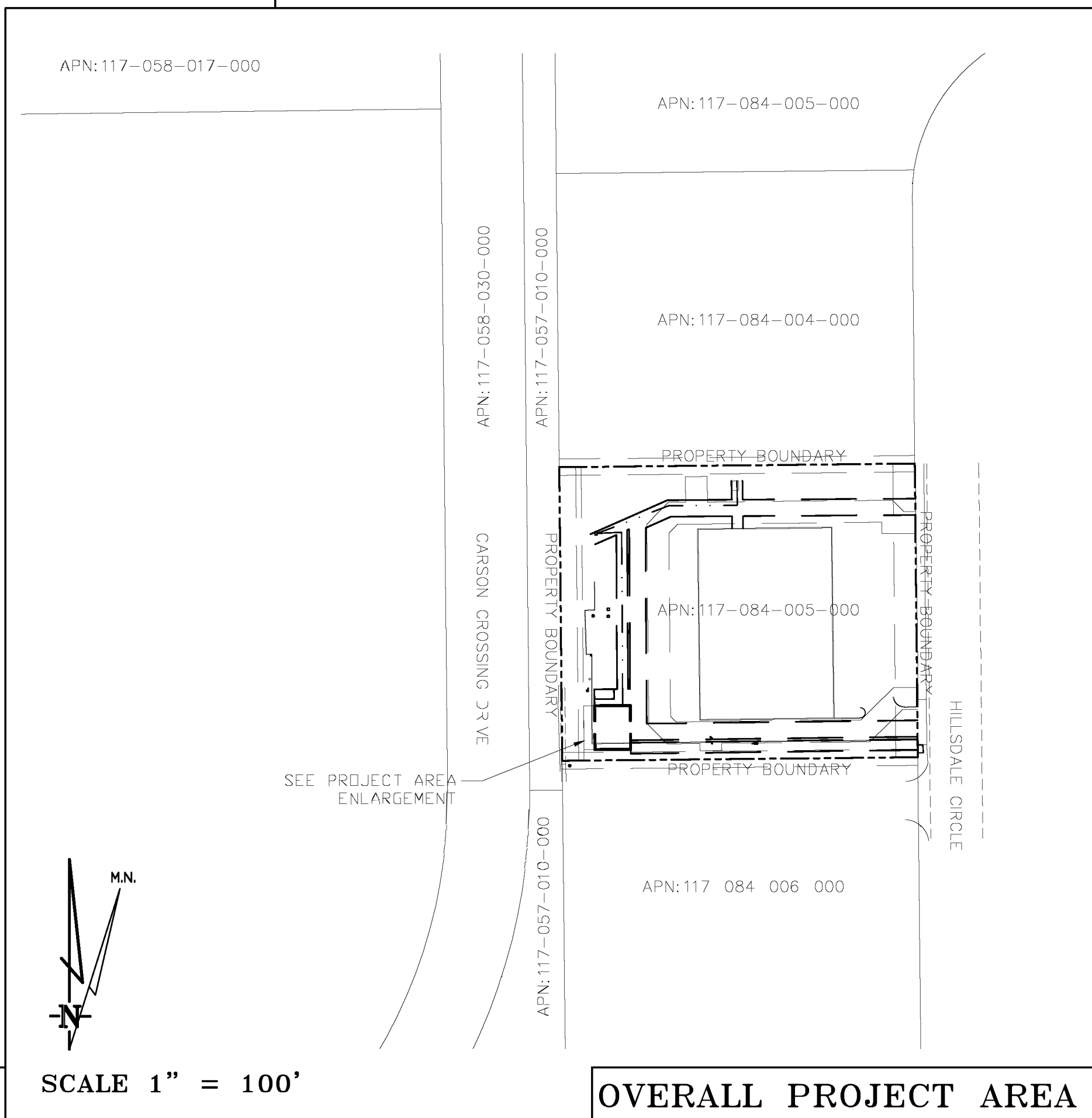
Type of Antenna Mount: Proposed Monopine

Coordinates (Tower)
Latitude: N 38° 37' 28.61" (NAD83) N 38° 37' 28.95" (NAD27)
Longitude: W 121° 03' 47.05" (NAD83) W 121° 03' 43.25" (NAD27)

ELEVATION of Ground at Structure (NAVD88) 533' AMSL

CERTIFICATION: I, the undersigned, do hereby certify elevation listed above is based on a field survey done under my supervision and that the accuracy of those elevations meet or exceed 1-A Standards as defined in the FAA ASAC Information Sheet 91-003, and that they are true and accurate to the best of my knowledge and belief.

Kenneth D. Geil California RCE 14803



GOLDEN FOOTHILLS
4994 HILLSDALE CIRCLE
EL DORADO HILLS, CA 95762

PLOT PLAN AND SITE TOPOGRAPHY

REVISIONS	REV	DATE	DESCRIPTION
	03-24-22		DRAWING SUBMITTAL
	04-04-22		TITLE WORK
	05-18-22		LEASE AREA MOD.
	06-30-22		LEASE AREA MOD.

Sheet **C-1**

CUP23-0010/EDH VERIZON WIRELESS TELECOMMUNICATIONS FACILITY
EXHIBIT F - SITE PLAN

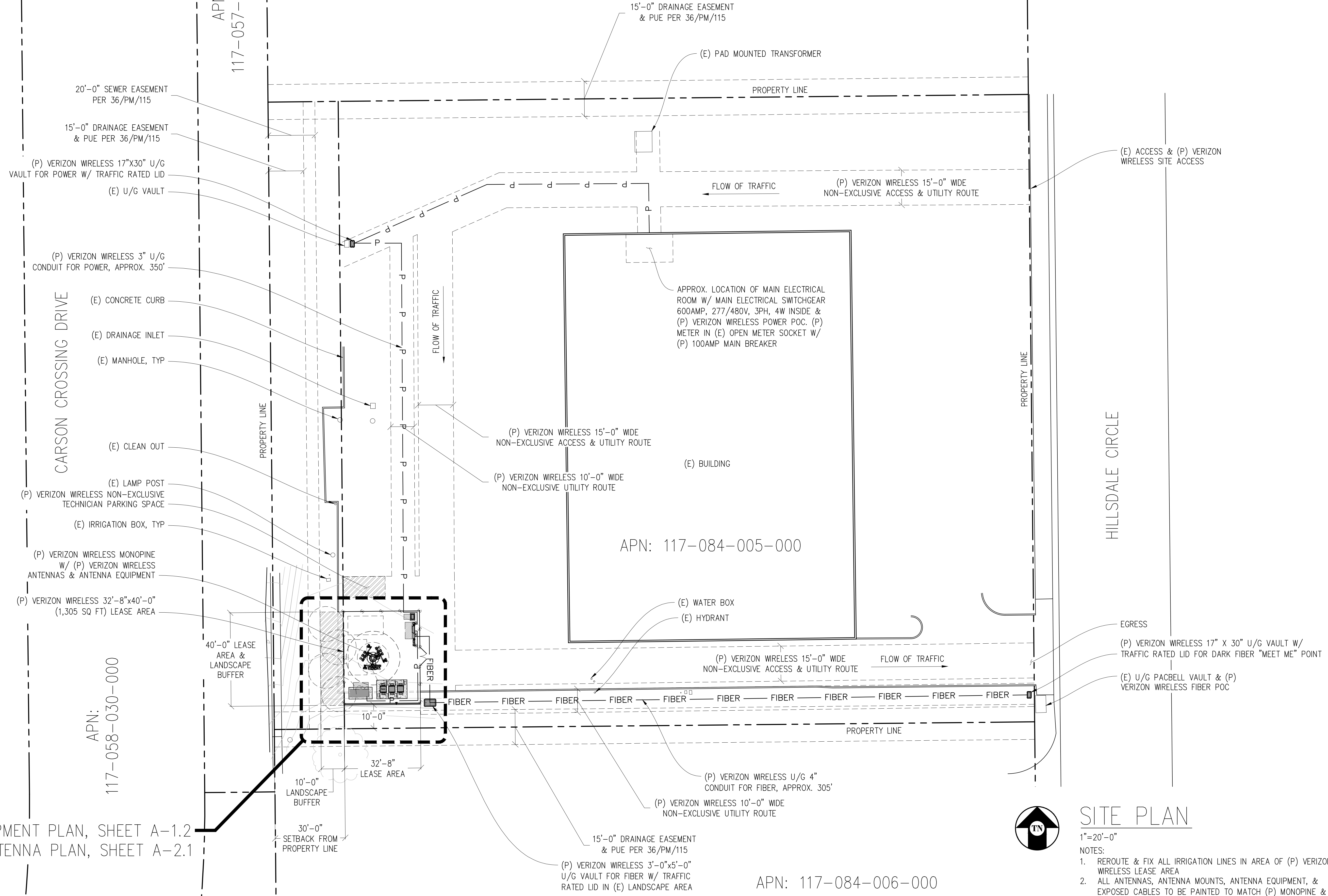
APN: 117-084-004-000

APN: 117-057-010-000

APN: 117-058-030-000

APN: 117-084-005-000

APN: 117-084-006-000



SEE EQUIPMENT PLAN, SHEET A-1.2
& ANTENNA PLAN, SHEET A-2.1

- SITE PLAN**
1"=20'-0"
- NOTES:
1. REROUTE & FIX ALL IRRIGATION LINES IN AREA OF (P) VERIZON WIRELESS LEASE AREA
 2. ALL ANTENNAS, ANTENNA MOUNTS, ANTENNA EQUIPMENT, & EXPOSED CABLES TO BE PAINTED TO MATCH (P) MONOPINE & BE FULLY WITHIN THE BRANCH RADIUS
 3. ALL ANTENNAS TO BE COVERED IN MONOPINE SOCKS



**GOLDEN
FOOTHILLS**

295540
4994 HILLSDALE CIRCLE
EL DORADO HILLS, CA 94585

verizon

2785 MITCHELL DRIVE, BLDG 9
WALNUT CREEK, CA 94598

**Streamline Engineering
& Design, Inc.**

8445 Sierra College Blvd, Suite E Granite Bay, CA 95746
Contact: Kevin Sorenson Phone: 916-660-1930
E-Mail: kevin@streamlineeng.com Fax: 916-660-1941

THIS DRAWING IS THE PROPERTY OF STREAMLINE ENGINEERING AND DESIGN, INC. IT IS TO BE USED ONLY FOR THE PROJECTS SPECIFICALLY IDENTIFIED IN THE TITLE BLOCK. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. Copyright © 2022 Streamline Engineering and Design, Inc. All Rights Reserved.

**PRELIMINARY:
NOT FOR
CONSTRUCTION**

KEVIN R. SORENSON
S4469

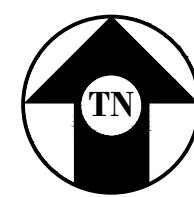
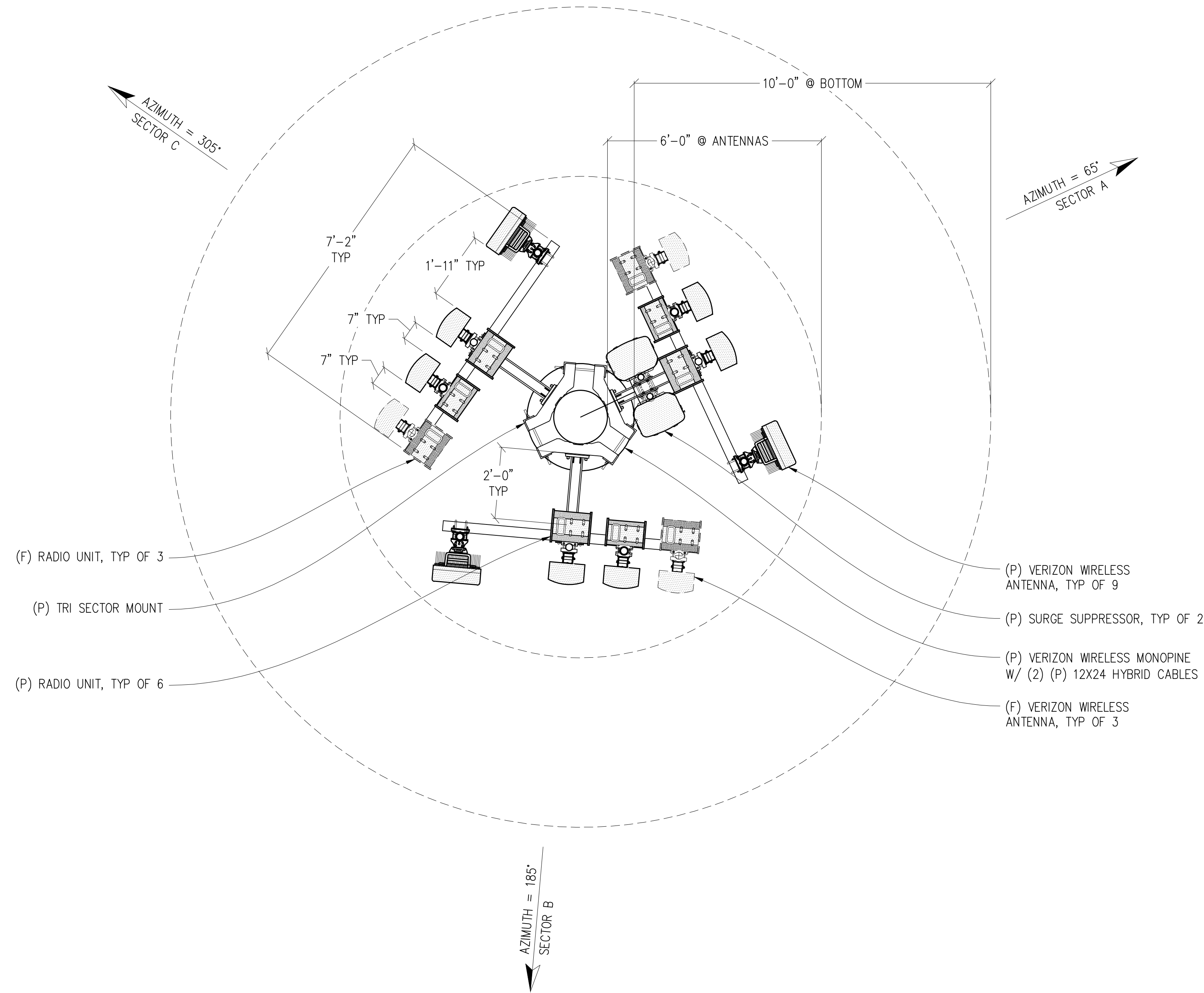
ISSUE STATUS

Δ	DATE	DESCRIPTION	REV.
	04/08/22	ZD 90%	-
	05/17/22	CLIENT REV	C.C.
	08/18/22	ZD 100%	C.C.
	08/31/22	CLIENT REV	C.C.
	12/20/22	CLIENT REV	C.C.
	-	-	-

DRAWN BY: C. CODY
CHECKED BY: J. GRAY
APPROVED BY: -
DATE: 12/20/22

SHEET TITLE:
SITE PLAN

SHEET NUMBER:
A-1.1



ANTENNA PLAN

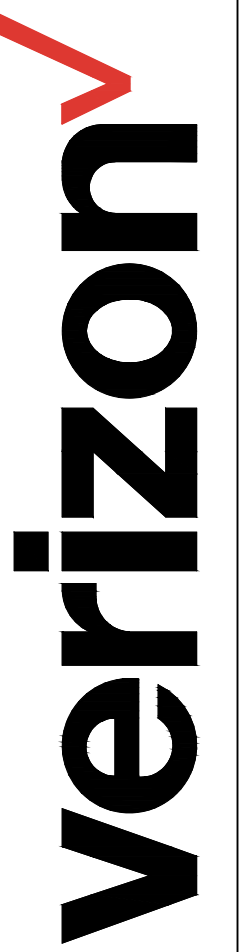
1/2" = 1'-0"

NOTES:

1. ALL ANTENNAS, ANTENNA MOUNTS, ANTENNA EQUIPMENT, & EXPOSED CABLES TO BE PAINTED TO MATCH (P) MONOPINE & BE FULLY WITHIN THE BRANCH RADIUS
2. ALL ANTENNAS TO BE COVERED IN MONOPINE SOCKS

**GOLDEN
FOOTHILLS**

295540
4994 HILLSDALE CIRCLE
EL DORADO HILLS, CA 94585



2785 MITCHELL DRIVE, BLDG 9
WALNUT CREEK, CA 94598

**Streamline Engineering
and Design, Inc.**

8445 Sierra College Blvd, Suite E Granite Bay, CA 95746
Contact: Kevin Sorensen Phone: 916-660-1930
E-Mail: kevin@streamlineeng.com Fax: 916-660-1941

THIS DRAWING IS THE PROPERTY OF STREAMLINE ENGINEERING AND DESIGN, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. Copyright © 2022 Streamline Engineering and Design, Inc. All rights reserved.

**PRELIMINARY:
NOT FOR
CONSTRUCTION**

KEVIN R. SORENSEN
S4469

ISSUE STATUS

Δ	DATE	DESCRIPTION	REV.
	04/08/22	ZD 90%	-
	05/17/22	CLIENT REV	C.C.
	08/18/22	ZD 100%	C.C.
	08/31/22	CLIENT REV	C.C.
	12/20/22	CLIENT REV	C.C.
	-	-	-

DRAWN BY: C. CODY

CHECKED BY: J. GRAY

APPROVED BY: -

DATE: 12/20/22

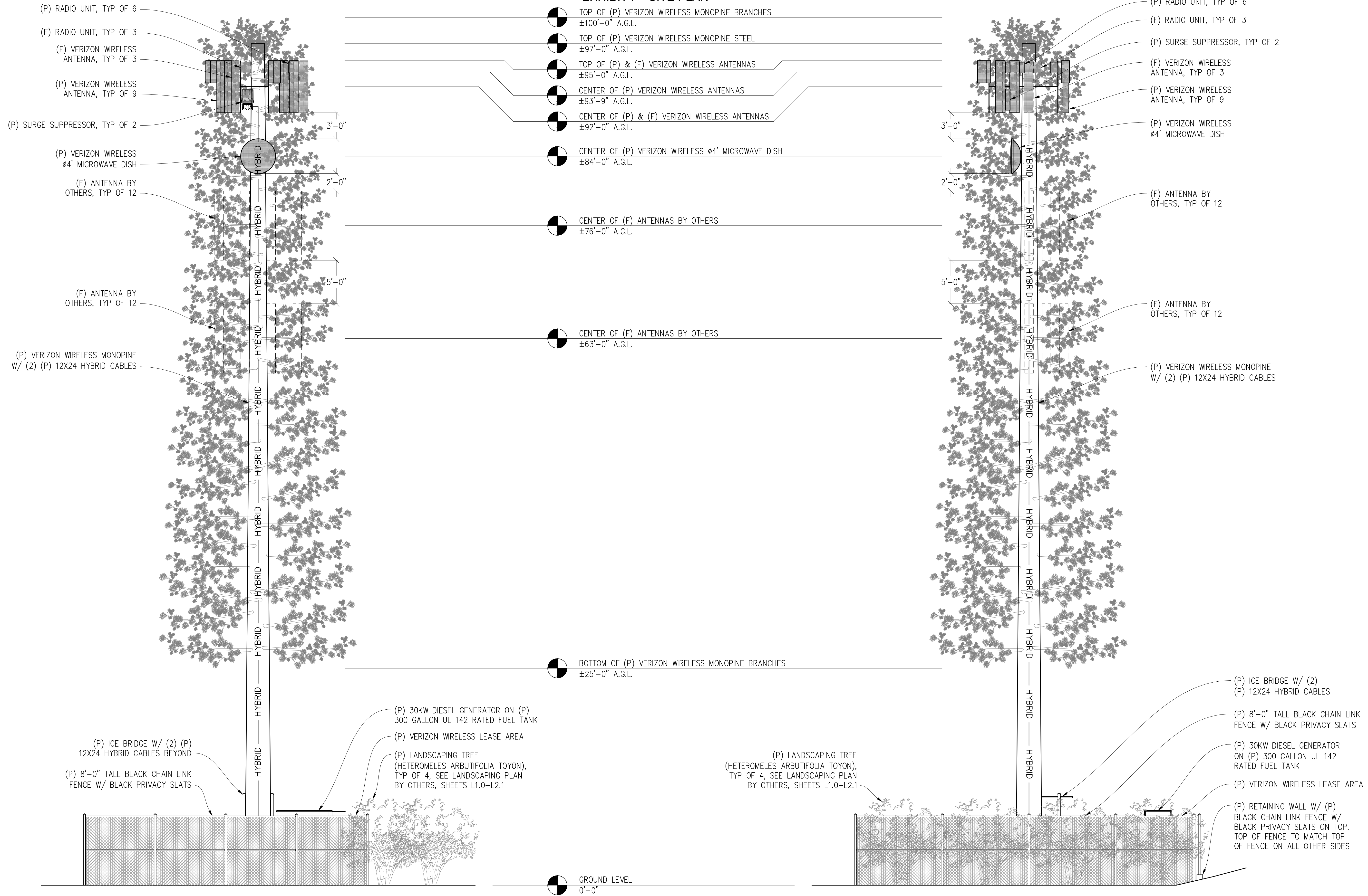
SHEET TITLE:

ANTENNA PLAN

SHEET NUMBER:

A-2.1

CUP23-0010/EDH VERIZON WIRELESS TELECOMMUNICATIONS FACILITY
EXHIBIT F - SITE PLAN



NORTH ELEVATION
3/16"=1'-0"

- NOTES:
- ALL ANTENNAS, ANTENNA MOUNTS, ANTENNA EQUIPMENT, & EXPOSED CABLES TO BE PAINTED TO MATCH (P) MONOPINE & BE FULLY WITHIN THE BRANCH RADIUS
 - ALL ANTENNAS TO BE COVERED IN MONOPINE SOCKS

WEST ELEVATION
3/16"=1'-0"

- NOTES:
- ALL ANTENNAS, ANTENNA MOUNTS, ANTENNA EQUIPMENT, & EXPOSED CABLES TO BE PAINTED TO MATCH (P) MONOPINE & BE FULLY WITHIN THE BRANCH RADIUS
 - ALL ANTENNAS TO BE COVERED IN MONOPINE SOCKS

GOLDEN FOOTHILLS
295540
4994 HILLSDALE CIRCLE
EL DORADO HILLS, CA 94585

verizon
2785 MITCHELL DRIVE, BLDG 9
WALNUT CREEK, CA 94598

Streamline Engineering and Design, Inc.
8445 Sierra College Blvd, Suite E Granite Bay, CA 95746
Contact: Kevin Sorenson Phone: 916-660-1930
E-Mail: kevin@streamlineeng.com Fax: 916-660-1941
THIS DRAWING IS THE PROPERTY OF STREAMLINE ENGINEERING AND DESIGN, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. Copyright © 2018 Streamline Engineering and Design, Inc. All Rights Reserved.

**PRELIMINARY:
NOT FOR
CONSTRUCTION**
KEVIN R. SORENSON
S4469

ISSUE STATUS

Δ	DATE	DESCRIPTION	REV.
	04/08/22	ZD 90%	-
	05/17/22	CLIENT REV	C.C.
	08/18/22	ZD 100%	C.C.
	08/31/22	CLIENT REV	C.C.
	12/20/22	CLIENT REV	C.C.
	-	-	-

DRAWN BY: C. CODY
CHECKED BY: J. GRAY
APPROVED BY: -
DATE: 12/20/22

SHEET TITLE:
ELEVATIONS
SHEET NUMBER:
A-3.1

PRELIMINARY:
NOT FOR
CONSTRUCTION

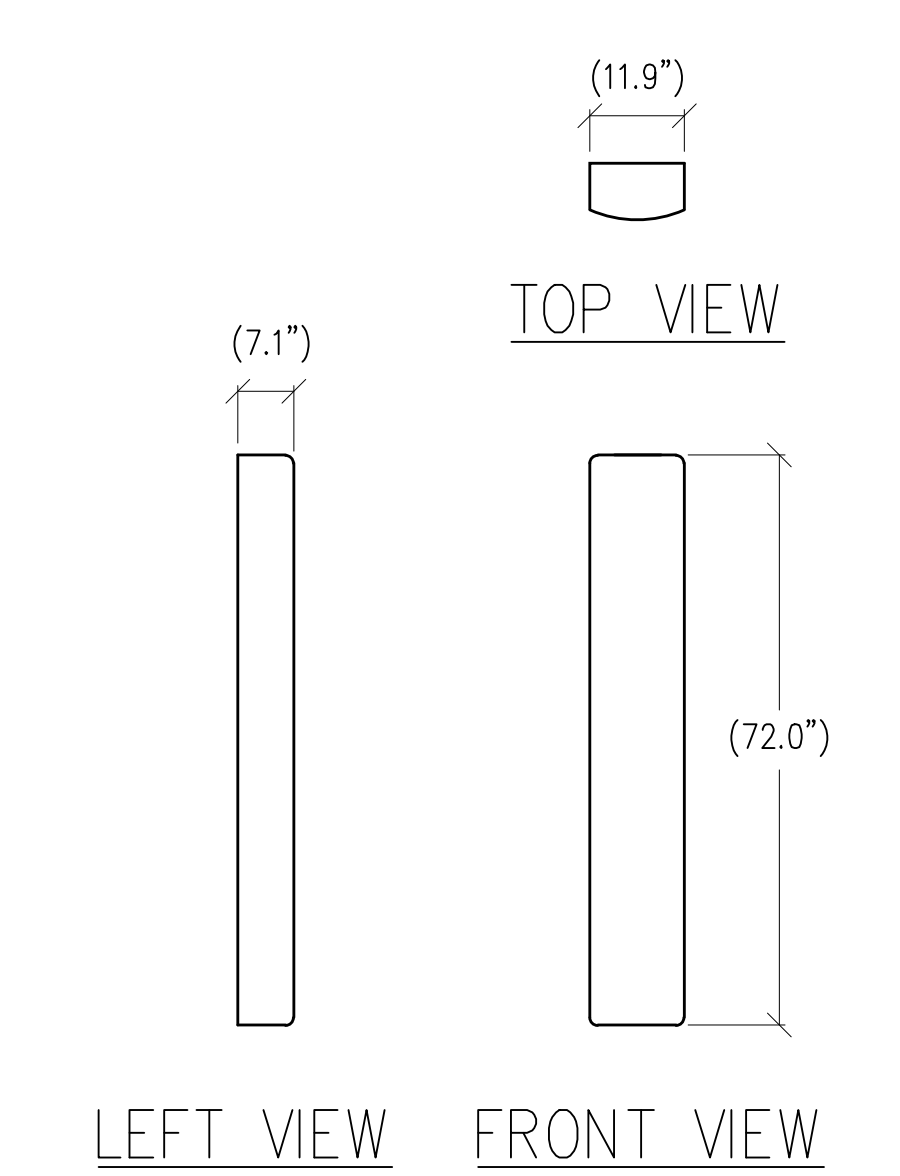
KEVIN R. SORENSEN
S4469

ISSUE STATUS

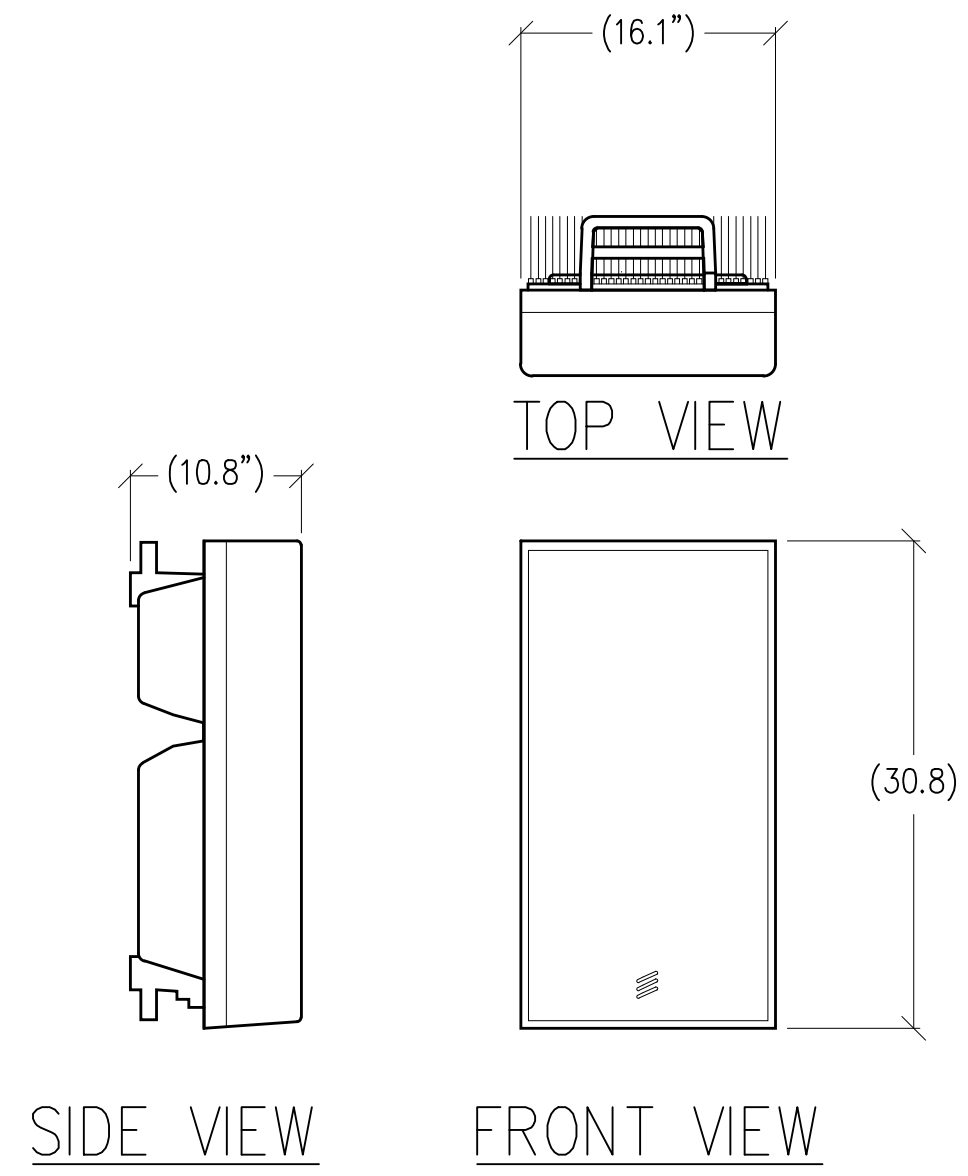
Δ	DATE	DESCRIPTION	REV.
	04/08/22	ZD 90%	-
	05/17/22	CLIENT REV	C.C.
	08/18/22	ZD 100%	C.C.
	08/31/22	CLIENT REV	C.C.
	12/20/22	CLIENT REV	C.C.
	-	-	-

DRAWN BY: C. CODY
CHECKED BY: J. GRAY
APPROVED BY: -
DATE: 12/20/22

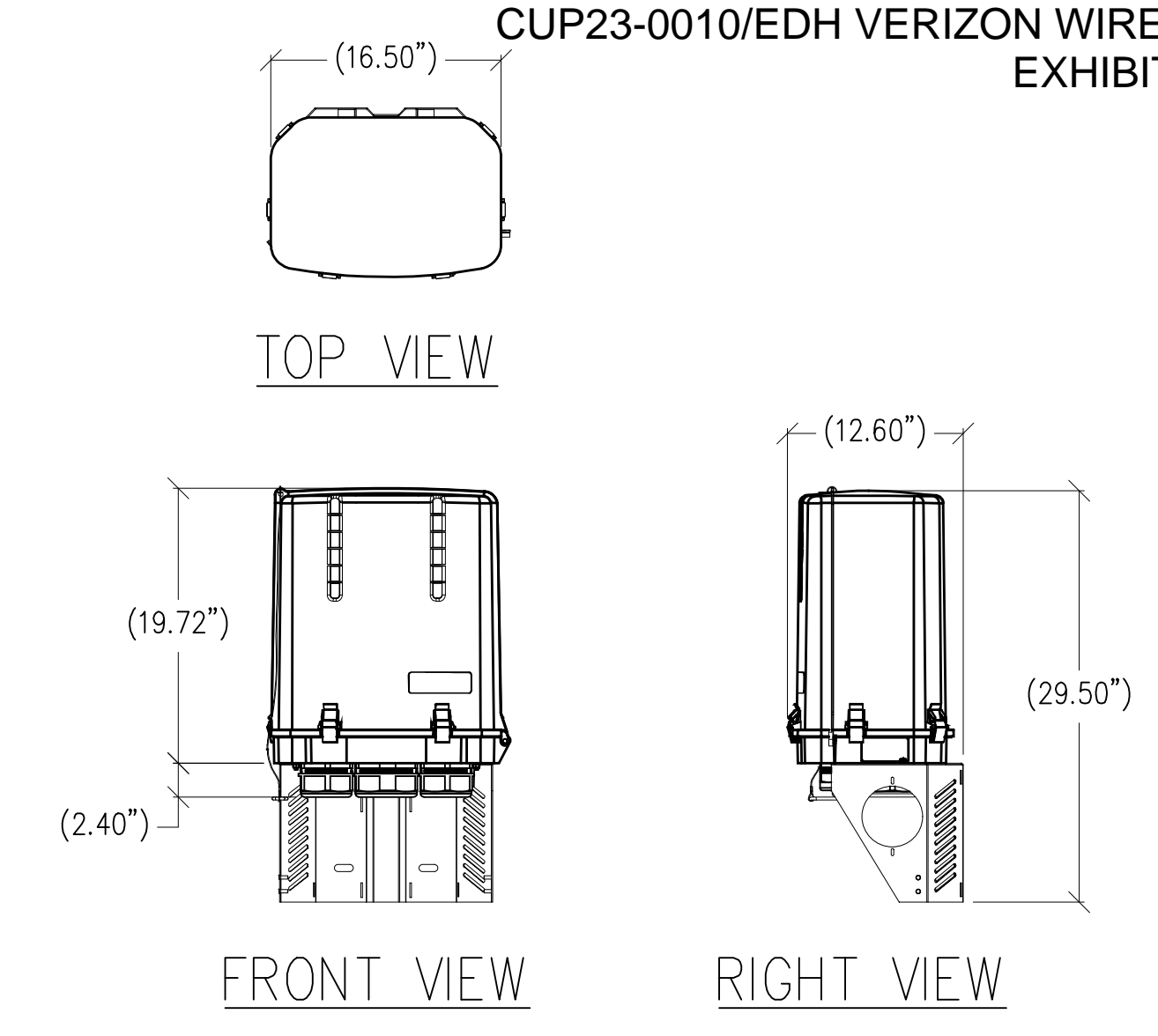
SHEET TITLE:
DETAILS
SHEET NUMBER:
A-4.1



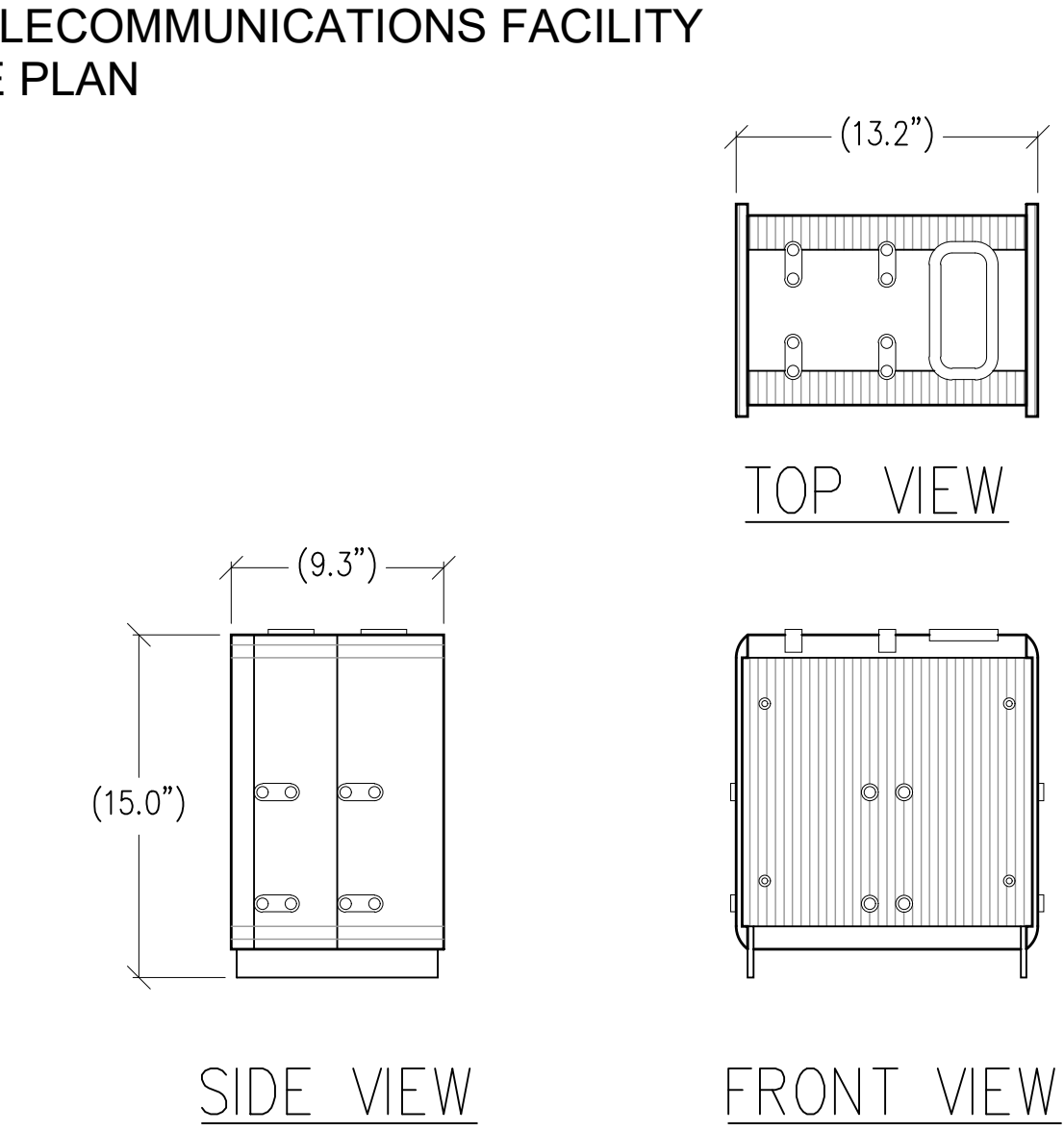
1 ANTENNA DETAIL
1/2"=1' MAX WEIGHT: 43.7 LBS



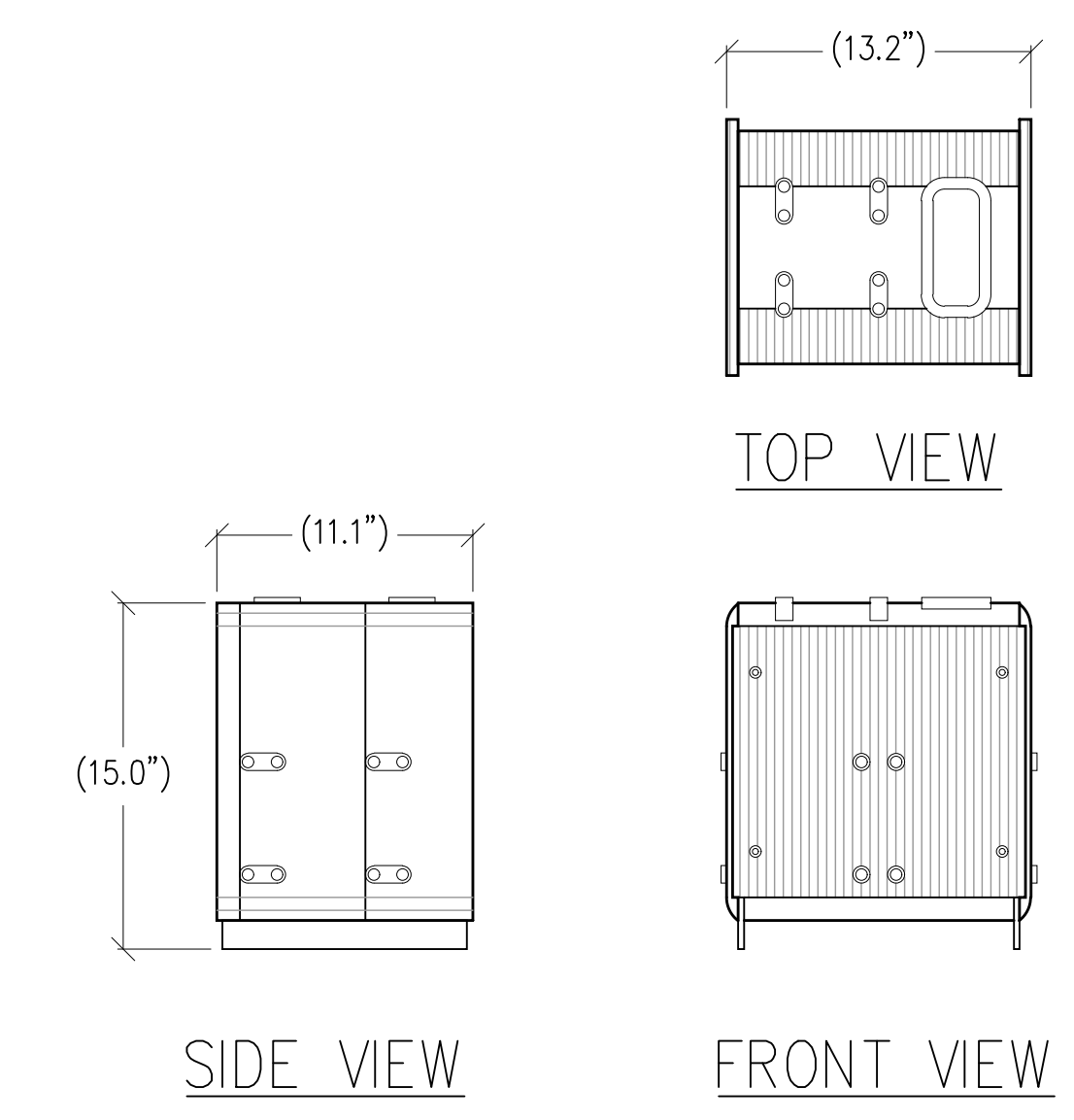
2 ANTENNA DETAIL
1"=1'-0" MAX WEIGHT: 88 LBS



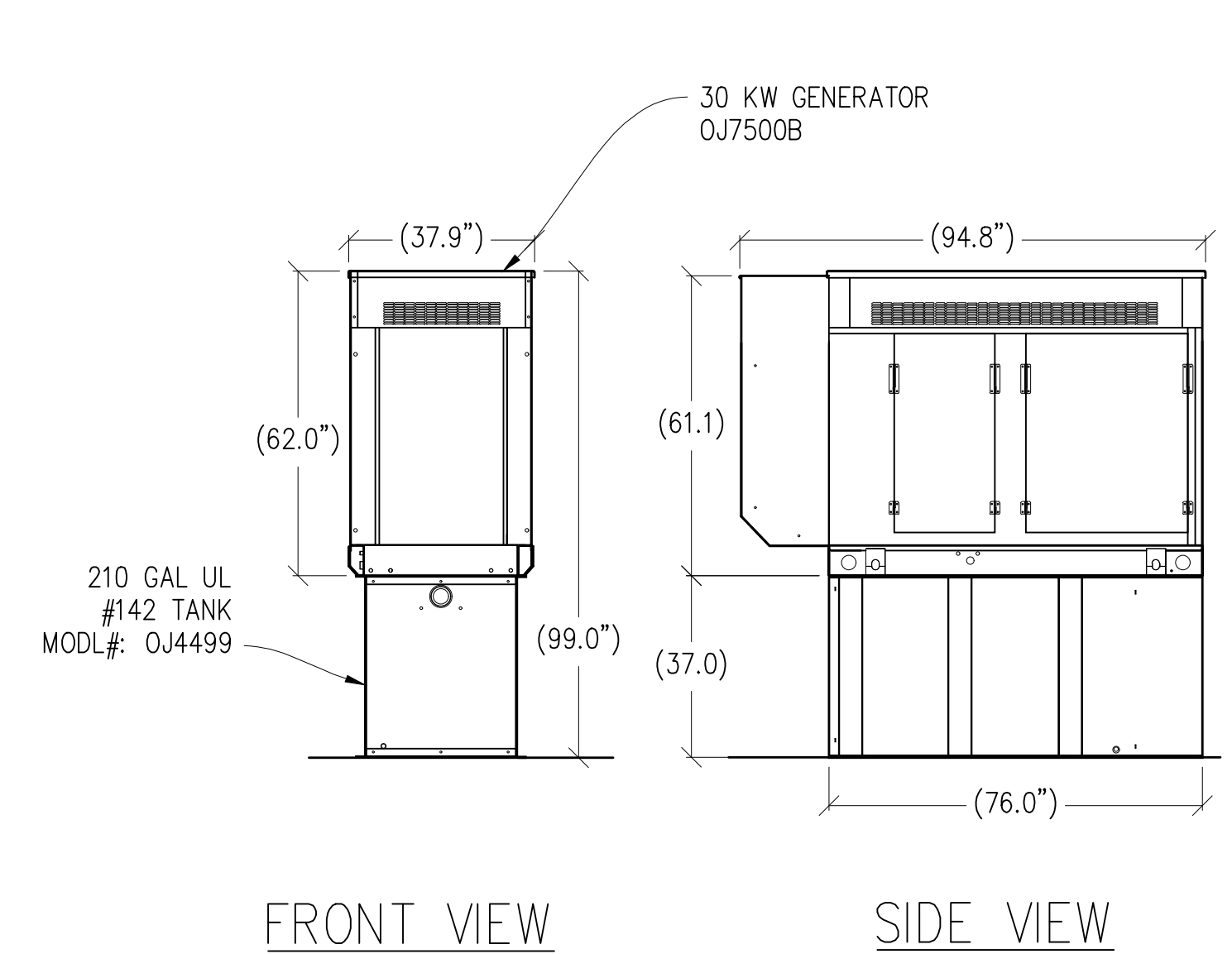
3 SURGE PROTECTION BOX
1"=1'-0" MAX WEIGHT: 32.0 LBS



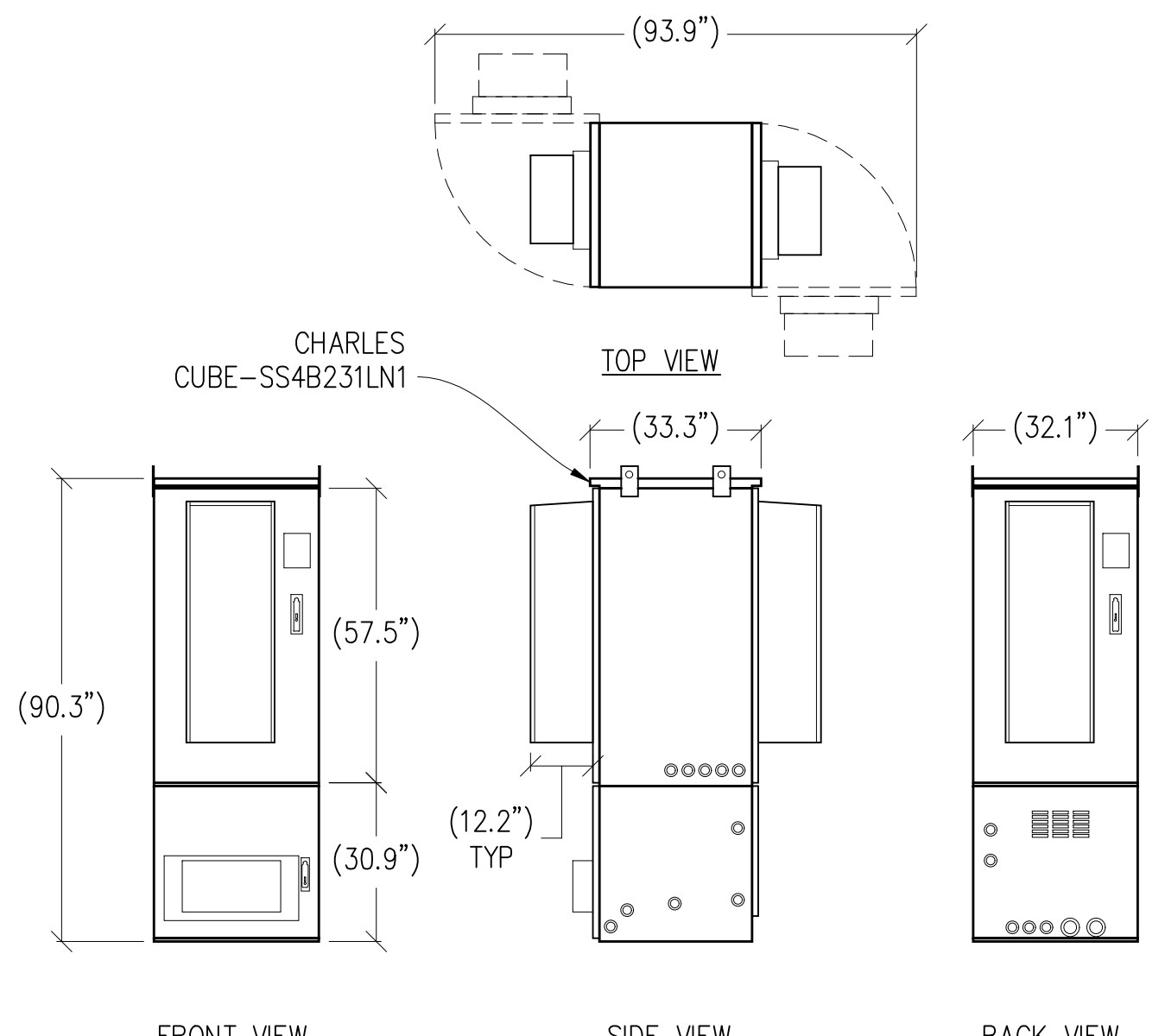
4 RADIO DETAIL
1/2"=1'-0" MAX WEIGHT: 70 LBS



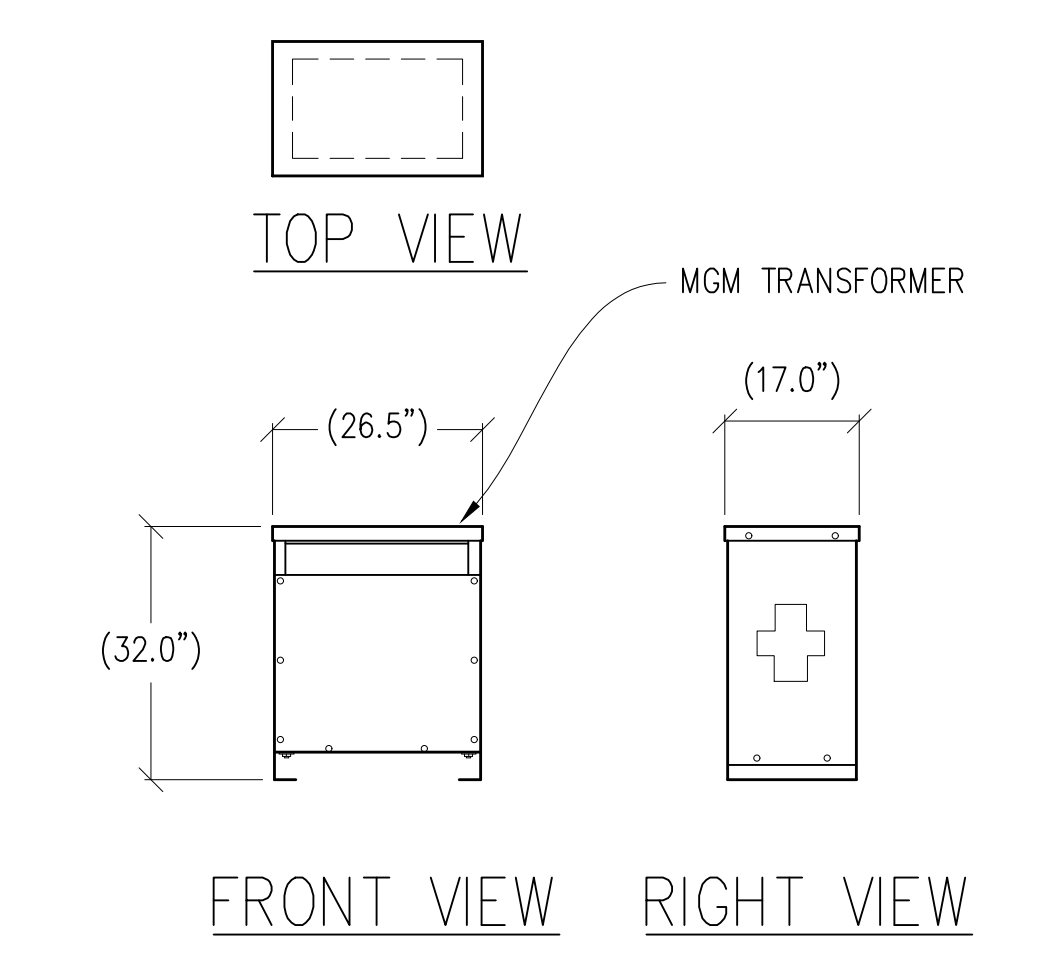
5 RADIO DETAIL
1/2"=1'-0" MAX WEIGHT: 75 LBS



6 30KW GENERATOR DETAIL
3/8"=1'-0" MAX WEIGHT: 3,119 LBS

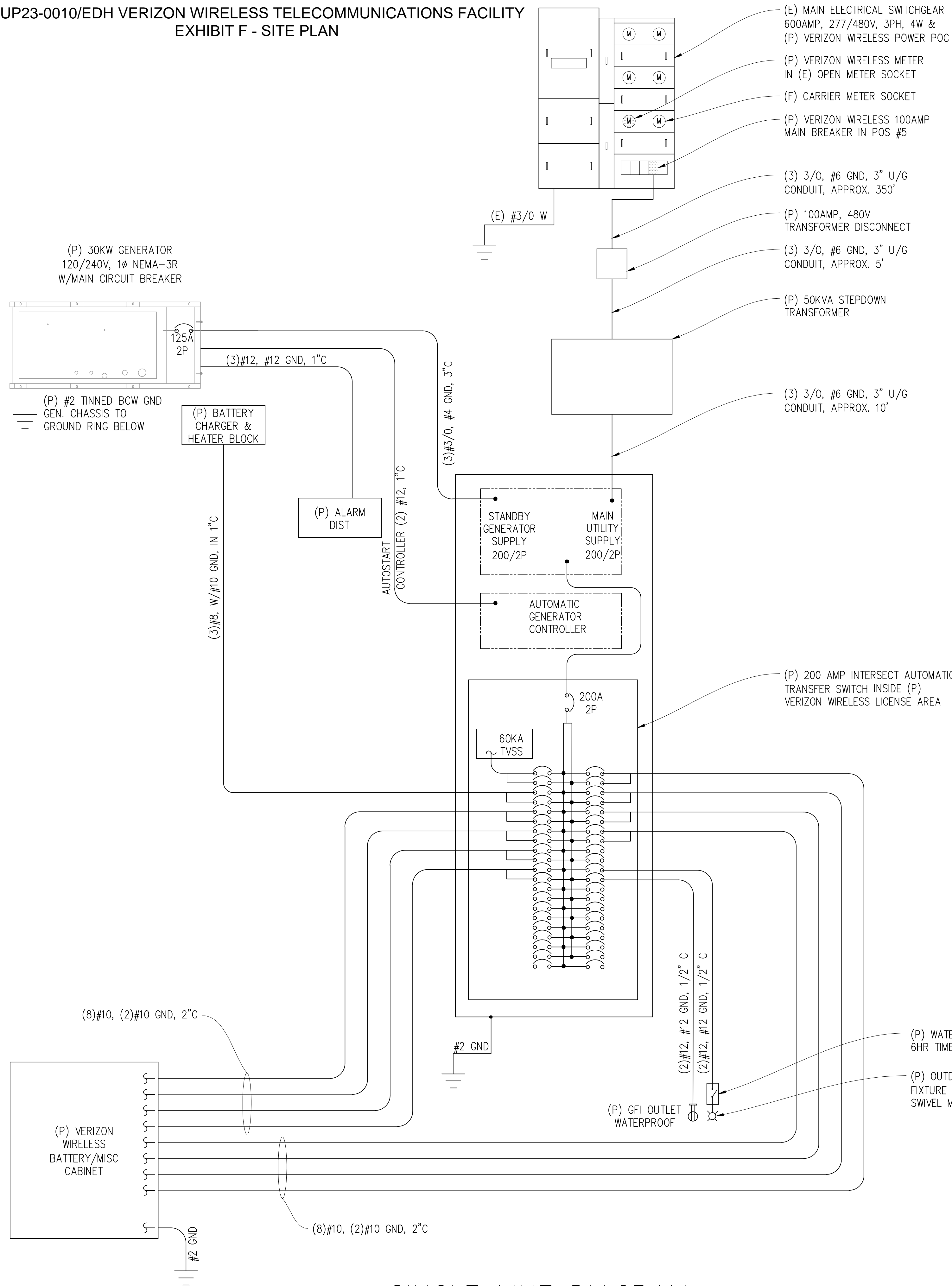


7 BATTERY/MISC CABINET DETAIL
3/8"=1'-0" MAX. WEIGHT: 2,500 LBS

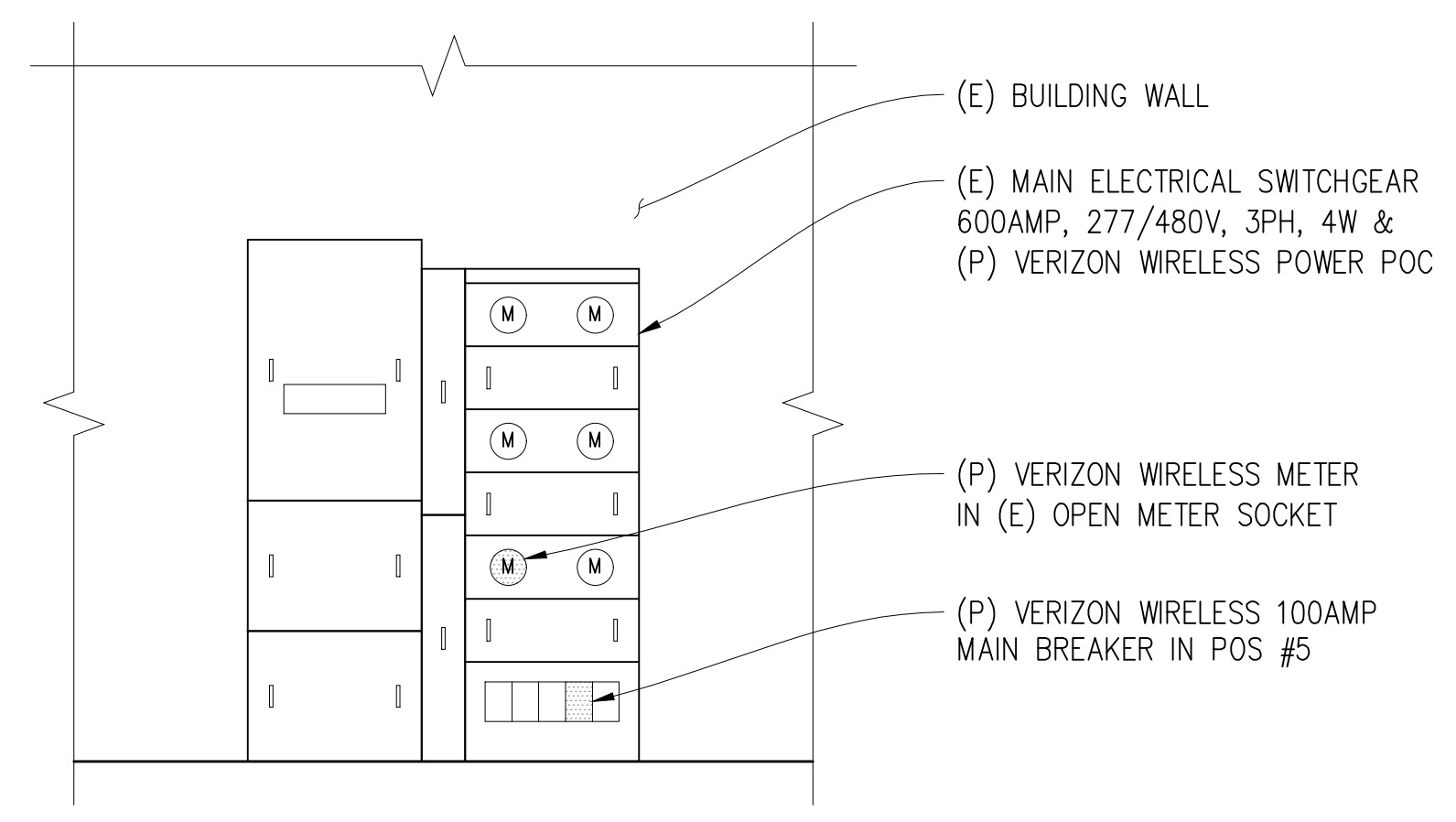


8 TRANSFORMER DETAIL
1/2"=1'-0" WEIGHT: 345 LBS

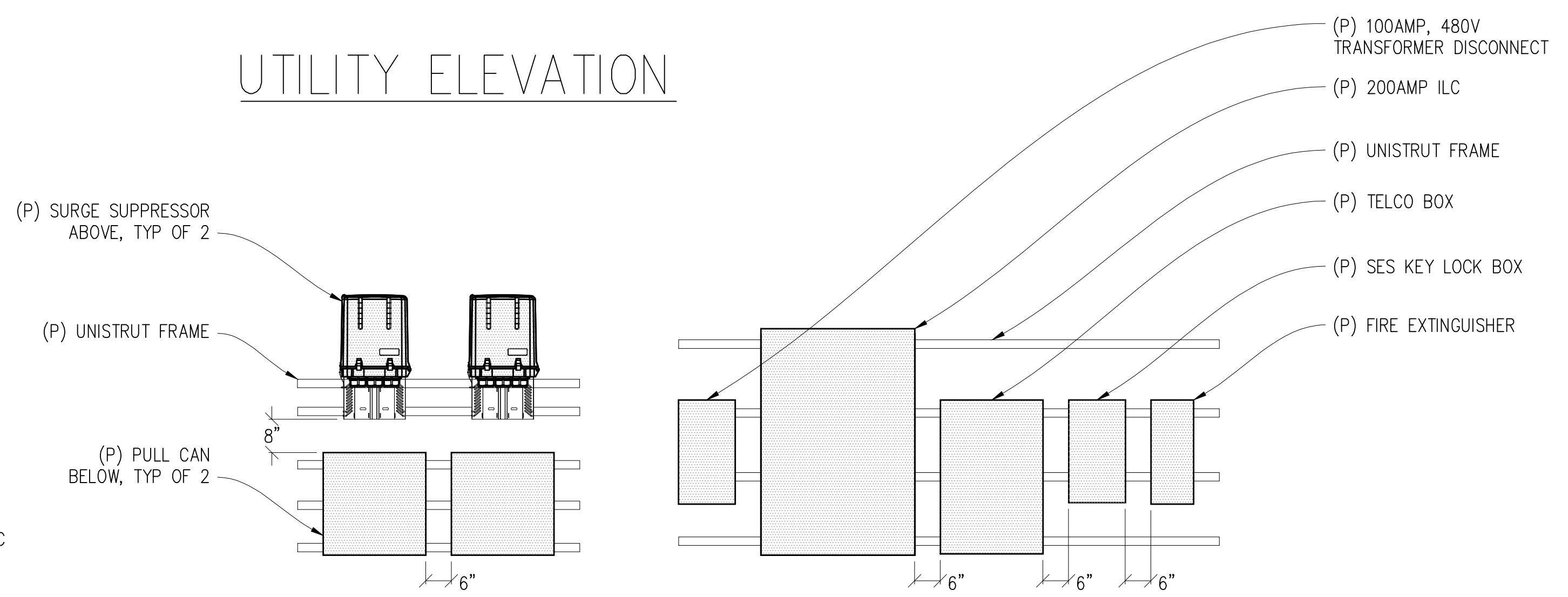
CUP23-0010/EDH VERIZON WIRELESS TELECOMMUNICATIONS FACILITY
EXHIBIT F - SITE PLAN



SINGLE LINE DIAGRAM



UTILITY ELEVATION



UTILITY FRAME ELEVATION

NEW PANEL SCHEDULE

NAMEPLATE : PANEL A		SC LEVEL : 10,000				VOLTS: 120V/240V, 1Ø			
LOCATION : OUTSIDE		BUS AMPS: 200A							
MOUNTING : UNISTRUT FRAME		MAIN CB: 200A							
ØA	ØB	LOAD DESCRIPTION	BKR AMP/POLE	CIRCUIT NO	BKR AMP/POLE	LOAD DESCRIPTION	ØA	ØB	
30		SURGE ARRESTOR	60/2	1 2	30/2	(P) BATTERY/MISC CABINET	1320		
3840	30	"	"	3 4	"	"	1320	1320	
1320	3840	(P) BATTERY CHARGER & HTR	40/2	5 6	30/2	"	1320	1320	
1320	1320	(P) BATTERY/MISC CABINET	30/2	7 8	"	"	1320	1320	
1320	1320	"	"	9 10	30/2	"	1320	1320	
1320	1320	"	"	11 12	"	"		1320	
1320	1320	"	"	13 14	30/2	"		1320	
1320	1320	"	"	15 16	"	"		1320	
1320	1320	"	"	17 18	-	BLANK			
1320	1320	"	"	19 20	-	"			
1320	1320	"	"	21 22	-	"			
		BLANK	-	23 24	-	"			
		"	-	25 26	-	"			
		"	-	27 28	-	"			
		"	-	29 30	-	"			
		"	-	31 32	-	"			
		"	-	33 34	-	"			
		"	-	35 36	-	"			
		"	-	37 38	-	"			
		"	-	39 40	20/1	LIGHT		300	
		"	-	41 42	20/1	GFI RECEPTACLE	180		
9150	9150	PHASE TOTALS				PHASE TOTALS	5460	5580	
TOTAL VA =	29340	TOTAL AMPS =	122						

ELECTRIC LEGEND

- (MI) MECHANICAL INTERLINK
- (M) METER
- (CB) CIRCUIT BREAKER
- (SG) SERVICE GROUND
- (WC) WIRED CONNECTION
- (TS) TIMER SWITCH, WATERPROOF
- (OL) OUTDOOR LIGHT
- (GFI) GFI OUTLET, WATERPROOF

GOLDEN FOOTHILLS

295540
4994 HILLSDALE CIRCLE
EL DORADO HILLS, CA 94585



Streamline Engineering and Design, Inc.
8445 Sierra College Blvd, Suite E, Granite Bay, CA 95746
Contact: Kevin Sorensen Phone: 916-660-1930
E-Mail: kevinr@streamlineeng.com Fax: 916-660-1941

THIS DOCUMENT IS THE PROPERTY OF STREAMLINE ENGINEERING AND DESIGN, INC. AND SHALL BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED IN THE TITLE. ANY REUSE OR MODIFICATION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF STREAMLINE ENGINEERING AND DESIGN, INC. IS STRICTLY PROHIBITED. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AUTHORITIES.

PRELIMINARY:
NOT FOR
CONSTRUCTION

KEVIN R. SORENSEN
S4469

ISSUE STATUS

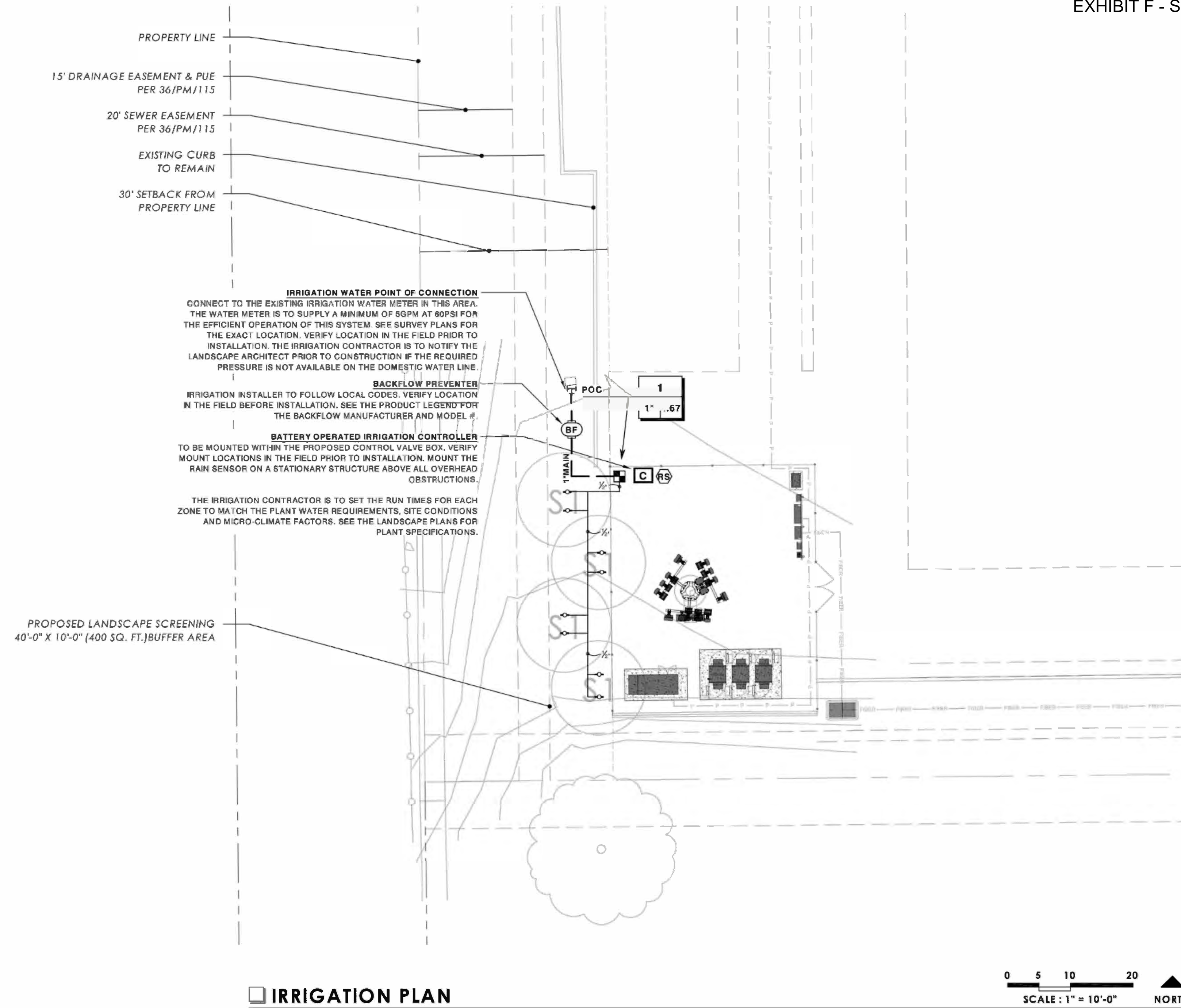
Δ	DATE	DESCRIPTION	REV.
	04/08/22	ZD 90%	-
	05/17/22	CLIENT REV	C.C.
	08/18/22	ZD 100%	C.C.
	08/31/22	CLIENT REV	C.C.
	12/20/22	CLIENT REV	C.C.

DRAWN BY: C. CODY
CHECKED BY: J. GRAY
APPROVED BY: -
DATE: 12/20/22

SHEET TITLE:
SINGLE LINE DIAGRAM
& PANEL SCHEDULE

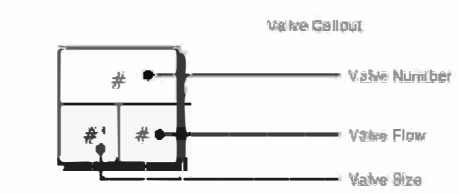
SHEET NUMBER:
E-1.1

CUP23-0010/EDH VERIZON WIRELESS TELECOMMUNICATIONS FACILITY
EXHIBIT F - SITE PLAN



IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
☐	RAIN BIRD XC2LF-100-PRF LOW FLOW, 0.2-10 GPM, WITH 1IN. LOW FLOW VALVE VALVE AND 1IN. PRESSURE REGULATING RBY FILTER AND 40PSI PRESSURE REGULATOR.	1
∞	RAIN BIRD UXB-360-026 DRIP BUBBLER, UCS UMBRELLA FLOOD PATTERN, AVAILABLE IN FULL CIRCLE, WITH 1/4IN. BARB. ADJUST FLOW AS REQUIRED FOR PLANTING.	8
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
⊖	ZURN 975XL 1" REDUCED PRESSURE BACKFLOW DEVICE	1
⊖	RAIN BIRD TBOS-BT2 2 STATION BLUETOOTH BATTERY OPERATED CONTROLLER WITH INFRARED PORT, MASTER VALVE AND SENSOR OUTPUT. INSTALL WITH (TBOSPOL) 9V. DC POTTED LATCHING SOLENOID. USE (TBOSADAPP OR TBOSADAPB) ADAPTERS FOR NON-RAIN BIRD PLASTIC/BRASS VALVES. COMPATIBLE W/ LEGACY HAND-HELD TRANSMITTER OR RAIN BIRD MOBILE APP.	1
⊖	RAIN BIRD RSD-BEX RAIN SENSOR, WITH METAL LATCHING BRACKET, EXTENSION WIRE.	1
POC	POINT OF CONNECTION 1"	1
---	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21	62.2 L.F.
---	IRRIGATION MAINLINE: PVC CLASS 200 SDR 21	21.7 L.F.



THE QUANTITIES SHOWN IN THE LEGEND SHEETS SHALL NOT BE USED FOR BIDDING PURPOSES. THE CONTRACTOR WILL BE RESPONSIBLE FOR CONDUCTING A COMPREHENSIVE MATERIALS TAKEOFF TO DETERMINE THE ACTUAL QUANTITIES OF MATERIAL NECESSARY TO EXECUTE THE WORK DESCRIBED IN THE DOCUMENTS.

VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	PRECIP
1	RAIN BIRD XC2LF-100-PRF	1"	DRIP EMITTER	4.67	17.87 in/h

THE IRRIGATION CONTRACTOR IS TO SET THE RUN TIMES FOR EACH ZONE TO MATCH THE PLANT WATER REQUIREMENTS, SITE CONDITIONS AND MICRO-CLIMATE FACTORS. SEE THE LANDSCAPE PLANS FOR PLANT SPECIFICATIONS.

INSTALL ALL IRRIGATION EQUIPMENT TO AVOID CONFLICTS WITH INSTALLED UTILITIES AND OTHER OBSTRUCTIONS. THE IRRIGATION MAINLINE, LATERAL LINE, AND IRRIGATION EMITTER LOCATIONS ARE SHOWN SCHEMATICALLY AND SHALL BE ADJUSTED BASED ON FIELD CONDITIONS. ALL LANDSCAPED AREAS ARE TO RECEIVE 100% COVERAGE BY THE IRRIGATION SYSTEM (TYP.)

ASSIGNMENT OF RESPONSIBILITY

GENERAL: THE IRRIGATION SYSTEM IS DESIGNED TO PROVIDE FULL COVERAGE OF ALL PLANTING AREAS WITH MINIMUM OVERSPRAY ONTO PAVING, WALKS, WALLS AND EXISTING UTILITIES. THE IRRIGATION CONSULTANT DOES NOT ASSUME ANY MAINTENANCE OBLIGATIONS.

CONTRACTORS RESPONSIBILITIES: THE CONTRACTORS SHALL ASSUME THE SOLE RESPONSIBILITY FOR THE CORRECT ALIGNMENT OF THE SPRINKLER HEADS, PROPER SETTINGS OF CONTROLLER ENCLOSURES AND ALL OTHER IRRIGATION SYSTEM COMPONENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ADJUSTING THE WATERING CYCLES TO SUIT THE SEASONAL REQUIREMENTS. ADJUST THE WATERING CYCLES TO THE SOILS INFILTRATION RATE. NO RUN OFF SHALL OCCUR AT ANY TIME. THE INSTALLATION CONTRACTOR SHALL INSTRUCT THE MAINTENANCE CONTRACTOR IN THE USE AND ADJUSTMENT OF THE IRRIGATION SYSTEM. PERFORM ALL REVIEWS AND AUDITS AS CALLED OUT IN THE IRRIGATION MAINTENANCE NOTES AND SUBMIT WRITTEN REPORTS TO THE OWNER.

OWNERS RESPONSIBILITIES: THE OWNER SHALL BE SOLELY RESPONSIBLE FOR OBTAINING "AS BUILT" DRAWINGS AND CONTROLLER CHARTS FROM THE INSTALLATION CONTRACTOR. ANY DANGEROUS CONDITIONS THAT MAY OCCUR DURING THE CONSTRUCTION OR LATER MAINTENANCE PERIOD SHALL BE CORRECTED IMMEDIATELY.

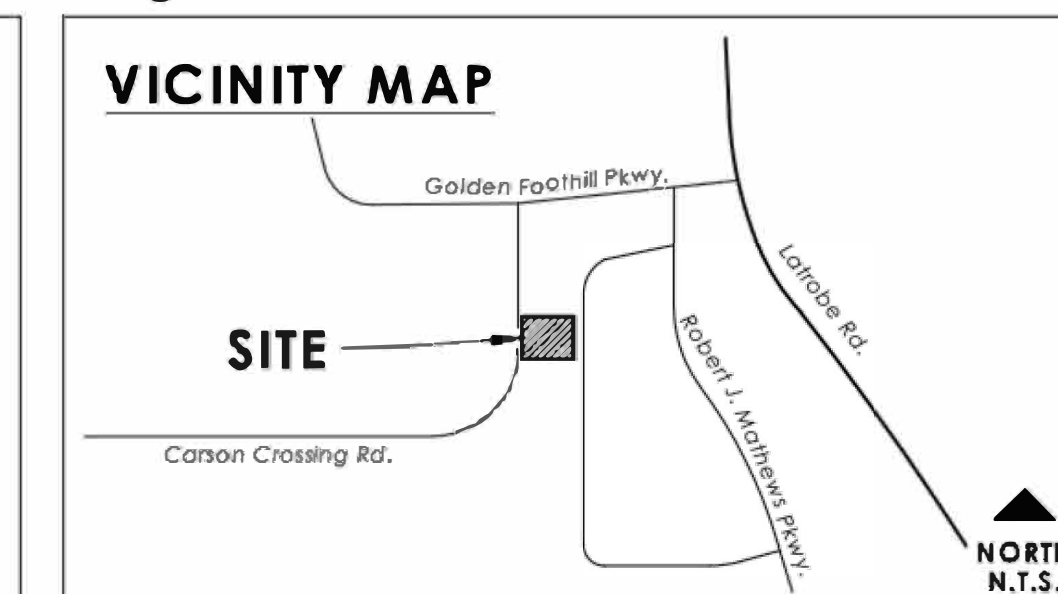
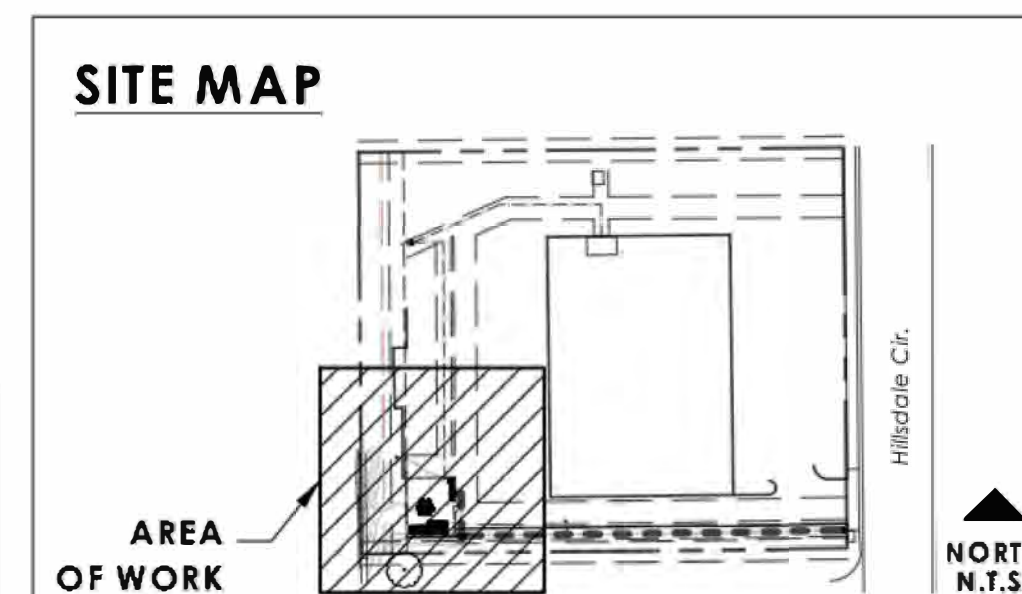
SUBSTITUTIONS: NO SUBSTITUTIONS OF MATERIALS SHALL BE ALLOWED DURING THE CONSTRUCTION OR LATER MAINTENANCE WITHOUT THE WRITTEN CONSENT OF THE IRRIGATION CONSULTANT. ALL REPLACEMENT COMPONENTS SHALL BE AS CALLED OUT ON THE DRAWINGS AND IN THE SPECIFICATIONS. THE CONSULTANT CAN NOT BE HELD RESPONSIBLE FOR ALTERATIONS OF THE IRRIGATION SYSTEM THAT WERE DONE WITHOUT HIS WRITTEN PERMISSION.

OBSTRUCTIONS

WHEN VERTICAL OBSTRUCTIONS (PROPS, STREET LIGHTS, TREES, ETC.) INTERFERE WITH THE SPRAY PATTERN OF THE SPRINKLER HEADS SO AS TO PREVENT PROPER COVERAGE, THE IRRIGATION CONTRACTOR SHALL FIELD ADJUST THE SPRINKLER SYSTEM BY INSTALLING A QUARTER CIRCLE OR HALF CIRCLE SPRINKLER HEAD ON EACH SIDE OF THE OBSTRUCTION SO AS TO PROVIDE PROPER COVERAGE. ALL ADJUSTMENTS SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER. (TYPICAL)

I HAVE COMPLIED WITH THE CRITERIA OF THE 2015 UPDATE TO THE STATE DEPARTMENT OF WATER RESOURCES MODEL WATER EFFICIENT LANDSCAPE ORDINANCE, INCLUDING INCORPORATING RECOMMENDATIONS OF THE SOIL ANALYSIS REPORT, AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

Kevin J. Small
DESIGNER SIGNATURE
2022.12.15
DATE



PLEINAIRE DESIGN GROUP

3203 Lightning St., Ste. 201 // Santa Maria, CA 93455
805.349.9695 // www.pleinairedg.com



THE DRAWING, DESIGN IDEAS, AND FEATURES OF CONSTRUCTION, DEPICTED WITHIN THE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF KEVIN J. SMALL, LANDSCAPE ARCHITECT. THEY ARE NOT TO BE REPRODUCED, COPIED, SOLD, OR USED FOR ANY OTHER PURPOSE WITHOUT THE EXPRESSED WRITTEN CONSENT OF KEVIN J. SMALL. RLA 2926 © 2022 KEVIN J. SMALL

**GOLDEN FOOTHILLS
LOCATION NUMBER: 295540**

4994 HILLSDALE CIRCLE // EL DORADO HILLS, CALIFORNIA 94585

REVISION DATE

SHEET TITLE
IRRIGATION PLAN

OWNER
Verizon Wireless
2785 Mitchell Drive, Bldg. 9
Walnut Creek, California 94598

DATE
2022.12.15

PROJECT NO.
22261

SHEET NO.

L-1.0

IRRIGATION NOTES

- THE PLANS AND DRAWINGS ARE DIAGRAMMATIC OF THE WORK TO BE PERFORMED. SOME COMPONENTS MAY BE SHOWN OUTSIDE THE WORK AREA FOR CLARITY. THE WORK SHALL BE EXECUTED IN A MANNER TO AVOID CONFLICTS WITH UTILITIES AND OTHER ELEMENTS OF CONSTRUCTION, INCLUDING LANDSCAPE MATERIALS. ALL DEVIATIONS FROM THE PLANS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE BEFORE BEING INSTALLED.
- THE IRRIGATION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANS, IRRIGATION SYSTEM SPECIFICATIONS AND ALL CONTRACT DOCUMENTS. THE CONTRACTOR SHALL COMPLY WITH ALL CURRENT LOCAL CODES, ORDINANCES, AND REGULATIONS.
- ALL IRRIGATION MAINLINE AND LATERAL LINES ARE TO NOT EXCEED A VELOCITY OF 5FPS.
- THE CONTRACTOR SHALL NOT WILLFULLY INSTALL ANY ASPECT OF THE IRRIGATION SYSTEM AS SHOWN ON THE PLANS AND DRAWINGS, WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES, OR DISCREPANCIES EXIST THAT MIGHT NOT HAVE BEEN KNOWN DURING THE DESIGN OF THE IRRIGATION SYSTEM. IN THE EVENT THAT NOTIFICATION OF THE CONFLICT IS NOT APPROVED BY THE OWNER'S REPRESENTATIVE, THE CONTRACTOR WILL ASSUME FULL RESPONSIBILITY FOR ALL REVISIONS.
- REFER TO THE LANDSCAPE PLANS WHEN TRENCHING TO AVOID TREE ROOT BALLS WHEN INSTALLING IRRIGATION EQUIPMENT. CALL 811 AND REFER TO UTILITY PLANS PRIOR TO TRENCHING.
- IRRIGATION CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS, INCLUDING UTILITY LOCATIONS BEFORE INSTALLATION OF THE IRRIGATION SYSTEM. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING INSTALLATION WITH ALL OTHER CONSTRUCTION ON SITE, ESPECIALLY LANDSCAPE INSTALLATION. THE IRRIGATION SYSTEM SHALL BE RELOCATED AT NO ADDITIONAL COST FOR ANY CONFLICT WITH LANDSCAPE INSTALLATION OR ANY OTHER SITE CONSTRUCTION OR EXISTING CONDITIONS.
- VERIFY THE REQUIRED MINIMUM STATIC WATER PRESSURE IS AVAILABLE AT THE PROJECT SITE PRIOR TO BEGINNING THE IRRIGATION INSTALLATION. NOTIFY THE IRRIGATION DESIGN CONSULTANT AND LANDSCAPE ARCHITECT IN WRITING IF THE MINIMUM STATIC WATER PRESSURE OR WATER VOLUME IS NOT AVAILABLE. SEE PLAN SHEET FOR REQUIREMENTS.
- WHERE EXISTING OR NEW TREES, LIGHT FIXTURES, SIGNS, ELECTRONIC CONTROLLERS AND/OR OTHER OBJECTS ARE AN OBSTRUCTION TO AN IRRIGATION SPRINKLER'S PATTERN, THE COMPONENT AND PIPING SHALL BE RELOCATED AS NECESSARY TO OBTAIN PROPER COVERAGE OF AN IRRIGATION SPRINKLER'S PATTERN. THE COMPONENT AND PIPING SHALL BE RELOCATED AS NECESSARY TO OBTAIN THE PROPER COVERAGE WITHOUT DAMAGING THE OBSTRUCTION.
- 100% HEAD TO HEAD COVERAGE IS REQUIRED. ASSURE THAT ANY MODIFIED SPACING DOES NOT EXCEED THE SPACING SHOWN IN THE PLANS.
- IRRIGATION CONTRACTOR SHALL ADJUST ALL SPRINKLERS TO AVOID OVER SPRAY ONTO IMPERVIOUS AREAS.
- ALL MATERIALS AND EQUIPMENT SHOWN SHALL BE NEW AND INSTALLED AS SHOWN ON THE PLANS. IF THE DRAWINGS DO NOT THOROUGHLY DESCRIBE THE TECHNIQUES TO BE USED, THE INSTALLER SHALL FOLLOW THE INSTALLATION METHODS AND INSTRUCTIONS RECOMMENDED BY THE PRODUCT MANUFACTURER.
- THE LOCATION OF THE IRRIGATION MAINLINE SHALL BE IDENTIFIED IN THE FIELD AND APPROVED BY THE OWNER'S REPRESENTATIVE BEFORE INSTALLATION.
- CONTRACTOR IS TO SUBMIT PRODUCT SPECIFICATION SHEETS FOR ALL IRRIGATION EQUIPMENT TO BE USED FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- THE QUANTITIES SHOWN IN THE LEGEND SHEETS SHALL NOT BE USED FOR BIDDING PURPOSES. THE CONTRACTOR WILL BE RESPONSIBLE FOR CONDUCTING A COMPREHENSIVE MATERIALS TAKEOFF TO DETERMINE THE ACTUAL QUANTITIES OF MATERIAL NECESSARY TO EXECUTE THE WORK DESCRIBED IN THE DOCUMENTS.
- ALL TRENCHES SHALL BE BACKFILLED WITH CLEAN DEBRIS-FREE MATERIALS.
- IRRIGATION CONTRACTOR IS TO INSTALL CHRISTY ZONE TAGS WITH THE CORRESPONDING CONTROLLER ZONE NUMBER AT EACH CONTROL VALVE.
- AS BUILT DOCUMENTS ARE TO BE PROVIDED TO THE OWNER UPON COMPLETION OF THE PROJECT. THE MAINLINE, CONTROL VALVES, ISOLATION VALVES, GROUND RODS AND SPLICE BOXES SHALL BE LOCATED WITH A MEASUREMENT FROM TWO FIXED POINTS.
- IRRIGATION CONTRACTOR SHALL SECURE ANY AND ALL NECESSARY PERMITS FOR THE WORK PRIOR TO COMMENCEMENT OF ON-SITE OPERATIONS.
- A MAINLINE PRESSURE TEST IS TO BE CONDUCTED BEFORE BACKFILLING. ALL FINDINGS ARE TO BE REPORTED TO THE LANDSCAPE ARCHITECT WITHIN TWENTY FOUR HOURS POST TEST.
- ALL SLEEVES ARE TO BE TWO TIMES THE SIZE OF THE PIPE.
- THE IRRIGATION SYSTEM IS TO BE INSPECTED AND APPROVED BY THE PROJECT OWNER PRIOR TO RECEIVING CERTIFICATION.
- ANY PRODUCT SUBSTITUTIONS MADE BY THE IRRIGATION CONTRACTOR ARE TO BE REVIEWED AND APPROVED BY THE OWNER PRIOR TO INSTALLATION.
- ALL DISTRIBUTION DRIP TUBING IS TO BE $\frac{1}{2}$ " PER MANUFACTURER SPECIFICATIONS AND DETAIL. ALL DISTRIBUTION TUBING FROM THE DRIP TUBING IS TO BE $\frac{1}{2}$ " PER MANUFACTURER SPECIFICATIONS AND THE DETAIL. SIZE ALL FEEDER/LATERAL LINES PER THE PLANS.
- THESE PLANS COMPLY WITH THE CRITERIA OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

MWEO IRRIGATION NOTES

DESIGN & INSTALLATION REQUIREMENTS FOR THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWEO) EFFECTIVE DECEMBER 1, 2015

A. DESIGN AND INSTALLATION SHALL INCLUDE THE FOLLOWING:

- AUTOMATIC IRRIGATION CONTROLLER USING ET OR SOIL MOISTURE SENSOR DATA AREA REQUIRED.
- LANDSCAPE WATER METERS (DEDICATED OR PRIVATE) SHALL BE INSTALLED FOR ALL NON-RESIDENTIAL LANDSCAPE OF 1,000 SQUARE FEET BUT NOT MORE THAN 5,000 SQUARE FEET OR GREATER.
- RESIDENTIAL OVER 5,000 SQUARE FEET.
- RAIN, FREEZE AND WIND SENSORS ARE REQUIRED, AS NEEDED FOR LOCAL CLIMATE.
- FLOW SENSORS THAT DETECT HIGH FLOW ARE REQUIRED FOR ALL NON-RESIDENTIAL LANDSCAPES AND RESIDENTIAL 5,000 SQUARE FEET.
- PRESSURE REGULATING DEVICES ARE REQUIRED. LOW FLOW WILL NEED BOOSTER.
- CHECK VALVE AND ANTI-DRAIN VALVES ARE REQUIRED WHERE LOW HEAD DRAINAGE COULD OCCUR.
- NO OVERHEAD IRRIGATION WITHIN 24 INCHES OF ANY NON-PERMEABLE SURFACE.
- LOW VOLUME (DRIP) IRRIGATION IS REQUIRED ON MULCHED PLANTING AREAS.
- AREAS LESS THAN 10 FEET IN WIDTH IN ANY DIRECTION MUST BE IRRIGATED WITH SUBSURFACE IRRIGATION OR ANOTHER MEANS THAT PRODUCES NO RUNOFF.
- ALL SPRINKLER HEADS MUST DOCUMENT A LOWER QUARTER DISTRIBUTION UNIFORMITY (DULQ) OF 65% OR HIGHER.

10. EMISSION DEVICES MUST HAVE MATCHED PRECIPITATION RATES.

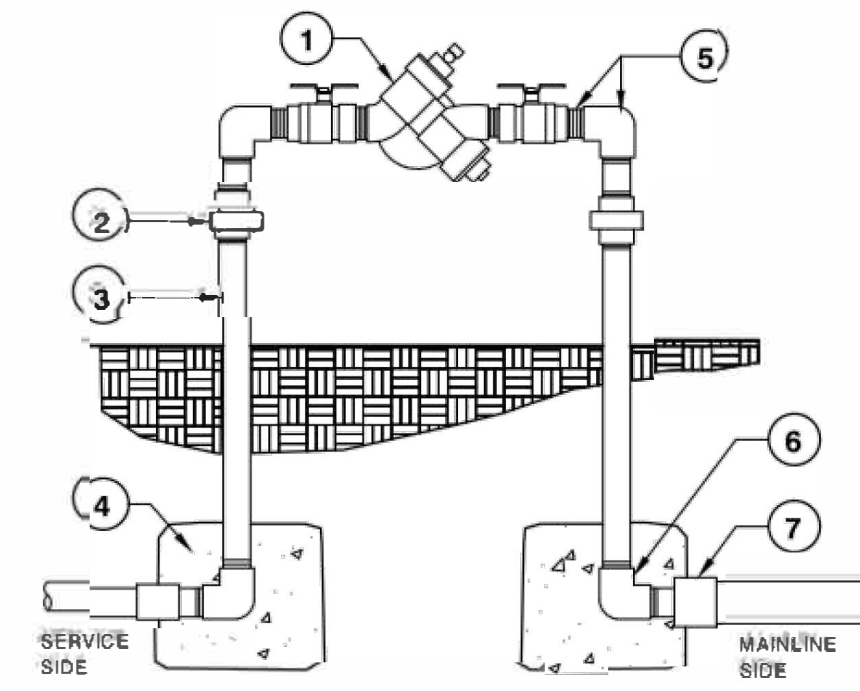
11. SOIL MANAGEMENT REPORT THAT INCLUDES SOIL ANALYSIS: TEXTURE, INFILTRATION RATE, PH, SOLUBLE SALTS, SODIUM, % ORGANIC, RECOMMENDATIONS.

B. SOIL PREPARATION:

- PRIOR TO PLANTING COMPACTED SOIL SHALL BE TRANSFORMED TO A FRIABLE CONDITION.
- INSTALLATION: COMPOST AT A MINIMUM RATE OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF 6 INCHES INTO SOIL.

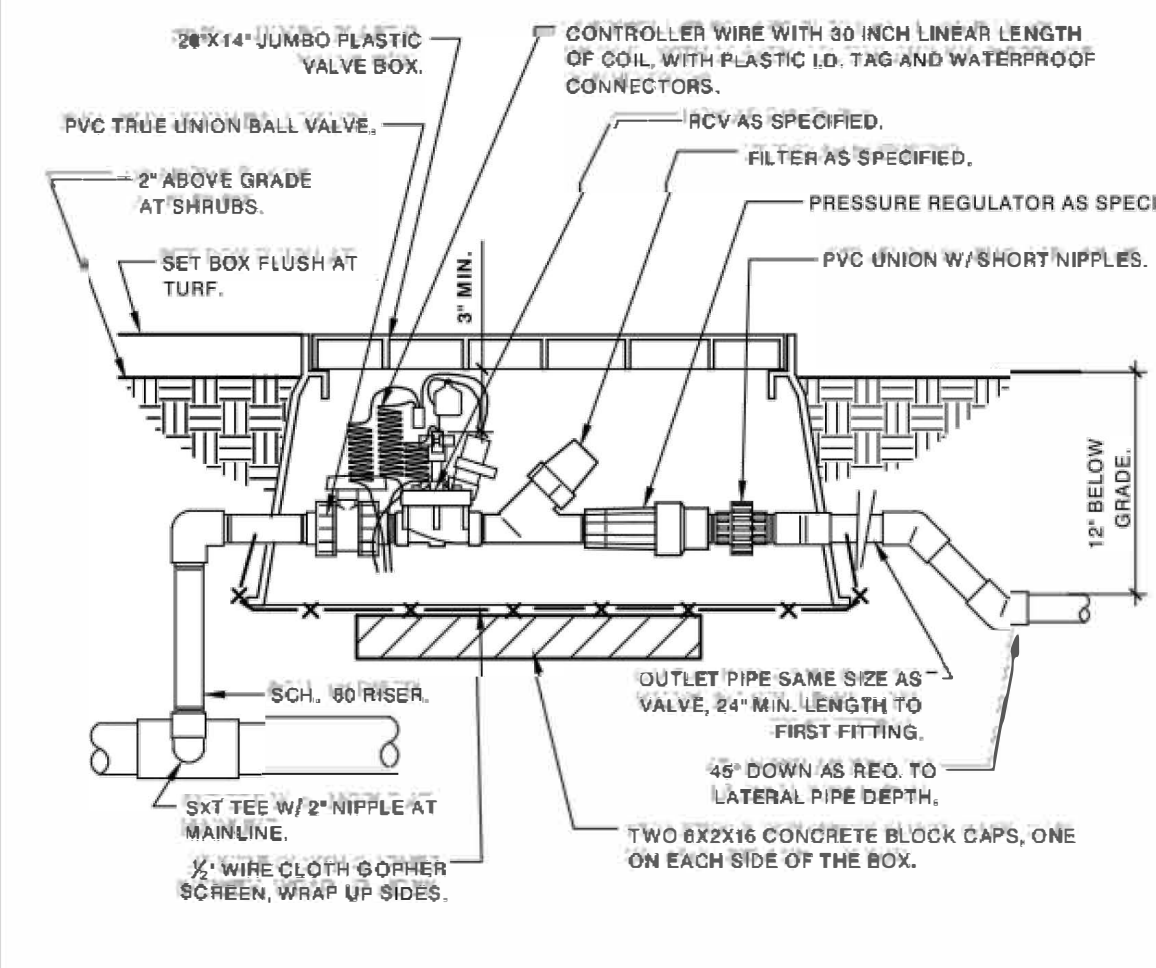
C. IRRIGATION AUDITS:

- LANDSCAPE AUDITS SHALL NOT BE CONDUCTED BY THE PERSON WHO DESIGN OR INSTALLED THE LANDSCAPE AND CONDUCTED IN A MANNER CONSISTENT WITH THE IA LANDSCAPE IRRIGATION AUDIT OR "WATERSENSE" LABELING AUDIT BY USEPA.
- CERTIFICATE OF COMPLETION SUBMITTED TO LOCAL AGENCY FOR APPROVAL.

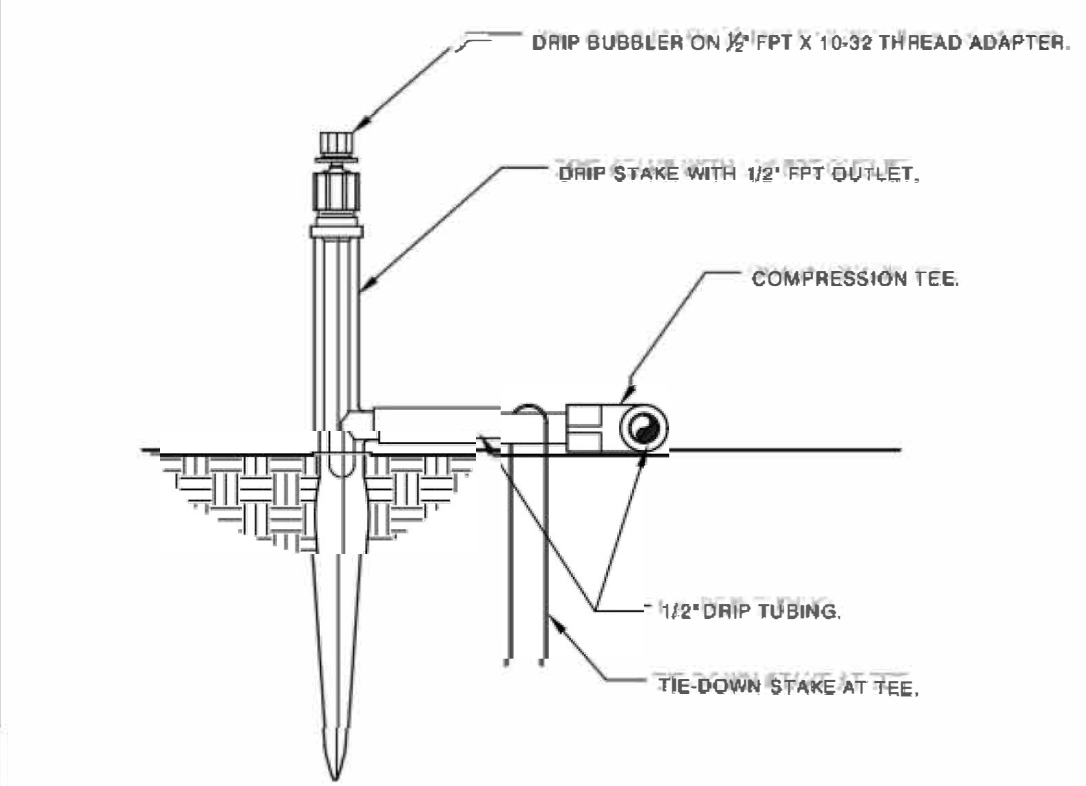


- REDUCED PRESSURE BACKFLOW DEVICE AS SPECIFIED
- GALVANIZED UNIONS AT EACH SIDE
- GALVANIZED RISERS
- CONCRETE THRUST BLOCKS, 90 LBS OF CONCRETE EACH
- GALVANIZED NIPPLES AND ELL AS REQUIRED
- GALVANIZED ELL AND NIPPLE, TYPICAL EACH SIDE
- PVC COUPLER AND SCH 80 TEE NIPPLE, TYPICAL EACH SIDE

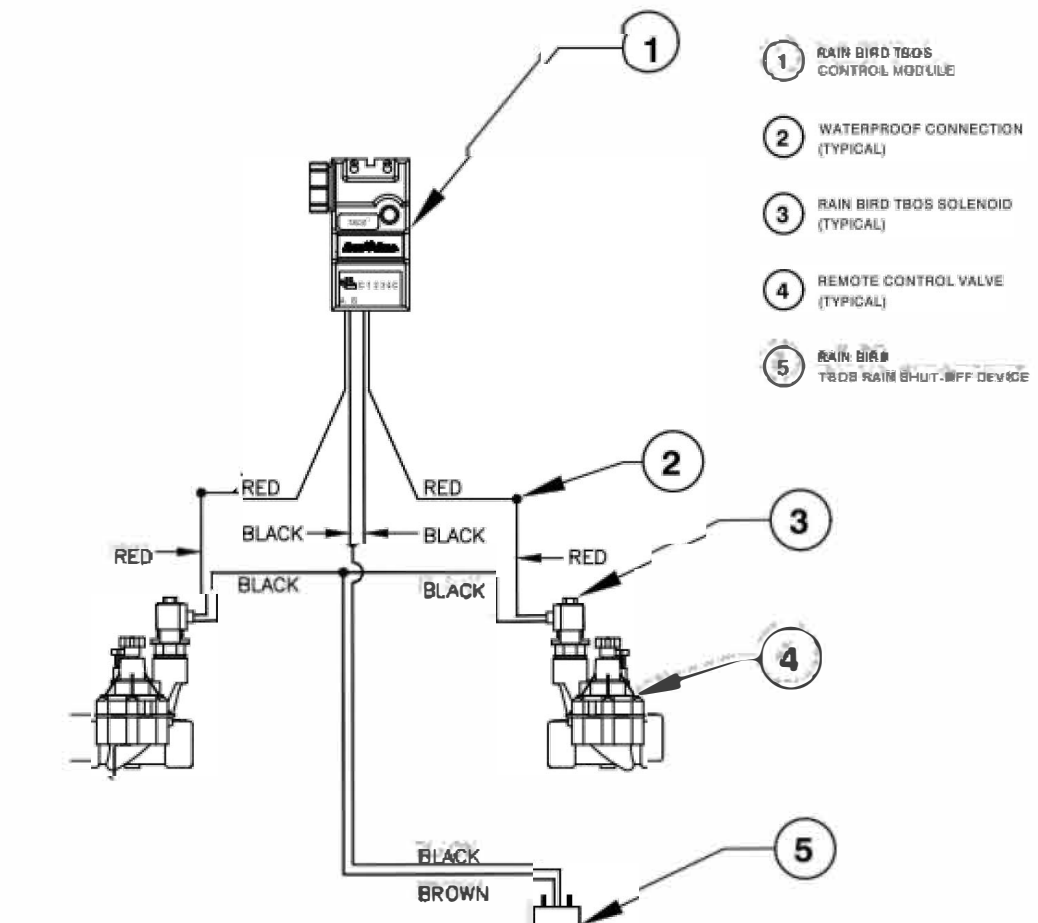
A REDUCED PRESSURE BACKFLOW DEVICE
1" = 1'-0" FX-IR-FX-BACK-03



C 1" DRIP VALVE/FILTER/REGULATOR
1 1/2" = 1'-0" FX-IR-FX-DRIP-12

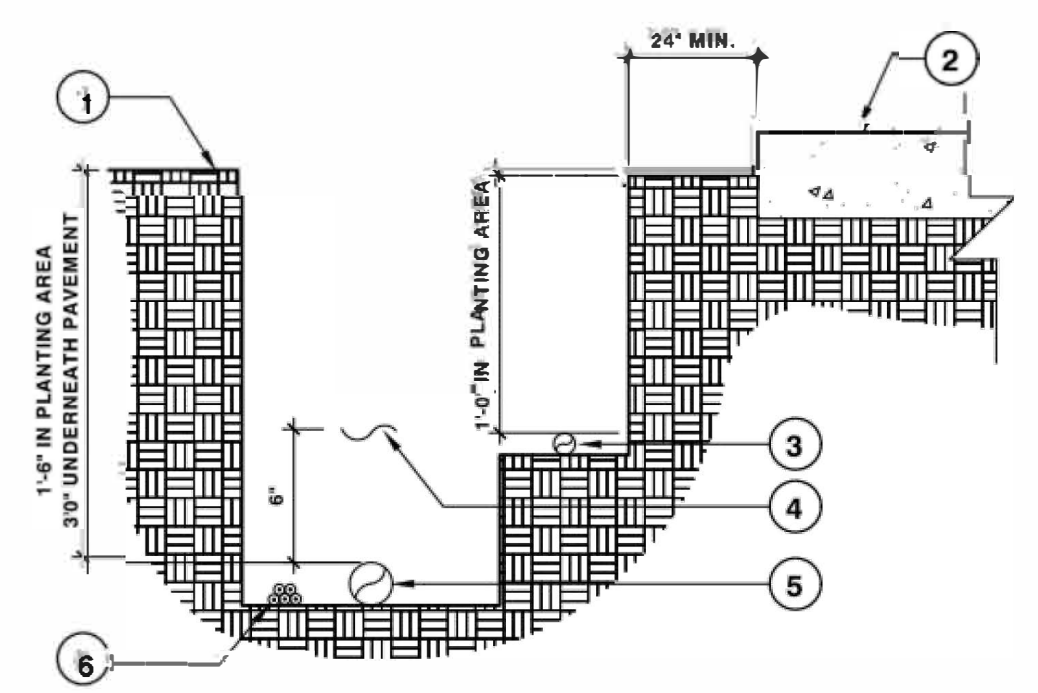


E DRIP BUBBLER ON DRIP STAKE
3" = 1'-0" FX-IR-FX-EMIT-12



- RAIN BIRD TRONS CONTROL HEADS
- WATERPROOF CONNECTION (TYPICAL)
- RAIN BIRD TRONS SOLENOID (TYPICAL)
- REMOTE CONTROL VALVE (TYPICAL)
- RAIN BIRD TRONS MAIN BRUSH 90 DEGREE

B BATTERY-OPERATED CONTROLLER
NOT TO SCALE 1:07



- NOTES:
- SEE IRRIGATION LEGEND FOR MAINLINE AND LATERAL LINE PIPE SIZE AND TYPE.
 - DIRECT BURIAL CONTROL WIRES SHALL BE INSTALLED IN SCH. 40 PVC ELECTRICAL CONDUIT IF REQUIRED.
 - 3 WIRE IRRIGATION WIRE SHALL BE INSTALLED IN SCH. 40 PVC ELECTRICAL CONDUIT.
 - DETECTABLE LOCATOR TAPE SHALL BE LOCATED SIX INCHES (6") ABOVE THE ENTIRE MAINLINE RUN.
- FINISHED GRADE
 - PAVEMENT
 - NON-PRESSURIZED LINE (LATERAL LINE)
 - DETECTABLE LOCATOR TAPE
 - PRESSURIZED LINE (MAINLINE)
 - DIRECT BURIAL LOW VOLTAGE CONTROL WIRES

D IRRIGATION TRENCHING
1 1/2" = 1'-0" FX-IR-FX-AUXE0-08

PLEINAIRE DESIGN GROUP

3203 Lightning St., Ste. 201 // Santa Maria, CA 93455
805.349.9095 // www.pleinairdgd.com



THE DRAWING, DESIGN IDEAS, AND FEATURES OF CONSTRUCTION, DEPICTED WITHIN THE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF KEVIN J. SMALL. LANDSCAPE ARCHITECT. THEY ARE NOT TO BE REPRODUCED, COPIED, SOLD, OR USED FOR ANY OTHER PURPOSE WITHOUT THE EXPRESS WRITTEN CONSENT OF KEVIN J. SMALL.
REA 2028 © 2022 KEVIN J. SMALL

GOLDEN FOOTHILLS
LOCATION NUMBER: 295540

4894 HILSDALE CIRCLE // EL DORADO HILLS, CALIFORNIA 94589

REVISION DATE

SHEET TITLE
IRRIGATION NOTES & DETAILS

OWNER Verizon Wireless
2785 Mitchell Drive, Bldg. 9
Walnut Creek, California 94598

DATE 2022.12.15
PROJECT NO. 22261

SHEET NO.
L-1.1

CUP23-0010/EDH VERIZON WIRELESS TELECOMMUNICATIONS FACILITY
EXHIBIT F - SITE PLAN

GENERAL PLANTING NOTES

- REMOVE ALL DEBRIS, WEEDS, EXCESS MATERIAL AND ROCKS LARGER THAN 3" IN DIAMETER FROM PLANTING AREAS.
- CROSS RIP ALL TURF AND PLANTING AREAS TO A DEPTH OF 12" AND BLEND THE FOLLOWING AMENDMENT INTO THE TILLED SOIL TO A DEPTH OF 6".
 - PER 1000 SQUARE FEET:
 - 6 CUBIC YARDS NITROGEN AND IRON FORTIFIED ORGANIC SOIL AMENDMENT
 - 14 POUNDS 12-12-12 FERTILIZER
 - 15 POUNDS SOIL SULFUR
- EXCAVATE THE PLANTING PITS FOR TREES AND SHRUBS TWICE THE DIAMETER AND TWICE THE DEPTH OF THE ROOT BALL SCARIFY THE SIDES AND BOTTOM OF THE PIT. THE BACKFILL MIX FOR USE AROUND THE ROOT BALL SHALL CONSIST OF THE FOLLOWING:
 - PER CUBIC YARD OF SOIL:
 - 1/3 CUBIC YARD NITROGEN STABILIZED FIR BARK
 - 1 POUND 12-12-12 FERTILIZER
 - 1 1/2 POUNDS IRON SULFATE (20% IRON)
 - 2/3 CUBIC YARD TOPSOIL

PLANT TABS SHALL BE AGRIFORM OR APPROVED EQUAL USED AT MANUFACTURER'S RECOMMENDED RATE FOR EACH PLANT SIZE.
- SOIL AMENDMENT AND BACKFILL MIX ARE PROVIDED FOR BIDDING PURPOSES ONLY. THE CONTRACTOR SHALL PROVIDE FOR IN HIS BID FOR A SOIL AGRONOMY REPORT BY AN APPROVED SOIL AGRONOMIST UPON COMPLETION OF THE ROUGH GRADING. ACTUAL SOIL AMENDMENTS AND BACKFILL MIX SHALL BE AS PER SOIL AGRONOMIST'S REPORT AND RECOMMENDATIONS.
- FINE PRUNE ALL SPECIMEN TREES AFTER PLANTING UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT.
- ALL SPECIMEN TREES SHALL BE SELECTED AT THE SOURCE BY THE LANDSCAPE ARCHITECT.
- UPON COMPLETION, REMOVE ALL EXTRANEOUS MATERIAL AND DEBRIS, BROOM AND WASH CLEAN AREA.
- ACTUAL SYMBOLS SHALL HAVE PRIORITY OVER WRITTEN QUANTITIES. CONTRACTOR SHALL VERIFY QUANTITIES AND NOTIFY LANDSCAPE ARCHITECT OF DISCREPANCIES.
- ALL PLANT MATERIAL, COLOR, SIZE AND QUANTITIES ARE TO BE VERIFIED WITH OWNER.
- ALL SUBSTITUTIONS SHALL BE APPROVED BY LANDSCAPE ARCHITECT AND OWNER, PRIOR TO INSTALLATION.
- ALL FLOW LINES ESTABLISHED BY GRADING PLAN SHALL BE MAINTAINED BY FINISH GRADING. MAINTAIN 1.5% MINIMUM FLOW IN ALL PLANTER AREAS.

PLANT LEGEND

SHRUBS

SYMBOL	NAME	COMMENTS	SIZE	WUCOLS	QTY.
(S1)	HETEROMELES ARBUTIFOLIA TOYON	PLANT PER DETAIL A/L-2.1	15 GAL.	LOW	2

PLANTING LEGEND NOTES

- ALL SHRUBS ARE TO BE PLANTED PER A/L-2.1.
- CONTRACTOR IS TO PROVIDE AN AUTOMATIC IRRIGATION SYSTEM WITH 100% COVERAGE AND SEPARATE SUN/SHADE AND TURF/GROUND COVER SYSTEMS. REFER TO IRRIGATION PLANS FOR SPECIFICS OF INSTALLATIONS.
- CONTRACTOR SHALL NOT DETOUR FROM ANY OF THE PLANT MATERIAL ON THE LIST UNLESS CONSULTING WITH THE LANDSCAPE ARCHITECT FIRST.
- CONTRACTOR SHALL INSTALL HEADER AT THE EDGE OF ALL TURF TO SHRUB AREAS. SEE DETAILS FOR MATERIAL.
- ALL SHRUBED AREAS SHALL RECEIVE A 3" LAYER OF MEDIUM SIZED FIR MULCH 1/2" TO 1" IN DIAMETER. TOP SURFACE OF MULCH SHALL BE A MINIMUM OF 1" BELOW ANY ADJACENT HARDSCAPE. "GORILLA HAIR" OR POST CONSTRUCTION WASTE WILL NOT BE ACCEPTED.
- ALL SLOPE AREAS 3:1 OR GREATER SHALL HAVE JUTE NETTING OR EQUIVALENT SLOPE STABILIZATION MATERIAL APPLIED ON TOP OF ANY APPLIED MULCH.
- ALL PLANT MATERIAL, COLOR, SIZE AND QUANTITIES ARE TO BE VERIFIED WITH OWNER.

CERTIFICATE OF COMPLETION
This certificate is filed out by the project applicant upon completion of the landscape project.

PART 1. PROJECT INFORMATION SHEET

Date		
Project Name		
Name of Project Applicant	Telephone No.	
	Fax No.	
Title	Email Address	
Company	Street Address	
City	State	Zip Code

Project Address and Location:

Street Address	Parcel, tract or lot number, if available:
City	Latitude/Longitude (optional)
State	Zip Code

Property Owner or his/her designee:

Name	Telephone No.	
	Fax No.	
Title	Email Address	
Company	Street Address	
City	State	Zip Code

Property Owner

"I/we certify that I/we have received copies of all the documents within the Landscape Documentation Package and the Certificate of Completion and that it is our responsibility to see that the project is maintained in accordance with the Landscape and Irrigation Maintenance Schedule."

Property Owner Signature _____ Date _____

Please answer the questions below:

- Date the Landscape Documentation Package was submitted to the local agency: _____
- Date the Landscape Documentation Package was approved by the local agency: _____
- Date that a copy of the Water Efficient Landscape Worksheet (including the Water Budget Calculation) was submitted to the local water purveyor: _____

PART 2. CERTIFICATION OF INSTALLATION ACCORDING TO THE LANDSCAPE DOCUMENTATION PACKAGE

"I/we certify that based upon periodic site observations the work has been substantially completed in accordance with the ordinance and that the landscape planting and irrigation installation conform with the criteria and specifications of the approved Landscape Documentation Package."

Signature*	Date	
Name (print)	Telephone No.	
	Fax No.	
Title	Email Address	
License No. or Certification No.		
Company	Street Address	
City	State	Zip Code

*Signer of the landscape design plan, signer of the irrigation plan, or a licensed landscape contractor.

PART 3. IRRIGATION SCHEDULING

Attach parameters for setting the irrigation schedule on controller per ordinance Section 492.10

PART 4. SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE

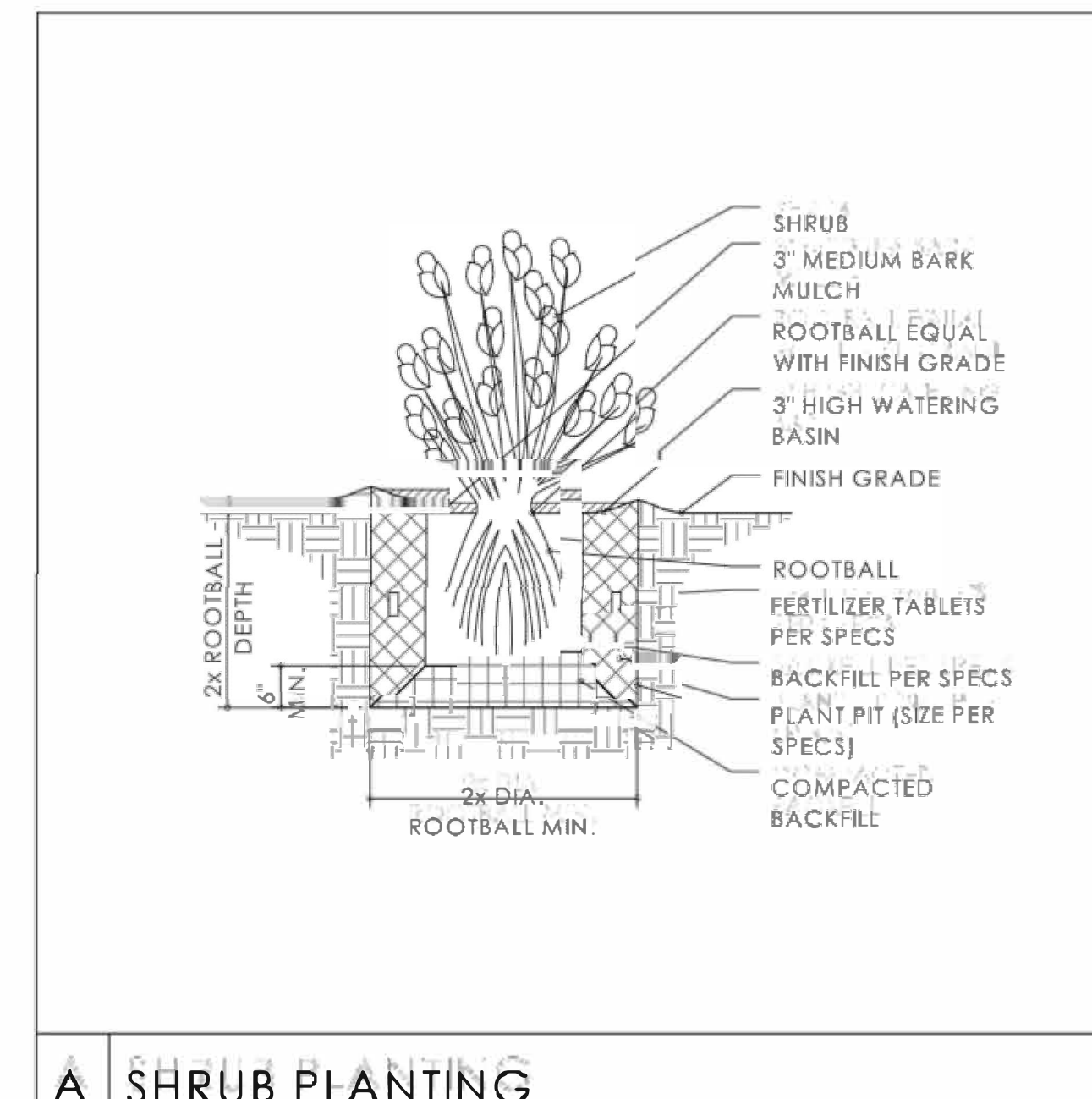
Attach schedule of Landscape and Irrigation Maintenance per ordinance Section 492.11.

PART 5. LANDSCAPE IRRIGATION AUDIT REPORT

Attach Landscape Irrigation Audit Report per ordinance Section 492.12.

PART 6. SOIL MANAGEMENT REPORT

Attach soil analysis report, if not previously submitted with the Landscape Documentation Package per ordinance Section 492.5.
Attach documentation verifying implementation of recommendations from soil analysis report per ordinance Section 492.5.



A SHRUB PLANTING

PLEINAIRE
DESIGN GROUP

3203 Lightning St., Ste. 201 // Santa Maria, CA 93455
805.349.9693 // www.pleinairdsg.com



THE DRAWING, DESIGN IDEAS, AND FEATURES OF CONSTRUCTION DEPICTED WITHIN THE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF KEVIN J. SMALL, LANDSCAPE ARCHITECT. THEY ARE NOT TO BE REPRODUCED, COPIED, SOLD, OR USED FOR ANY OTHER PURPOSE WITHOUT THE EXPRESS WRITTEN CONSENT OF KEVIN J. SMALL. RLA 2028. © 2022 KEVIN J. SMALL.

GOLDEN FOOTHILLS
LOCATION NUMBER: 295540

49 941 ILSDALE CIRCLE // EL DORADO HILLS, CALIFORNIA 94585

REVISION DATE _____

SHEET TITLE

PLANTING NOTES & DETAIL

OWNER Verizon Wireless
2785 Mitchell Drive, Bldg. D
Walnut Creek, California 94598

DATE 2022-12-15
PROJECT NO. 22261

SHEET NO.

L-2.1