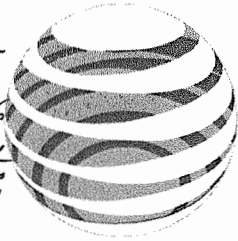


APPROVED
 EL DORADO COUNTY
 PLANNING COMMISSION
 Board of Supervisors
 DATE September 11, 2018
 BY Roger Lindquist
 EXECUTIVE SECRETARY



at&t

SITE NUMBER: CVL03138
 SITE NAME: LATROBE
 7160 DRAGON POINT RD
 SHINGLE SPRINGS, CA 95682

PROPRIETARY INFORMATION
 THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO PECK SITE-CDM IS STRICTLY PROHIBITED

CLIENT:

2600 CAMINO RAMON
 SAN RAMON, CA 94583

PROJECT INFORMATION	PROJECT TEAM	SHEET INDEX
<p>APPLICANT: AT&T MOBILITY 2600 CAMINO RAMON SAN RAMON, CA 94583</p> <p>CONSTRUCTION MANAGER: PETE MANUS EPIC WIRELESS 8700 ALBURN FOLSOM ROAD, SUITE 400 GRANITE BAY, CA 95746 (530) 353-5537</p> <p>SITE SURVEY: CEL ENGINEERING 1226 HIND STREET AUBURN, CA 95603 (530) 885-0426</p> <p>EE ENGINEER: MUHAMMAD AHMED MARIYEMATTI.COM</p> <p>REDS VERSION/DATE: 1.00/01 / 04-28-17</p>	<p>ENGINEERING FIRM: PECK SITE-COM 12852 EARHART AVE. SUITE 101 AUBURN, CA 95602 (530) 885-6160</p> <p>SITE ACQUISITION & PLANNING: JARED KEARLEY EPIC WIRELESS 8700 ALBURN FOLSOM ROAD, SUITE 400 GRANITE BAY, CA 95746 (916) 755-1328</p> <p>CIVIL VENDOR: WICKLIAMS CONSTRUCTION MANAGER KEN ASKE KASKE@WICKLIAMS.COM (916) 844-6602</p>	<p>T-1 TITLE SHEET GN-1 GENERAL NOTES GN-2 SITE SIGNAGE C-1 SITE SURVEY C-2 SITE SURVEY C-3 SITE SURVEY C-4 EROSION CONTROL PLAN & DETAILS C-5 GRADING NOTES & DETAILS C-6 GRADING PLAN A-1 OVERALL SITE PLAN A-2 EQUIPMENT PLAN A-3 ANTENNA PLAN & DETAILS A-4 ELEVATIONS A-4.1 ELEVATIONS</p>
<p>ASSISTANT: AT&T MOBILITY 2600 CAMINO RAMON SAN RAMON, CA 94583</p> <p>CONSTRUCTION MANAGER: PETE MANUS EPIC WIRELESS 8700 ALBURN FOLSOM ROAD, SUITE 400 GRANITE BAY, CA 95746 (530) 353-5537</p> <p>SITE SURVEY: CEL ENGINEERING 1226 HIND STREET AUBURN, CA 95603 (530) 885-0426</p> <p>EE ENGINEER: MUHAMMAD AHMED MARIYEMATTI.COM</p> <p>REDS VERSION/DATE: 1.00/01 / 04-28-17</p>	<p>SITE NAME: CVL03138 FA LOCATION: 1282643</p> <p>SITE ADDRESS: 7160 DRAGON POINT RD SHINGLE SPRINGS, CA 95682</p> <p>ASSESSORS PARCEL NUMBER: 007-181-10-100 18152011 -120 952497</p> <p>LANDSIDE: RL-20 EL DORADO COUNTY EL DORADO</p> <p>PROPERTY OWNER: DOUGLAS BRANN 7160 DRAGON POINT RD SHINGLE SPRINGS, CA 95682</p> <p>POWER AGENCY: PG&E 120 MARKET ST. SPEAR TOWER SAN FRANCISCO, CA 94102 PHONE: 1 (800) 963-2339 AT&T</p> <p>TELEPHONE AGENCY:</p>	<p>DO NOT SCALE DRAWINGS</p> <p>THESE DRAWINGS ARE FORMATTED TO BE FULL SIZE 24"x36". CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOBSITE AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR MATERIAL ORDERS OR BE RESPONSIBLE FOR THE SAME.</p>

PROJECT INFORMATION:

LATROBE
 7160 DRAGON POINT RD
 SHINGLE SPRINGS, CA 95682

REV.	DATE	DESCRIPTION	BY
1	4-27-17	90% ZONING DOC'S	RB
2	5-10-17	REV 90% ZONING DOC'S	RB
3	5-24-17	REV 90% ZONING DOC'S	RB
4	6-13-17	REV 90% ZONING DOC'S	RB
5	8-2-17	REV 90% ZONING DOC'S	RB
6	8-21-17	100% ZONING DOC'S	RB

COORDINATING ENGINEER:

CODE COMPLIANCE	VICINITY MAP	DIRECTIONS FROM AT&T	PROJECT DESCRIPTION
<p>ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.</p> <ol style="list-style-type: none"> 2016 CALIFORNIA BUILDING CODE 2016 CALIFORNIA FIRE CODE 2016 CALIFORNIA ELECTRICAL CODE 2016 CALIFORNIA PLUMBING CODE 2016 CALIFORNIA MECHANICAL CODE 2016 CALIFORNIA HEALTH AND SAFETY CODE 	<p>SITE LOCATION</p>	<p>DIRECTIONS FROM AT&T'S OFFICE AT 2600 CAMINO RAMON, SAN RAMON, CA</p> <ol style="list-style-type: none"> TURN RIGHT ONTO CAMINO RAMON CONTINUE STRAIGHT TO STAY ON CAMINO RAMON TURN RIGHT ONTO BOLLINGER CANYON RD MERGE ONTO I-680 N TAKE EXIT 71A TOWARD I-80 E/SACRAMENTO MERGE ONTO I-80 E KEEP LEFT AT THE FORK TO CONTINUE ON I-80B, E/US-50 E/CAPITAL CITY FREEWAY, FOLLOW SIGNS FOR INTERSTATE 80 BUSINESS/SACRAMENTO/SOUTH LAKE TAHOE CONTINUE ONTO US-50 E TAKE EXIT 30A TO MERGE ONTO LATROBE RD CONTINUE ON LATROBE RD. DRIVE TO LOST HORIZON RD MERGE ONTO LATROBE RD TURN RIGHT ON DRAGON POINT RD 	<p>AT&T PROPOSES TO CONSTRUCT A NEW UNMANNED TELECOMMUNICATIONS FACILITY. AT&T WILL INSTALL:</p> <ul style="list-style-type: none"> (1) NEW 12' WIDE A/C PAVED ACCESS ROAD (1) NEW 30'X35' FENCED LEASE AREA (1) NEW 6' CHAIN LINK FENCE (1) NEW 12' WIDE DOUBLE ACCESS GATE (1) NEW 140' BROADLEAF POLE (1) NEW PRE-FAB EQUIPMENT SHELTER WITH ANCLLARY INTERIOR EQUIPMENT (1) NEW 0P'S ANTENNA (1) NEW 336W PROPANE GENERATOR (1) LP PROPANE TANK (500 GALLON) (12) NEW ANTENNAS (9) NEW RRUS-11, (9) NEW RRUS-32 & (3) FUTURE RRUS (4) NEW SURGE SUPPRESSORS (2) FUTURE 4' M/W DISH

COORDINATING ENGINEER:

Peek Site-Cor
 12852 Earhart Ave. Suite 101
 Auburn, California 95602
 Phone (530) 885-6160
 E-Mail Info@peeksite.com

OCCUPANCY & CONST. TYPE	SPECIAL INSPECTIONS	APPROVALS	GENERAL CONTRACTOR NOTES																											
<p>OCCUPANCY: U (UNMANNED) CONSTRUCTION TYPE: V-B</p> <p>ACCESSIBILITY REQUIREMENTS: THIS FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS REQUIREMENTS ARE NOT REQUIRED IN ACCORDANCE WITH THE 2016 CALIFORNIA BUILDING CODE, CHAPTER 11B, EXCEPTION SECTION 11B-203.5</p>	<p>*SEE SPECIAL INSPECTION FORM</p> <ol style="list-style-type: none"> POST-INSTALLED ANCHORS HIGH STRENGTH BOLTING <p>Exhibit F Site 5 Latrobe</p>	<table border="1"> <thead> <tr> <th>APPROVED BY:</th> <th>INITIALS</th> <th>DATE:</th> </tr> </thead> <tbody> <tr> <td>AT&T:</td> <td></td> <td></td> </tr> <tr> <td>VENDOR:</td> <td></td> <td></td> </tr> <tr> <td>R.F.:</td> <td></td> <td></td> </tr> <tr> <td>LEASING/LANDLORD:</td> <td></td> <td></td> </tr> <tr> <td>ZONING:</td> <td></td> <td></td> </tr> <tr> <td>CONSTRUCTION:</td> <td></td> <td></td> </tr> <tr> <td>POWER/TELECO:</td> <td></td> <td></td> </tr> <tr> <td>PG&E:</td> <td></td> <td></td> </tr> </tbody> </table>	APPROVED BY:	INITIALS	DATE:	AT&T:			VENDOR:			R.F.:			LEASING/LANDLORD:			ZONING:			CONSTRUCTION:			POWER/TELECO:			PG&E:			<p>GENERAL CONTRACTOR NOTES</p> <p>DO NOT SCALE DRAWINGS</p> <p>THESE DRAWINGS ARE FORMATTED TO BE FULL SIZE 24"x36". CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOBSITE AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR MATERIAL ORDERS OR BE RESPONSIBLE FOR THE SAME.</p>
APPROVED BY:	INITIALS	DATE:																												
AT&T:																														
VENDOR:																														
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ZONING:																														
CONSTRUCTION:																														
POWER/TELECO:																														
PG&E:																														

SEAL:

SITE # CVL03138
 DRAWN BY RB

SHEET TITLE: TITLE SHEET

SHEET NUMBER: T-1
 REVISION: 0

GENERAL CONSTRUCTION NOTES:

- DRAWINGS ARE NOT TO BE SCALED, WRITTEN DIMENSIONS TAKE PRECEDENCE, AND THIS SET OF PLANS IS INTENDED TO BE USED FOR DIAGRAMMATIC PURPOSES ONLY, UNLESS NOTED OTHERWISE, THE GENERAL CONTRACTOR'S SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, LABOR, AND ANYTHING ELSE DEEMED NECESSARY TO COMPLETE INSTALLATIONS AS DESCRIBED HEREIN.
- PRIOR TO THE SUBMISSION OF BIDS, THE CONTRACTORS INVOLVED SHALL VISIT THE JOB SITE AND FAMILIARIZE THEMSELVES WITH ALL CONDITIONS AFFECTING THE PROPOSED PROJECT, WITH THE CONSTRUCTION AND CONTRACT DOCUMENTS, FIELD CONDITIONS AND CONFIRM THAT THE PROJECT MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY ERRORS, OMISSIONS, OR DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
- THE GENERAL CONTRACTOR SHALL RECEIVE WRITTEN AUTHORIZATION TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DRAWINGS/ CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO MANUFACTURERS'/ VENDOR'S SPECIFICATIONS UNLESS NOTED OTHERWISE OR WHERE LOCAL CODES OR ORDINANCES TAKE PRECEDENCE.
- ALL WORK PERFORMED ON PROJECT AND MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES, CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES BEARING ON THE PERFORMANCE OF THE WORK.
- GENERAL CONTRACTOR SHALL PROVIDE AT THE PROJECT SITE A FULL SET OF CONSTRUCTION DOCUMENTS UPDATED WITH THE LATEST REVISIONS AND ADDENDUMS OR CLARIFICATIONS FOR THE USE BY ALL PERSONNEL INVOLVED WITH THE PROJECT.
- THE STRUCTURAL COMPONENTS OF THIS PROJECT SITE/ FACILITY ARE NOT TO BE ALTERED BY THIS CONSTRUCTION PROJECT UNLESS NOTED OTHERWISE.
- DETAILS INCLUDED HEREIN ARE INTENDED TO SHOW END RESULT OF DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB CONDITIONS OR SITUATIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE SCOPE OF WORK.
- SEAL PENETRATIONS THROUGH FIRE-RATED AREAS WITH U.L. LISTED OR FIRE MARSHALL APPROVED MATERIALS IF APPLICABLE TO THIS FACILITY AND OR PROJECT SITE.
- PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A10BC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE PROJECT AREA DURING CONSTRUCTION.
- THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, EASEMENTS, PAVING, CURBING, ETC. DURING CONSTRUCTION UPON COMPLETION OF WORK, CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY.
- CONTRACTOR SHALL SEE TO IT THAT GENERAL WORK AREA IS KEPT CLEAN AND HAZARD FREE DURING CONSTRUCTION AND DISPOSE OF ALL DIRT, DEBRIS, RUBBISH AND REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. PREMISES SHALL BE LEFT IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SAUCES OF ANY NATURE.
- THE ARCHITECTS/ENGINEERS HAVE MADE EVERY EFFORT TO SET FORTH IN THE CONSTRUCTION AND CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK, CONTRACTORS BIDDING THE JOB ARE NEVERTHELESS CAUTIONED THAT MINOR OMISSIONS OR ERRORS IN THE DRAWINGS AND OR SPECIFICATIONS SHALL NOT EXCUSE SAID CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS. THE BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) THE ARCHITECT/ENGINEER OF ANY CONFLICTS, ERRORS, OR OMISSIONS PRIOR TO THE SUBMISSION OF CONTRACTOR'S PROPOSAL. IN THE EVENT OF DISCREPANCIES THE CONTRACTOR SHALL PRICE THE MORE COSTLY OR EXTENSIVE WORK, UNLESS DIRECTED OTHERWISE.

ABBREVIATIONS

ABV.	ABOVE	L.F.	LINEAR FEET (FOOT)
ADD'L	ADDITIONAL	MAX.	MAXIMUM
A.G.L.	ABOVE GROUND LEVEL	M.B.	MACHINE BOLT
ALUM.	ALUMINUM	MECH.	MECHANICAL
APPROX.	APPROXIMATELY	MFR.	MANUFACTURER
AWG	AMERICAN WIRE GAUGE	MISC.	MISCELLANEOUS
BLDG.	BUILDING	MTL.	METAL
BLK.	BLOCKING	(N)	NEW
CAB.	CABINET	NO. (#)	NUMBER
CONC.	CONCRETE	N.T.S.	NOT TO SCALE
CONN.	CONNECTION(OR)	O.C.	ON CENTER
CONSTR.	CONSTRUCTION	P/C	PRECAST CONCRETE
CONT.	CONTINUOUS	PPC	POWER PROTECTION CABINET
DBL.	DOUBLE	P.S.F.	POUNDS PER SQUARE FOOT
DEPT.	DEPARTMENT	P.S.I.	POUNDS PER SQUARE INCH
D.F.	DOUGLAS FIR	P.T.	PRESSURE TREATED
DIA.	DIAMETER	QTY.	QUANTITY
DM.	DIMENSION	RAD. (R)	RADIUS
EACH	EACH	REF.	REFERENCE
ELEV.	ELEVATION	REINF.	REINFORCEMENT(ING)
ELEC.	ELECTRICAL	REQ'D	REQUIRED
EMT.	ELECTRICAL METALLIC TUBING	RGS	RIGID GALVANIZED STEEL
ENG.	ENGINEER	RSR	SCHEDULE
EQ.	EQUAL	SCH	SHEET
(E)	EXISTING	SPEC.	SPECIFICATIONS
EXT.	EXTERIOR	SO	SQUARE
FAB.	FABRICATION	S.S.	STAINLESS STEEL
F.F.	FINISHED FLOOR	STD.	STANDARD
F.B.	FINISHED GRADE	STL.	STEEL
FT. (')	FOOT (FEET)	STRUC.	STRUCTURAL
FTC.	FOOTING	TEMP.	TEMPORARY
GA.	GAUGE	T.O.A.	TOP OF ANTENNAS
GALV.	GALVANIZED(O)	T.O.F.	TOP OF FOUNDATION
G.F.I.	GROUND FAULT CIRCUIT INTERRUPTER	T.O.P.	TOP OF PLATE (PARAPET)
GPS	GLOBAL POSITIONING SYSTEM	T.O.W.	TOP OF WALL
GRND.	GROUND(ING)	TR.	TYPICAL
HT.	HEIGHT	U/G	UNDER GROUND
ICGB.	ISOLATED COPPER GROUND BUS	V.F.	VERIFY IN FIELD
IN. (")	INCH(ES)	W	WIDE (WIDTH)
INT.	INTERIOR	W/	WITH
L.B.	LAG BOLTS	WT.	WEIGHT

SYMBOLS LEGEND

	WOOD FENCE
	CHAIN LINK FENCE
	HIDDEN LINE
	COAX/POWER/FIBER CONDUIT
	PROPERTY LINE
	ELEVATION DATUM
	EARTH
	CONCRETE
	SAND
	GRATE PLATFORM
	GRAVEL
	FRP (FIBERGLASS REINFORCED PLASTIC)
	NEW DC SURGE SUPPRESSOR
	NEW ANTENNA
	NEW RTU

PROPRIETARY INFORMATION
THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO PEAK SITE-COM IS STRICTLY PROHIBITED



2500 CAMINO RAMON
SAN RAMON, CA 94583

PROJECT INFORMATION:

LATROBE
7160 DRAGON POINT RD
SHAWEE SPRINGS, CA 95842

REV. DATE: DESCRIPTION: BY:

REV.	DATE	DESCRIPTION	BY
1	4-27-17	90% ZONING DOC'S	RB
2	5-10-17	REV 90% ZONING DOC'S	RB
3	5-24-17	REV 90% ZONING DOC'S	RB
4	8-13-17	REV 90% ZONING DOC'S	RB
5	8-2-17	REV 90% ZONING DOC'S	RB
6	8-21-17	100% ZONING DOC'S	RB

COORDINATING ENGINEER:

Peek Site-Com

12852 Earhart Ave. Suite 101
Auburn, California 95602
Phone (530) 885-6160

E-Mail info@peeksitcom.com

SEAL:



SITE # _____ CHK: _____ DRAWN BY: _____

CVL0313B ... RB

SHEET TITLE:

GENERAL NOTES

SHEET NUMBER: _____ REVISION: _____

GN-1 0

CVL03138 Latrobe
Lease Area Description

All that certain lease area being a portion that certain Tract 1 as delineated on the plat filed in Book 21 of Surveys, Page 47 El Dorado County, California being more particularly described as follows:

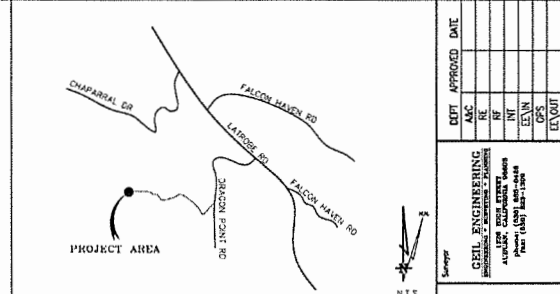
Equipment Lease Area

Commencing at the Northeast corner of the aforementioned Tract 1 thence along the North boundary thereof West, 1084.50 feet; thence leaving said North boundary South, 30.00 feet to the True Point of Beginning; thence from said point of beginning South 30°00'00" East, 35.00 feet; thence South 33°59'59" West, 30.00 feet; thence North 30°00'00" West, 35.00 feet; thence North 39°59'59" East, 30.00 feet to the point of beginning.

Together with easement for access and utility purposes, fifteen feet in width, the centerline of which is described as follows: Beginning at a point on the Northeast boundary of the above described lease area which bears South 00°00'01" East, 11.67 feet from the North corner thereof; thence from said point of beginning East, 195.77 feet; thence along a tangent curve to the East, having a radius of 82.50 feet and a central angle of 45°00'00"; thence along said curve a distance of 49.09 feet; thence South 45°00'00" East, 9.45 feet; thence along a tangent curve to the Southeast, having a radius of 57.50 feet and a central angle of 45°00'00"; thence along said curve a distance of 45.18 feet; thence North 90°00'00" East, 12.56 feet; thence along a non-tangent curve to the East, having a radius of 82.50 feet a central angle of 59°17'32", and a chord of 61.83 feet bearing North 60°21'14" West; thence along said curve a distance of 64.68 feet; thence South 30°42'28" East, 41.03 feet; thence along a tangent curve to the Southeast, having a radius of 47.50 feet and a central angle of 77°30'23"; thence along said curve a distance of 64.26 feet; thence North 74°43'43" East, 99.68 feet; thence along a tangent curve to the East, having a radius of 42.50 feet and a central angle of 18°48'22"; thence along said curve a distance of 13.91 feet; thence along a reverse curve, having a radius of 57.50 feet a central angle of 35°45'47"; thence along said curve a distance of 35.89 feet; thence North 57°43'19" East, 80.87 feet; thence along a tangent curve to the Northeast, having a radius of 57.50 feet and a central angle of 65°46'20"; thence along said curve a distance of 66.84 feet; thence South 56°29'21" East, 41.48 feet; thence along a tangent curve to the Southeast, having a radius of 1024.67 feet and a central angle of 13°49'55"; thence along said curve a distance of 247.37 feet; thence along a reverse curve, having a radius of 77.50 feet a central angle of 13°38'30"; thence along said curve a distance of 18.86 feet; thence South 28°41'56" East, 84.25 feet to a point hereafter referred to as Point A; thence along a tangent curve to the Southeast, having a radius of 27.50 feet and a central angle of 108°17'42"; thence along said curve a distance of 31.94 feet; thence North 43°25'22" East, 97.47 feet to a point on the East boundary of the aforementioned Tract 1; thence along the roadway easement described in Document 2002-46499 of official Records of El Dorado County North 43°25'22" East, 116.51 feet more or less to non-exclusive road and public utility easement as shown on that certain plat filed in Book 23 of Parcel Maps, Page 30 El Dorado County Records; thence along said easement to the public right of way commonly known as Latrobe Road;

Together with easement for access and utility purposes, six feet in width, the centerline of which is described as follows: Beginning at the above described Point A and running thence South 14°06'14" East 58.0 feet more or less to an existing utility service connection location.

DATE OF SURVEY: 04-12-17
 SURVEYED BY OR UNDER DIRECTION OF: KENNETH D. GUL, RCE 14803
 LOCATED IN THE COUNTY OF EL DORADO, STATE OF CALIFORNIA
 BEARINGS SHOWN ARE BASED UPON MONUMENTS FOUND AND RECORD INFORMATION. THIS IS NOT A BOUNDARY SURVEY.
 ELEVATIONS SHOWN ON THIS PLAN ARE BASED UPON U.S.C.S. N.A.V.D. 88 DATUM. ABOVE MEAN SEA LEVEL, UNLESS OTHERWISE NOTED.
 N.G.V.D. 1929 CORRECTION: SUBTRACT 2.47' FROM ELEVATIONS SHOWN.
 FEMA FIRM: UNMAPPED AREA
 CONTOUR INTERVAL: 1 FT.
 ASSESSOR'S PARCEL NUMBER: 087-181-10-100
 LAHOLDR(S): DOUGLAS BRAUN
 7160 DRAGON POINT RD,
 SHINGLE SPRINGS, CA 95882
 Project Name: CVL03138 Latrobe
 Project Site Location: 7160 Dragon Point Road
 Shingle Springs, CA 95882
 El Dorado County
 Date of Observation: 04-12-17
 Equipment/Procedure Used to Obtain Coordinates: Trimble Pathfinder
 Cx at post processed with Pathfinder Office software.
 Type of Antenna Mount: Proposed Monopole
 Coordinates
 Latitude: N 38°31'43.16" (NAD83) N 38°31'45.49" (NAD27)
 Longitude: W 120°37'48.59" (NAD83) W 120°37'44.80" (NAD27)
 Latitude: N 38.529211" (NAD83) N 38.529203" (NAD27)
 Longitude: W 120.63497" (NAD83) W 120.62444" (NAD27)
 ELEVATION of Ground of Structure (NAVD88) 742.5' AMSL



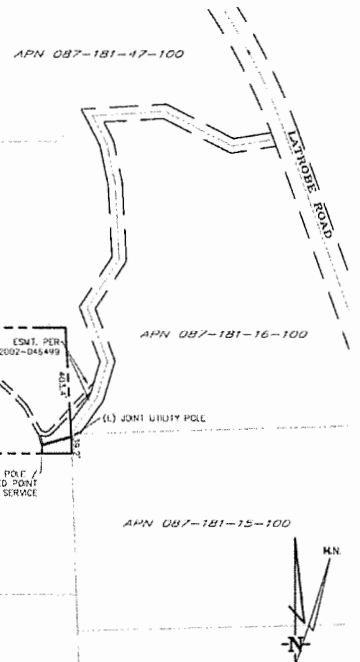
LATROBE, CA VICINITY MAP

THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATION AS INSTRUMENTS OF SERVICE, ARE THE EXCLUSIVE PROPERTY OF GEL ENGINEERING AND THEIR USE AND PUBLICATION SHALL BE RESTRICTED TO THE ORIGINAL SITE AND CARRIER FOR WHICH THEY ARE PREPARED. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED EXCEPT BY WRITTEN PERMISSION FROM GEL ENGINEERING. TITLE TO THESE PLANS AND/OR SPECIFICATIONS SHALL REMAIN WITH GEL ENGINEERING WITHOUT PREJUDICE AND VISUAL CONTACT WITH THEM SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

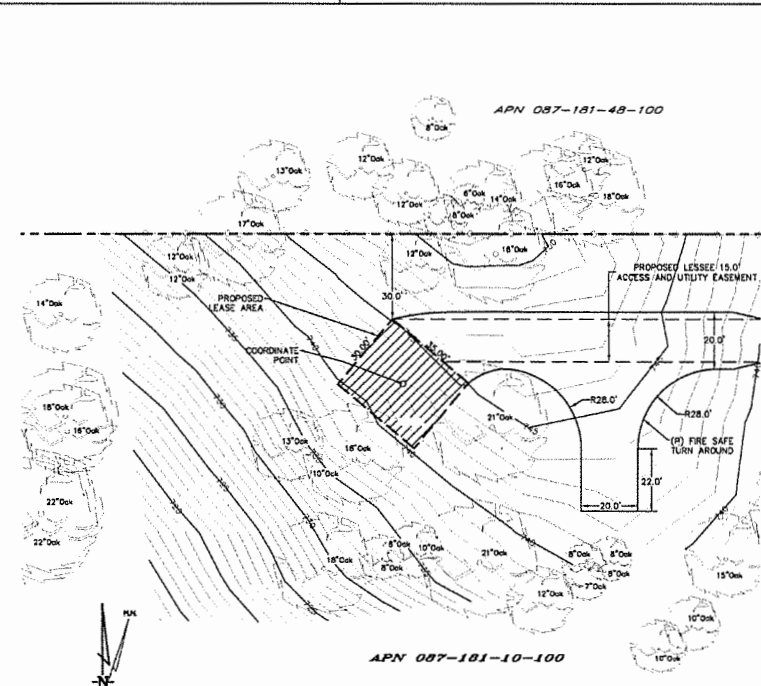
BOUNDARY SHOWN IS BASED ON MONUMENTATION FOUND AND RECORD INFORMATION. THIS IS NOT A BOUNDARY SURVEY. THIS IS A SPECIALIZED TOPOGRAPHIC MAP WITH PROPERTY LINES AND EASEMENTS BEING A GRAPHIC DEPICTION BASED ON INFORMATION GATHERED FROM VARIOUS SOURCES OF RECORD AND AVAILABLE MONUMENTATION FOUND DURING THE FIELD SURVEY. NO EASEMENTS WERE RESEARCHED OR PLOTTED. PROPERTY LINES AND LINES OF TITLE WERE NOT INVESTIGATED NOR SURVEYED. NO PROPERTY MONUMENTS WERE SET.

DEPT.	APPROVED	DATE

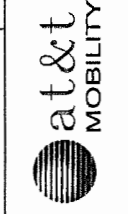
GEL ENGINEERING
 PROFESSIONAL ENGINEERING
 LICENSE NO. 44568
 LICENSE EXPIRES 12/31/2024
 LICENSED PROFESSIONAL ENGINEER
 CIVIL
 STATE OF CALIFORNIA
 PROJECT NO. 1487-17-001



SCALE 1" = 200'
OVERALL PROJECT AREA



SCALE 1" = 20'
LEASE AREA DETAIL



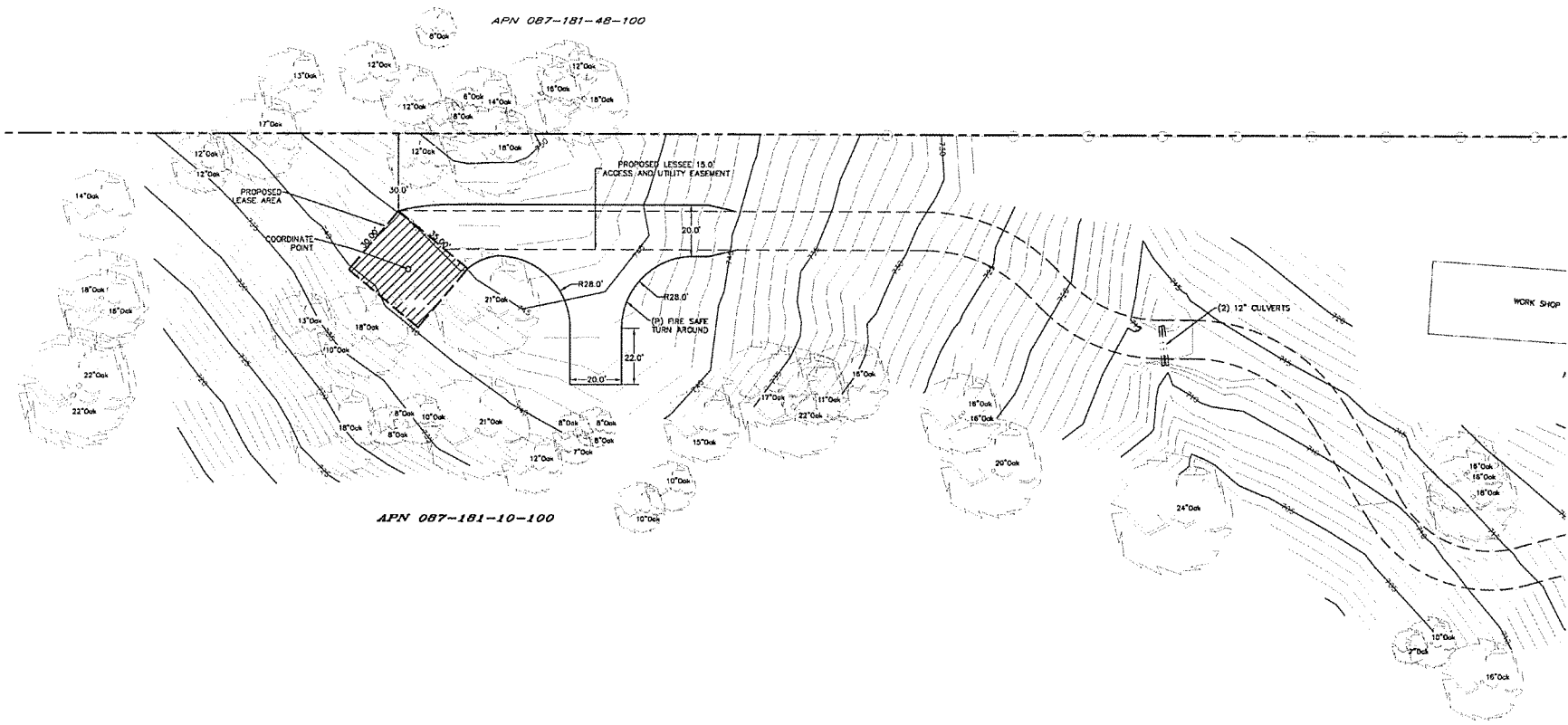
CVL03138 Latrobe
 7160 Dragon Point Road
 Shingle Springs, CA 95882

NO.	DATE	DESCRIPTION
1	04-12-17	PRELIMINARY DRAWING
2	04-12-17	REV. ISSUE DATE
3		
4		
5		
6		

C-1

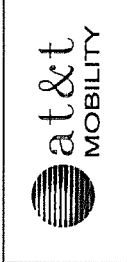
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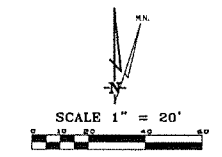
Surveyor
CEIL ENGINEERING
 1100 S. GARDEN AVENUE
 SUITE 100
 ANAHEIM, CA 92805
 Phone: (714) 771-1222



CVL03138 Latrobe
 7180 Dragon Point Road
 Shingale Springs, CA 95682

PLOT PLAN AND
 SITE TOPOGRAPHY

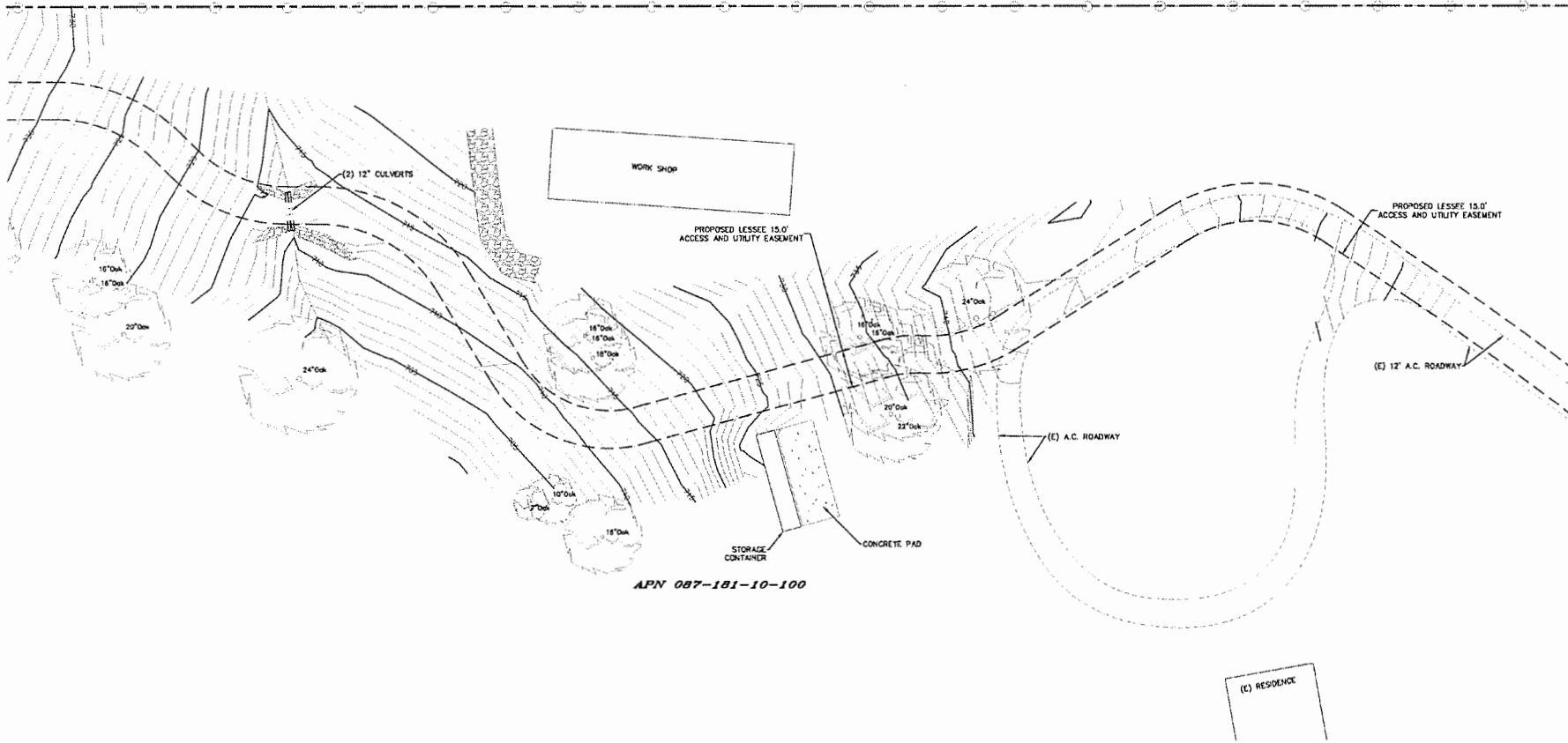
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LEASE AREA DETAIL

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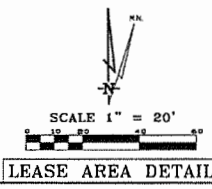
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CEIL ENGINEERING
 PROFESSIONAL ENGINEERING CONSULTANTS
 15000 S. GARDEN AVENUE, SUITE 100
 GARDEN GROVE, CA 92647
 PHONE (714) 942-1100



CVI03138 Latrobe
 7160 Dragon Point Area
 Shingle Springs, CA 95682
 PLOT PLAN AND
 SITE TOPOGRAPHY

NO.	DATE	DESCRIPTION
01	08-17-17	PRELIMINARY DRAFT
02	09-15-17	REV. ISSUED
03		
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C-3

LEASE AREA DETAIL

GENERAL NOTES

1. THE CONTRACTOR SHALL HAVE A RESPONSIBLE PARTY WHO SHALL HAVE THE AUTHORITY TO REPRESENT AND ACT FOR THE CONTRACTOR, ON THE JOB SITE DURING ALL WORKING HOURS.
2. ALL WORK SHALL BE ACCOMPLISHED TO THE SATISFACTION OF THE WASHOE COUNTY AUTHORIZED REPRESENTATIVE.

DEFINITIONS:

- (ESC) - EROSION AND SEDIMENT CONTROL
 (NPDES) - NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM
 (CWA) - CLEAN WATER ACT
 (SWPWS) - STORM WATER POLLUTION PREVENTION PLAN
 (BMP'S) - BEST MANAGEMENT PRACTICES

THE CONTRACTOR SHALL:

MAKE HIM/HERSELF AWARE OF THE REQUIREMENTS OF SAID GENERAL PERMIT AND THE PROVISIONS OF THE GRADING & EROSION CONTROL PLANS.

IMPLEMENT THE ESC FEATURES AND BEST MANAGEMENT PRACTICES (BMP'S) CONTAINED IN THE IMPROVEMENT PLANS, AND OTHERWISE DILIGENTLY PURSUE COMPLIANCE WITH THE LOCAL REQUIREMENTS.

ASSIST THE OWNER, ENGINEER, AND PUBLIC WORKS DEPARTMENT STAFF IN THE ASSESSMENT OF THE FUNCTIONALITY OF AND MODIFICATIONS TO THE FEATURES AND PRACTICES IMPLEMENTED AND PROPOSED.

MEET WITH THE OWNER AND THE PUBLIC WORKS DEPARTMENT STAFF TO DETERMINE AND DISCUSS THE STATUS OF THE PROJECT, CONSTRUCTION SCHEDULE, AND ANY MODIFICATIONS AND/OR ADDITIONS TO THE ESC FEATURES IN ORDER TO DILIGENTLY PURSUE COMPLIANCE.

DOCUMENT ANY MAINTENANCE, REPLACEMENT, INSPECTION, MODIFICATIONS OR ADDITIONS TO THE PROJECT ESC FEATURES AND NOTIFY THE ENGINEER AND PUBLIC WORKS DEPARTMENT STAFF OF ANY SUBSTANTIAL MODIFICATIONS OR ADDITIONS TO THE ESC PRACTICES AND FEATURES. ALL DISTURBED AREAS SHALL BE PROTECTED WITH APPROVED MATERIALS WITHIN 15 DAYS OF COMPLETION OF THE FINISHED GRADES.

MAINTAIN AN INVENTORY OF ESC MATERIALS (STRAW BALES, 1.5" - 3" CLEAN CRUSHED ROCK, FIBER ROLLS, SILT FENCE, ROCK BAGS, ETC.) ON SITE FOR EMERGENCY USE AS DIRECTED BY THE ENGINEER, OWNER, OR THE PUBLIC WORKS DEPARTMENT STAFF.

OTHER RESPONSIBILITIES OF APPLICANT:

- A. PROTECTION OF UTILITIES: THE APPLICANT SHALL BE RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO ANY PUBLIC UTILITIES OR SERVICES.
- B. PROTECTION OF ADJACENT PROPERTY: THE APPLICANT SHALL BE RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO ADJACENT PROPERTY. NO PERSON(S) SHALL EXCAVATE ON LAND THAT IS SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY ADJACENT PUBLIC STREET, SIDEWALK, ALLEY, STRUCTURE OR OTHER PUBLIC OR PRIVATE PROPERTY OR CAUSE DAMAGE WITHOUT SUPPORTING AND PROTECTING SUCH PROPERTY FROM ANY DAMAGE WHICH MIGHT OTHERWISE RESULT.
- C. ADVANCE NOTICE: THE APPLICANT SHALL NOTIFY THE COUNTY AT LEAST FORTY-EIGHT HOURS PRIOR TO THE START OF WORK.
- D. EROSION AND SEDIMENT CONTROL: IT SHALL BE THE SOLE RESPONSIBILITY OF THE APPLICANT TO PREVENT DISCHARGE OF SEDIMENT FROM THE SITE IN QUANTITIES GREATER THAN BEYOND THE GRADING OCCURRED, TO ANY WATERCOURSE, DRAINAGE SYSTEM, OR ADJACENT PROPERTY.
- E. COMPLIANCE WITH STORMWATER RUNOFF POLLUTION CONTROL CODE: AT ALL TIMES DURING THE PRECONSTRUCTION AND CONSTRUCTION OF ANY PROJECT FOR WHICH GRADING APPROVAL IS ISSUED UNLESS ALL FINAL IMPROVEMENTS AND PERMANENT STRUCTURES ARE COMPLETE, THE APPLICANT SHALL FULLY COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE STORMWATER RUNOFF POLLUTION CONTROL CODE.

EROSION CONTROL NOTES

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE COUNTY IMPROVEMENT STANDARDS, CURRENT EDITION, AND THE COUNTY EROSION AND SEDIMENT CONTROL GUIDELINES.
2. EROSION CONTROL BEST MANAGEMENT PRACTICES (BMP'S) SHALL BE INSTALLED AND MAINTAINED DURING THE WET SEASON (OCTOBER THROUGH APRIL 30). SEDIMENT CONTROL BMP'S SHALL BE INSTALLED AND MAINTAINED ALL YEAR.
3. ALL DRAINAGE INLETS IMMEDIATELY DOWNSTREAM OF THE WORK AREAS AND WITHIN THE WORK AREAS SHALL BE PROTECTED WITH SEDIMENT CONTROL INLET FILTER BAGS YEAR ROUND. INLET FILTER BAGS SHALL BE REMOVED FROM THE DRAINAGE INLETS UPON ACCEPTANCE OF THE PUBLIC IMPROVEMENTS BY THE COUNTY.
4. ALL AREAS DISTURBED DURING CONSTRUCTION, BY GRADING, TRENCHING, OR OTHER ACTIVITIES, SHALL BE PROTECTED FROM EROSION DURING THE WET SEASON (OCTOBER 1 THROUGH APRIL 30). HYDROSEEDING, IF UTILIZED, MUST BE PLACED BY SEPTEMBER 15. HYDROSEED PLACED DURING THE WET SEASON SHALL USE A SECONDARY EROSION PROTECTION METHOD.
5. SENSITIVE AREAS AND AREAS WHERE EXISTING VEGETATION IS BEING PRESERVED SHALL BE PROTECTED WITH CONSTRUCTION FENCING. SEDIMENT CONTROL BMP'S SHALL BE INSTALLED WHERE ACTIVE CONSTRUCTION AREAS DRAIN INTO SENSITIVE OR PRESERVED VEGETATION AREAS.
6. SEDIMENT CONTROL BMP'S SHALL BE PLACED ALONG THE PROJECT PERIMETER WHERE DRAINAGE LEAVES THE PROJECT. SEDIMENT CONTROL BMP'S SHALL BE MAINTAINED YEAR ROUND UNLESS THE CONSTRUCTION IS COMPLETE OR THE DRAINAGE PATTERN HAS BEEN CHANGED AND NO LONGER LEAVES THE SITE.
7. THE FOLLOWING AREAS ARE TO RECEIVE HYDROSEEDING OR OTHER EROSION CONTROL: ALL SLOPES GREATER THAN 1:1.
8. FOR OPERATING OPERATIONS, SEDIMENT-LADEN STORM WATER SHALL BE EITHER PUMPED (NOTE: 10) OR REQUIRED (TEMPORARY OVERFLOW SHALL) TO SEDIMENT TRAPS TO ALLOW SEDIMENT TO SETTLE OUT BEFORE DISCHARGE OFF-SITE. ONCE SEDIMENT HAS SETTLED OUT, WATER WILL BE DISCHARGED THROUGH SWALE LINED WITH IMPERMEABLE PLASTIC LINER.
9. USE OF FIBER ROLLS SHALL BE AVOIDED DURING WET SEASON WITH DEMATERING BMP'S IN THE EVENT THAT FIBER ROLLS DO NOT EFFECTIVELY RETAIN STORM WATER ON SITE. DEMATERING MAY INCLUDE PUMPS OR REELS TO ROUTE WATER TO THE SEDIMENT TRAP IF PUMPS ARE USED, THEN FILTER BAGS SHOULD BE USED TO DISCHARGE HOSE ENDS. DEMATERING MATERIAL SHALL NOT BE DISCHARGED DIRECTLY TO THE STORM DRAIN SYSTEM.

BMP INSTALLATION SCHEDULE

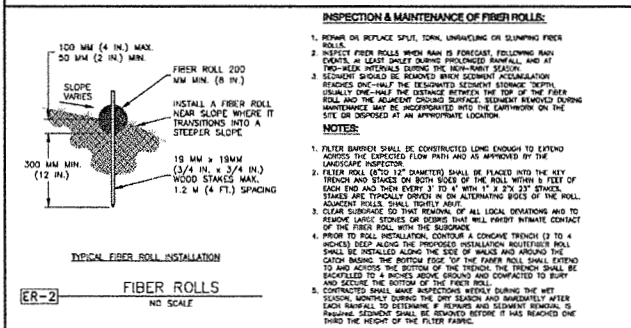
BEST MANAGEMENT PRACTICE	LOCATION	IMPLEMENTATION SCHEDULE	MAINTENANCE SCHEDULE
A. PREEXISTING EXISTING VEGETATION	AROUND PERIMETER OF PROJECT SITE	CONTINUOUS UNTIL CONSTRUCTION IS COMPLETED	EDUCATE EMPLOYEES AND SUBCONTRACTORS REGARDING IMPORTANCE OF MAINTAINING EXISTING VEGETATION TO PREVENT EROSION AND SEDIMENT IN RUNOFF FROM DISTURBED AREAS OF THE CONSTRUCTION SITE. POSTER SHOULD BE PLACED MONTHLY TO VERIFY THE OUTSIDE VEGETATION IS NOT DISTURBED.
B. PROTECT GRADED AREAS AND SLOPES FROM WASHOUT & EROSION	THROUGHOUT PROJECT SITE	DURING WET SEASON	INSPECT GRADED AREAS AND SLOPES ON AT LEAST A MONTHLY BASIS TO CHECK FOR EROSION. REMOVE TEMPORARY AREAS OR INSTALL FILTER BARRIER OR SAND BAG CRACKS AS NECESSARY TO PREVENT EROSION.
C. CANAL FILTER	ALONG FLOW LINES OF UNPAVED ROADWAYS WITHIN PROJECT SITE	IN PLACE DURING WET SEASON UNTIL ROADWAYS ARE PAVED	INSPECT DAILY AND AFTER EACH STORM. REMOVE CHUTE SEDIMENT DEPOSITED BEHIND BARR OR DAMPER TO MAINTAIN EFFECTIVENESS.
D. INLET FILTER BAG	INLETS TO THE STORM DRAINAGE SYSTEM	CONTINUOUS UNTIL LANDSCAPING IS IN PLACE	INSPECT WEEKLY AND AFTER EACH STORM. REMOVE SEDIMENT AND SERVIS BEFORE ACCUMULATION. HAVE READY ON HAND THE BOTTOM OF THE BAG. REPLACE OR REPLACE INLET FILTER BAGS AS SOON AS DAMAGE OCCURS.
E. FIBER ROLL	SEE PLAN SHEET C-4	CONTINUOUS	INSPECT WEEKLY AND AFTER EACH STORM. REMOVE SEDIMENT DEPOSITED BEHIND FIBER ROLL WHENEVER NECESSARY TO MAINTAIN EFFECTIVENESS.
F. HYDROSEEDING	3:1 SLOPES	IN PLACE DURING WET SEASON	INSPECT SLOPES ON AT LEAST A MONTHLY BASIS TO CHECK FOR EROSION & WATER SPRING STRAIN WASHOUT OVER AFFECTED AREA.
G. STABILIZED CONSTRUCTION ENTRANCE	ENTRANCES TO SITE FROM PUBLIC ROADWAYS	CONTINUOUS UNTIL CONSTRUCTION IS COMPLETED	INSPECT ON A MONTHLY BASIS AND AFTER EACH RAINFALL. ADD APPROPRIATE BASE MATERIAL WHENEVER NECESSARY TO PREVENT SEDIMENT FROM BEING TRACKED INTO PUBLIC STREET.
H. WIND EROSION CONTROL	WHEREVER NECESSARY THROUGHOUT PROJECT SITE	CONTINUOUS UNTIL GRADING IS COMPLETED AND SOIL HAVE BEEN STABILIZED	INSPECT SITE DURING WIND CONDITIONS TO IDENTIFY AREAS WHERE WIND EROSION IS OCCURRING AND MAKE EROSION AS NECESSARY.
I. GOOD HOUSEKEEPING PRACTICES	THROUGHOUT PROJECT SITE	CONTINUOUS UNTIL CONSTRUCTION IS COMPLETED	INSPECT SITE ON AT LEAST A MONTHLY BASIS TO VERIFY THAT GOOD HOUSEKEEPING PRACTICES ARE BEING IMPLEMENTED.
J. PROPER CONSTRUCTION MATERIAL STORAGE	DESIGNATED AREA	CONTINUOUS UNTIL CONSTRUCTION IS COMPLETED	INSPECT SITE ON AT LEAST A WEEKLY BASIS TO VERIFY THAT CONSTRUCTION MATERIALS ARE STORED IN A MANNER WHICH DOES NOT CAUSE STORM WATER POLLUTION.
K. PROPER WASTE STORAGE AND DISPOSAL INCLUDING SPILL CLEANUP	DESIGNATED COLLECTION AREA AND CONTAINERS	CONTINUOUS UNTIL CONSTRUCTION IS COMPLETED	INSPECT SITE ON AT LEAST A WEEKLY BASIS TO VERIFY THAT WASTE IS BEING PROPERLY STORED AND DISPOSED OF AT LEGAL DISPOSAL SITE, DAILY.
L. PAINT & PAINTING MATERIALS	MATERIAL HANDLING AREA	UNAVAILABILITY AT TIME OF SPILL	PROTECT MATERIAL HANDLING AREAS ON AT LEAST A MONTHLY BASIS TO VERIFY PROPER SPILL CLEANUP.
M. VEHICLE FUELING	DESIGNATED AREA WITH SECONDARY CONTAINMENT	CONTINUOUS	KEEP AMPLE SUPPLIES OF SPILL CLEANUP MATERIALS ON SITE & INSPECT ON REGULAR SCHEDULE.
N. STREETS AND STORM DRAINAGE FACILITIES MAINTENANCE	STREETS AND STORM DRAINAGE FACILITIES	CONTINUOUS UNTIL CONSTRUCTION IS COMPLETED	MAINTAIN STORM DRAINAGE FACILITIES AND PAVED STREETS FREE OF DEBRIS AND BERMS.

1. WET SEASON: ENTIRE PERIOD BETWEEN OCTOBER 1 THROUGH APRIL 30. CONTRACTOR SHALL ALSO IMPLEMENT WET SEASON MEASURES IF WET WEATHER IS EXPECTED DURING THE DRY SEASON.
2. PHASES OF WORK: INITIAL STAGE IS WHEN CLEARING AND GRUBBING ACTIVITIES OCCUR. MID- STAGE IS WHEN CUT AND FILL ACTIVITIES OCCUR AND THE SITE IMPROVEMENTS ARE CONSTRUCTED, INCLUDING IMPROVING PAVED STREETS, SIDEWALKS, AND OTHER IMPROVEMENTS.
3. FINAL STAGE IS WHEN FINAL UTILITIES ARE SET, AND SITE IMPROVEMENTS ARE COMPLETED AND READY FOR COUNTY ACCEPTANCE.

REQUIRED BMP'S

- THE FOLLOWING BMP'S SHALL BE REQUIRED ON ALL PROJECTS:
- A. ACCESS POINTS TO THE CONSTRUCTION SITE SHALL HAVE A STABILIZED CONSTRUCTION ACCESS.
 - B. THE PREVENTION OF EXISTING VEGETATION SHALL BE DONE IN ACCORDANCE WITH PRESERVATION OF EXISTING VEGETATION, AND SILT FENCE.
 - C. PERIMETER PROTECTION ALONG PROPERTY LINES SHALL HAVE PRESERVATION OF EXISTING VEGETATION, OR SILT FENCE.
 - D. SLOPES GREATER THAN 3 PERCENT SHALL BE TEMPORARILY SEEDED AND SLOPES GREATER 3:1 (4:1) SHALL HAVE HYDROSEEDING AND/OR GEOTEXTILES, PLASTIC COVERS, AND/OR EROSION CONTROL BLANKETS INSTALLED.
 - E. THE TOE OF ALL SLOPES SHALL HAVE SILT FENCE AND/OR FIBER ROLL.
 - F. DISTURBED SOIL AREAS BEHIND THE CURB OR BACK OF WALK (OR CURB) SHALL HAVE STRAW MULCH, SOIL BANKS OR GEOTEXTILES, PLASTIC COVERS, AND EROSION CONTROL BLANKETS/MATS IN CONJUNCTION WITH HYDROSEEDING. SURFACE TREATMENTS SHALL EXTEND TO THE GREATER OF 6 METERS (20 FEET) OR TO THE TOP OF SLOPE.
 - G. ROADWAY SUBGRADES SHALL HAVE FIBER ROLL, SILT FENCE, OR SEDIMENT TRAP.
 - H. DEAD END STREETS, TO BE EXTENDED IN THE FUTURE, SHALL HAVE PRESERVATION OF EXISTING VEGETATION, HYDROSEEDING, SEDIMENT TRAP OR OTHER APPLICABLE BMP TO MINIMIZE THE TRANSPORT OF SEDIMENT ONTO OR FROM THE IMPROVED SURFACE.
 - I. PRODUCTS THAT INCLUDE DETENTION BASINS SHALL HAVE A SEDIMENT BASIN.
 - J. PLACE DRAINAGE INLET SEDIMENT BAGS AT ALL STORM DRAIN INLETS. BMP'S SHALL INCLUDE INLET SEDIMENT CONTROL BARRIER, INLET FILTER BAG AND CONCRETE STAMPS OR EXPOSED PAVED SURFACES.
 - K. EACH CONSTRUCTION SITE SHALL PROVIDE DESIGNATED, PAINT AND WASTE DISPOSAL LOCATIONS AS NECESSARY.
 - L. A BMP INSTALLATION SCHEDULE SHALL BE INCLUDED ON THE IMPROVEMENT PLANS. THE SCHEDULE SHALL INCLUDE THE BMP'S FOR BOTH THE WET SEASON AND THE DRY SEASON.

ER-1 PORTABLE CONCRETE WASHOUT CONTAINER



INSPECTION & MAINTENANCE OF FIBER ROLLS:

1. REMOVE OR REPLACE SPILL, TOPK, UNWASHING OR SLUMPING FIBER ROLLS.
2. INSPECT FIBER ROLLS WHEN MAIN IS FORECAST, FOLLOWING RAIN. REMOVE AT LEAST SPLET DURING PROLONGED RAINFALL, AND AT 7-DAY INTERVALS DURING THE NON-RAIN SEASON.
3. SEDIMENT SHOULD BE REMOVED WHEN SEDIMENT ACCUMULATION REACHES ONE-HALF THE DESIGNATED SEDIMENT STORAGE DEPTH. USUALLY ONE-HALF THE DISTANCE BETWEEN THE TOP OF THE FIBER ROLL AND THE ADJACENT GRADED SURFACE. SEDIMENT REMOVED DURING MAINTENANCE MAY BE ACCUMULATED INTO THE EARTHWORK ON THE SITE OR DEPOSITED AT AN APPROPRIATE LOCATION.

NOTES:

1. FIBER BARRIER SHALL BE CONSTRUCTED LONG ENOUGH TO EXTEND ACROSS THE EXPECTED FLOW PATH AND AS APPROVED BY THE LANDSCAPE ARCHITECT.
2. FIBER ROLL (670 12" DIAMETER) SHALL BE PLACED INTO THE KEY OF TRENCH AND STAKED ON BOTH SIDES OF THE ROLL WITH A FEET OF EACH END AND THEN EVERY 3' TO 4' WITH 1" x 3/4" STAKES. ROLL ENDS ARE TYPICALLY OPEN ON AN ALTERNATING SIDE OF THE ROLL. ADJACENT ROLLS SHALL TOUCH AND BUT.
3. CLEAR SURFACE TO THE REAR OF ALL LOCAL DEVIATIONS AND TO REMOVE LARGE STONES OR DEBRIS THAT WILL PREVENT INTIMATE CONTACT OF THE FIBER ROLL WITH THE SURFACE.
4. PRIOR TO ROLL INSTALLATION, CONTOUR A CONCRETE TRENCH (2 TO 4 INCHES DEEP) ALONG THE PROPOSED INSTALLATION ROUTE/TRENCH. ROLL SHALL BE INSTALLED ALONG THE SIDE OF WALKS AND AROUND THE GUTTER BARRIERS. THE BOTTOM EDGE OF THE FIBER ROLL SHALL EXTEND TO AND ACROSS THE BOTTOM OF THE TRENCH. THE TRENCH SHALL BE BACKFILLED TO 4 INCHES ABOVE GROUND AND COMPACTED TO BUILD AND SECURE THE BOTTOM OF THE FIBER ROLL.
5. CONTINUED BALE WARE INSPECTIONS WEEKLY DURING THE WET SEASON. MONTHLY DURING THE DRY SEASON AND IMMEDIATELY AFTER EACH RAINFALL TO DETERMINE IF REMOVAL AND REPAIRS ARE NEEDED. IF RAINFALL SEDIMENT SHALL BE REMOVED BEFORE IT HAS REACHED THE TOE OF THE FRONT OF THE FIBER FABRIC.

REVEGETATION STANDARDS

1. PERMANENT REVEGETATION OR LANDSCAPING, IF REQUIRED, IS TO BE COMPLETED ON THE CONSTRUCTION SITE AS SOON AS PRACTICAL AND IN NO CASE EXCEEDING TWELVE MONTHS AFTER ACHIEVING FINAL GRADED AND UTILITY PLACEMENTS. WHENEVER PRACTICAL, LAND IS TO BE DEVELOPED IN INCREMENTS OF WORKABLE SIZE WHICH CAN BE COMPLETED DURING A SINGLE CONSTRUCTION SEASON. EROSION CONTROL MEASURES ARE TO BE COORDINATED WITH THE SEQUENCE OF GRADING OR IMPROVEMENTS.
2. ALL SURFACES DISTURBED BY VEGETATION REMOVAL, GRADING, HAUL ROADS, OR OTHER ACTIVITY OF CONSTRUCTION WHICH ALTERS THE NATURAL VEGETATIVE COVER ARE TO BE PREPARED FOR EXPEDITIOUS REVEGETATION OR OTHERWISE MAINTAINED TO CONTROL EROSION UNLESS COVERED WITH IMPERMEABLE OR OTHER IMPROVED SURFACES PURSUANT TO APPROVED PLANS WITHIN FOURTEEN DAYS FOLLOWING THE COMPLETION OF GRADING, OR REMOVAL OF VEGETATION IF NO GRADING WAS INVOLVED.
3. TOPSOIL REMOVED FROM THE SURFACE IN PREPARATION FOR GRADING SHALL BE RESTORED TO EXPOSE CUT AND FILL SUBSTRATUMS OR BUILDING PADS SO AS TO PROVIDE A SUITABLE BASE FOR SEEDING AND PLANTING.
4. ACCEPTABLE METHODS OF REVEGETATION INCLUDE STRAW-MULCHING, HYDRO-MULCHING OR PLANTING OF MIXTURE SPECIFIED IN THE IMPROVEMENT STANDARDS. OTHER METHODS OF REVEGETATION MAY BE APPROVED BY THE COUNTY ENGINEER WHERE EQUIVALENT PROTECTION IS PROVIDED.
5. ALL REVEGETATION AND LANDSCAPING ARE TO BE CONDUCTED WITH SUITABLE GROWING PERIODS. NATIVE PLANT MATERIALS ARE SPECIFICALLY ENCOURAGED IN ORDER TO REDUCE IRRIGATION DEMANDS.
6. TEMPORARY SEDIMENTATION CONTROL FACILITIES ARE TO BE INSTALLED IN CONJUNCTION WITH INITIAL GRADING OPERATIONS AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD TO REMOVE SEDIMENTS FROM RUNOFF WATERS DURING DEVELOPMENT.
7. PERMANENT SEDIMENT DETENTION BASINS OR OTHER TYPES OF SEDIMENT RETENTION FACILITIES ARE REQUIRED WHEREVER NECESSARY TO PREVENT DISCHARGE OF SEDIMENT INTO WATERS OF THE STATE. SEDIMENT RETENTION FACILITIES SHALL BE INSPECTED AND CLEANED ACCORDING TO A REGULAR MAINTENANCE SCHEDULE.
8. THE PLANTING OR SEEDING OF VEGETATIVE PROTECTION MUST BE EFFECTIVE IF THE VEGETATION DOES NOT GROW AND OTHER PROPER PROTECTION, IT MUST BE REPLANTED OR RESEED.
9. THE MAINTENANCE OF VEGETATIVE PROTECTION ON GRADED SLOPES SHALL BE THE RESPONSIBILITY OF THE PERMITTEE AND SHALL BE GUARANTEED UNTIL THE VEGETATION IS WELL ESTABLISHED OR IS OFFICIALLY ASSUMED BY ANOTHER PARTY.

DUST MITIGATION PLAN

- SECTION 1: FUGITIVE DUST PREVENTION AND CONTROL.
- LAND CLEARING/EARTH MOVING:
 WATER SHALL BE APPLIED BY MEANS OF TRUCK(S), HOSES AND/OR SPRINKLERS PRIOR TO ANY LAND CLEARING OR EARTH MOVEMENT TO MINIMIZE DUST EMISSIONS. HAUL VEHICLES TRANSPORTING SOIL INTO OR OUT OF THE PROPERTY SHALL BE COVERED.
- PAVED ROAD TRACK-OUT:
 PAVED ROADS SHALL BE CLEANED IF THE AMOUNT OF DIRT TRACKED-OUT BY THE OPERATION AREA HAS THE POTENTIAL TO CAUSE DUST EMISSIONS.
- VEHICLES ENTERING / EXITING CONSTRUCTION AREA:
 VEHICLES ENTERING OR EXITING CONSTRUCTION AREA SHALL TRAVEL AT A SPEED WHICH MINIMIZES DUST EMISSIONS.
- VEHICLES ENTERING / EXITING CONSTRUCTION AREA:
 VEHICLES ENTERING OR EXITING CONSTRUCTION AREA SHALL TRAVEL AT A SPEED WHICH MINIMIZES DUST EMISSIONS.
- EMPLOYEE VEHICLES:
 CONSTRUCTION WORKERS PARK IN DESIGNATED PARKING AREAS TO HELP REDUCE DUST EMISSIONS.
- SOIL PILES:
 SOIL PILE SURFACES SHALL BE MOISTENED IF DUST IS BEING EXHAUSTED FROM THE PILE(S). ADEQUATELY SEALED BARGE PLASTIC OR OTHER MATERIAL MAY BE REQUIRED TO FURTHER REDUCE DUST EMISSIONS.

PROPRIETARY INFORMATION
 THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO PEAK SITE-COM IS STRICTLY PROHIBITED.

CLIENT: 2600 CAMINO RAMON SAN RAMON, CA 94583

PROJECT INFORMATION:
LATROBE
 7160 DRAGON POINT RD SHAVILLE SPRINGS, CA 95682

REV #	DATE	DESCRIPTION	BY
1	4-27-17	90% ZONING DOCS	RB
2	5-10-17	REV 90% ZONING DOCS	RB
3	5-24-17	REV 90% ZONING DOCS	RB
4	6-13-17	REV 90% ZONING DOCS	RB
5	8-2-17	REV 90% ZONING DOCS	RB
6	8-21-17	100% ZONING DOCS	RB

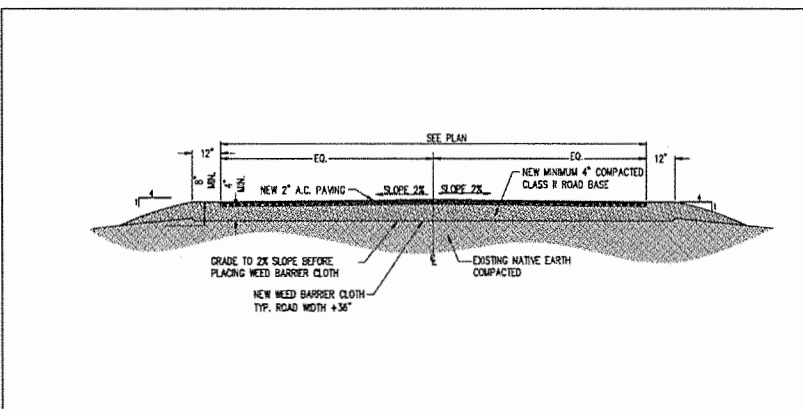
COORDINATING ENGINEER: 12852 Earhart Ave, Suite 101 Auburn, California 95602 Phone (530) 885-8160 E-Mail info@peeksitecom.com

SCALE: SHEET # C-4.031.38 DRAWN BY: RB SHEET TITLE: EROSION CONTROL NOTES SHEET NUMBER: C-4 0 REVISION:

GRADING STANDARDS

1. GENERAL, UNLESS OTHERWISE RECOMMENDED IN THE APPROVED SOILS ENGINEERING OR ENGINEERING GEOLOGY REPORT, GRADING ACTIVITIES SHALL CONFORM TO THE PROVISIONS OF THIS SECTION.
 - A. CUT SLOPE. THE SLOPE OF CUT SURFACES SHALL BE NO STEEPER THAN IS SAFE FOR THE INTENDED USE AND SHALL BE NO STEEPER THAN 1 UNIT VERTICAL IN 2 UNITS HORIZONTAL (SOX SLOPE) UNLESS THE PERMITTEE FURNISHES A SOILS ENGINEERING OR AN ENGINEERING GEOLOGY REPORT, OR BOTH, STATING THAT THE SITE HAS BEEN INVESTIGATED AND GIVING AN OPINION THAT A CUT AT A STEEPER SLOPE WILL BE STABLE AND NOT CREATE A HAZARD TO PROPERTY OR THE ENVIRONMENT.
 - B. FILL SLOPE AND PREPARATION
 - (1) PREPARATION OF GROUND. THE GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, NON-COMPLYING FILL, TOPSOIL AND OTHER UNSUITABLE MATERIALS SCORPION TO PROVIDE A BOND WITH THE NEW FILL.
 - (2) FILL MATERIAL. AMOUNT OF ORGANIC MATERIAL DETRIMENTAL TO STRUCTURAL INTEGRITY SHALL NOT BE PERMITTED IN FILLS EXCEPT AS PERMITTED BY THE BUILDING OFFICIAL. NO ROCK OR SIMILAR IRREDUCIBLE MATERIAL WITH A MAXIMUM DIMENSION GREATER THAN 12 INCHES (0.31 M) SHALL BE BURIED OR PLACED IN FILLS.
 - (3) EXCEPTION. THE BUILDING OFFICIAL MAY PERMIT PLACEMENT OF LARGER ROCK WHEN THE SOILS ENGINEER PROPERLY DEVISES A METHOD OF PLACEMENT, AND CONTINUOUSLY INSPECTS ITS PLACEMENT AND APPROVES THE FILL STABILITY. THE FOLLOWING CONDITIONS SHALL ALSO APPLY:
 - (a) PRIOR TO ISSUANCE OF THE GRADING PERMIT, POTENTIAL ROCK DISPOSAL AREAS SHALL BE SHOWN ON THE GRADING PLAN.
 - (b) ROCK SIZES GREATER THAN 12 INCHES (0.31 M) IN MAXIMUM DIMENSION SHALL BE 10 FEET (3.05 M) OR MORE BELOW GRADE, MEASURED VERTICALLY.
 - (c) ROCKS SHALL BE PLACED SO AS TO ASSURE FILLING OF ALL VOIDS WITH WELL-GRADED SOIL.
 - (4) COMPACTION. ALL FILLS SHALL BE COMPACTED TO A MINIMUM OF 90 PERCENT OF MAXIMUM DRY DENSITY WITH SUFFICIENT TESTING FOR DOCUMENTATION OF COMPLIANCE WITH THIS STANDARD.
 - (5) SLOPE. THE SLOPE OF FILL SURFACES SHALL BE NO STEEPER THAN IS SAFE FOR THE INTENDED USE. FILL SLOPES SHALL BE NO STEEPER THAN 1 UNIT VERTICAL IN 2 UNITS HORIZONTAL (SOX SLOPE).
2. SETBACKS
 - a. GENERAL. CUT AND FILL SLOPES SHALL BE SET BACK FROM SITE BOUNDARIES IN ACCORDANCE WITH THIS SECTION. SETBACK DIMENSIONS SHALL BE HORIZONTAL DISTANCES MEASURED PERPENDICULAR TO THE SITE BOUNDARY.
 - b. TOP OF CUT SLOPE. THE TOP OF CUT SLOPES SHALL NOT BE MADE NEARER TO A SITE BOUNDARY LINE THAN A MINIMUM OF 2 FEET. THE SETBACK MAY NEED TO BE INCREASED FOR ANY REQUIRED INTERCEPT DRAINS.
 - c. TOE OF FILL SLOPE. THE TOE OF FILL SLOPE SHALL BE MADE NOT NEARER TO THE SITE BOUNDARY LINE THAN MINIMUM OF 2 FEET. WHERE A FILL SLOPE IS TO BE LOCATED NEAR THE SITE BOUNDARY AND THE ADJACENT OFFSITE PROPERTY IS DEVELOPED, SPECIAL PRECAUTIONS SHALL BE INCORPORATED IN THE WORK AS THE BUILDING OFFICIAL DEEMS NECESSARY TO PROTECT THE ADJACENT PROPERTY FROM DAMAGE AS A RESULT OF SUCH GRADING. THESE PRECAUTIONS MAY INCLUDE, BUT ARE NOT LIMITED TO:
 - (1) ADDITIONAL SETBACKS.
 - (2) PROVISION FOR RETAINING OR SLOUGH WALLS.
 - (3) MECHANICAL OR CHEMICAL TREATMENT OF THE FILL SLOPE SURFACE TO MINIMIZE EROSION.
 - (4) PROVISIONS FOR THE CONTROL OF SURFACE WATERS.
 - d. MODIFICATION OF SETBACKS. THE BUILDING OFFICIAL MAY APPROVE ALTERNATE SETBACKS. THE BUILDING OFFICIAL MAY REQUIRE AN INVESTIGATION AND RECOMMENDATION BY A QUALIFIED ENGINEER OR ENGINEERING GEOLOGIST TO DEMONSTRATE THAT THE INTENT OF THIS SECTION HAS BEEN SATISFIED.
3. MAINTENANCE REQUIRED. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ADEQUATELY MAINTAINING ALL DRAINAGE FACILITIES INSTALLED PURSUANT TO THIS SECTION.
4. GRADING INSPECTION
 - A. GENERAL. GRADING OPERATIONS FOR WHICH A PERMIT IS REQUIRED SHALL BE SUBJECT TO INSPECTION BY THE BUILDING OFFICIAL.
 - B. PERMITTEE. THE PERMITTEE SHALL BE RESPONSIBLE FOR THE WORK TO BE PERFORMED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS AND IN CONFORMANCE WITH THE PROVISIONS OF THIS CODE. AND THE PERMITTEE SHALL ENGAGE CONSULTANTS, IF REQUIRED, TO PROVIDE PROFESSIONAL INSPECTIONS ON A TIMELY BASIS. THE PERMITTEE SHALL ACT AS A COORDINATOR BETWEEN THE CONSULTANTS, THE CONTRACTOR AND THE BUILDING OFFICIAL. IN THE EVENT OF CHANGED CONDITIONS, THE PERMITTEE SHALL BE RESPONSIBLE FOR INFORMING THE BUILDING OFFICIAL OF SUCH CHANGE AND SHALL PROVIDE REVISED PLANS FOR APPROVAL.
 - C. BUILDING OFFICIAL. THE BUILDING OFFICIAL SHALL INSPECT THE PROJECT AT THE VARIOUS STAGES OF WORK REQUIRING APPROVAL TO DETERMINE THAT ADEQUATE CONTROL IS BEING EXERCISED BY THE PROFESSIONAL CONSULTANTS.
 - D. NOTIFICATION OF NONCOMPLIANCE. IF, IN THE COURSE OF FULFILLING THEIR RESPECTIVE DUTIES UNDER THIS CHAPTER, THE CIVIL ENGINEER, THE SOILS ENGINEER OR THE ENGINEERING GEOLOGIST FINDS THAT THE WORK IS NOT BEING DONE IN CONFORMANCE WITH THIS CHAPTER OR THE APPROVED GRADING PLANS, THE DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE PERMITTEE AND TO THE BUILDING OFFICIAL.
 - E. TRANSFER OF RESPONSIBILITY. IF THE CIVIL ENGINEER, THE SOILS ENGINEER, OR THE ENGINEERING GEOLOGIST OF RECORD IS CHANGED DURING GRADING, THE WORK SHALL BE STOPPED UNTIL THE REPLACEMENT HAS AGREED IN WRITING TO ACCEPT THEIR RESPONSIBILITY WITHIN THE AREA OF TECHNICAL COMPETENCE FOR APPROVAL UPON COMPLETION OF THE WORK. IT SHALL BE THE DUTY OF THE PERMITTEE TO NOTIFY THE BUILDING OFFICIAL IN WRITING OF SUCH CHANGE PRIOR TO THE RE-COMMENCEMENT OF SUCH GRADING.
5. EROSION AND SEDIMENTATION CONTROL.
 - A. ADMINISTRATION
 - (1) THE EROSION AND SEDIMENT CONTROL PROVISIONS OF THIS SECTION SHALL BE APPLICABLE TO ALL FACILITIES AND ACTIVITIES UNDER THE SUPERVISION OF THE DIRECTOR OF THE DEPARTMENT OF PUBLIC WORKS.
 - (2) THE ADMINISTRATION OF THIS SECTION, AS IT AFFECTS COUNTY FACILITIES AND ACTIVITIES, IS THE RESPONSIBILITY OF THE DIRECTOR OF THE DEPARTMENT OF PUBLIC WORKS.
 - (3) THE ADMINISTRATION OF THIS SECTION AS IT AFFECTS OTHER BUILDING, GRADING, AND RELATED ACTIVITIES IS THE RESPONSIBILITY OF THE CHIEF BUILDING OFFICIAL.
 - (4) ANY SOILS OR GEOLOGIC REPORTS PREPARED FOR ANY PROJECT WHERE A GRADING PERMIT IS SUBMITTED AS A PART OF A TENTATIVE SUBDIVISION MAP APPLICATION, OR RELATED ENVIRONMENTAL DOCUMENT, SHALL BE PLACED IN THE RECORDS OF THE CHIEF BUILDING OFFICIAL.
 - B. EROSION AND SEDIMENTATION CONTROL. THESE MINIMUM EROSION AND SEDIMENTATION CONTROL STANDARDS SHALL APPLY TO ALL PROJECTS REQUIRING BUILDING, GRADING, AND DEVELOPMENT PERMITS, AND COUNTY OF MENDOCINO PUBLIC WORKS ACTIVITIES, TO PREVENT SEDIMENTATION OR DAMAGE TO ONSITE AND OFFSITE PROPERTY. THESE STANDARDS SHALL BE INCORPORATED INTO THE PROJECT DESIGN AND SHALL BE ADHERED TO DURING PROJECT CONSTRUCTION:
 - (1) GENERAL SUBSEQUENCES
 - (a) MINIMIZE SOIL EXPOSURE DURING THE RAINY SEASON BY PROPER TIMING OF GRADING AND CONSTRUCTION.
 - (b) RETAIN TREES AND NATURAL VEGETATION TO STABILIZE HILLSIDES, RETAIN MOISTURE, REDUCE EROSION, MINIMIZE SILTATION AND NUTRIENT RUNOFF AND PRESERVE SCENIC QUALITIES.
 - (c) VEGETATE AND MULCH DENUDATED AREAS TO PROTECT THEM FROM WINTER RAINS.
 - (d) DIVERT RUNOFF AWAY FROM STEEP, DENUDATED SLOPES OR OTHER CRITICAL AREAS WITH BARRIERS, BERMS, DITCHES OR OTHER FACILITIES.
 - (e) LIMIT CONSTRUCTION, CLEARING OF VEGETATION AND DISTURBANCE OF THE SOIL TO AREAS OF PROVEN STABILITY. MITIGATE GEOLOGIC HAZARDS AND ADVERSE SOIL CONDITIONS WHEN THEY ARE ENCOUNTERED.
 - (f) REDUCE SEDIMENT TRANSPORT OFF THE SITE TO THE MAXIMUM EXTENT FEASIBLE THROUGH THE USE OF BEST MANAGEMENT PRACTICES (BMPs).
 - (2) PROPOSE A NEW OR MODIFIED EROSION AND SEDIMENT CONTROL TECHNIQUE IF THE TECHNIQUE IS PREFERRED AND MEETS THE INTENT OF THESE REGULATIONS. OBTAIN APPROVAL FROM THE COUNTY PRIOR TO IMPLEMENTATION.
 - (3) CONDUCT FREQUENT SITE INSPECTIONS TO ENSURE THAT CONTROL MEASURES ARE WORKING PROPERLY AND TO CORRECT PROBLEMS AS NEEDED.
 - (4) EMPLOY OTHER MEANS OF EROSION AND SEDIMENT CONTROL AS REQUIRED BY THE CHIEF BUILDING OFFICIAL OR DIRECTOR OF THE DEPARTMENT OF PUBLIC WORKS AS APPLICABLE.

- (2) SEDIMENT CONTROL
 - (a) USE SEDIMENT BASINS, SILT TRAPS, OR SIMILAR MEASURE TO RETAIN SEDIMENT TRANSPORTED BY RUNOFF WATER ONSITE.
 - (b) COLLECT AND DIRECT SURFACE RUNOFF AT NON-EROSIVE VELOCITIES TO THE COMMON NATURAL WATERCOURSE OF THE DRAINAGE AREA.
 - (c) AVOID CONCENTRATING SURFACE WATER ANYWHERE EXCEPT SWALES OR WATERCOURSES.
 - (d) PREVENT MUD FROM BEING TRACKED ONTO THE PUBLIC ROADWAY BY TRAVELING OVER A TEMPORARY GRAVEL CONSTRUCTION ENTRANCE OR WASHING OFF VEHICLE TIRES BEFORE ENTERING A PUBLIC OR PRIVATE DRIVEWAY.
- (3) SLOPE CONSTRUCTION
 - (a) MAINTAIN LENGTH AND STEEPNESS OF SLOPES BY BENCHING, TERRACING OR CONSTRUCTING DIVERSION STRUCTURES.
 - (b) PRESERVE, MATCH, OR BLEND CUTS AND FILLS WITH THE NATURAL CONTOURS AND UNDULATIONS OF THE LAND.
 - (c) ROUND SHARP ANGLES AT THE TOP AND SIDES OF CUT AND FILL SLOPES.
 - (d) MAINTAIN CUT AND FILL SLOPES AT LESS THAN TWO-TO-ONE (2:1, RUN:RISE) SLOPE UNLESS A GEOLOGICAL AND ENGINEERING ANALYSIS INDICATES THAT STEEPER SLOPES ARE SAFE AND EROSION AND SEDIMENT CONTROL MEASURES CAN SUCCESSFULLY PREVENT EROSION.
- (4) PROTECTION OF WATERCOURSES AND DRAINAGE INLETS
 - (a) PREPARE DRAINAGEWAYS TO HANDLE CONCENTRATED OR INCREASED RUNOFF FROM DISTURBED AREAS BY USING APPROPRIATE LINING MATERIALS OR ENERGY ABSORBING DEVICES TO REDUCE THE VELOCITY OF RUNOFF WATER.
 - (b) TRAP SEDIMENT-LADEN RUNOFF IN BASINS TO ALLOW SOIL PARTICLES TO SETTLE OUT BEFORE FLOWS ARE RELEASED TO RECEIVING WATERS, STORM DRAINS, STREETS OR ADJACENT PROPERTY. THIS STANDARD IS NOT MANDATORY FOR GRADING. THE SITE IS FULLY WATERED AND STABILIZED PRIOR TO AND WHEN CONDUCTED BETWEEN APRIL 15 AND OCTOBER 15. REMOVE TRAPPED SEDIMENT TO A SUITABLE LOCATION ON-SITE OR AT A DISPOSAL SITE APPROVED BY THE COUNTY.
 - (c) DO NOT GRADE OR DRIVE EQUIPMENT IN A STREAMSIDE MANAGEMENT OR OTHER NET AREAS EXCEPT AS ALLOWED THROUGH THE COUNTY STREAMSIDE MANAGEMENT AREA ORDINANCE.
 - (d) DEPOSIT OR STORE EXCAVATED MATERIALS AWAY FROM WATERCOURSES.
 - (e) PROTECT ALL EXISTING OR NEWLY INSTALLED STORM DRAINAGE STRUCTURES FROM SEDIMENT CLOGGING.
 - (f) USE STRAW BALS, FILTER FABRIC WRAPS AND DRAINAGE INLET PROTECTIONS IN A MANNER THAT DOES NOT CAUSE ADDITIONAL EROSION OR FLOODING OF A ROADWAY.
- (5) DISPOSAL OF EXCAVATED MATERIALS
 - (a) STOCKPILE TOPSOIL ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.
 - (b) PLACE STOCKPILED SOIL IN LOCATIONS, SO THAT IF EROSION OCCURS, IT WILL NOT CONTRIBUTE TO OFFSITE SEDIMENT DISCHARGE.
 - (c) PROTECT STOCKPILED SOIL PROMPTLY THROUGH THE USE OF APPROPRIATE BARRIERS TO REDUCE THE RISK OF EROSION AND SEDIMENT TRANSPORT. APPLY MULCH OR OTHER PROTECTIVE COVERINGS ON STOCKPILED MATERIAL THAT WILL BE EXPOSED THROUGHOUT THE WINTER SEASON.
 - (d) DISPOSE OF EXCAVATED MATERIAL NOT USED AT THE SITE AT A LOCATION APPROVED BY THE COUNTY.
- (6) DUST CONTROL
 - (a) ALL CONSTRUCTION AREAS, INCLUDING DISPOSAL SITES, SHALL BE TREATED AND MAINTAINED AS NECESSARY TO MINIMIZE THE EMISSION OF DUST. MAINTENANCE SHALL BE CONDUCTED AS NECESSARY TO PREVENT A NUISANCE TO OFFSITE PROPERTIES.
 - (b) ALL CONSTRUCTION SITES, INCLUDING DRIVEWAYS, SHALL BE MAINTAINED AS NECESSARY TO MINIMIZE THE EMISSION OF DUST AND PREVENT THE CREATION OF A NUISANCE TO ADJACENT PROPERTIES.
- (7) REVEGETATION
 - (a) APPLY TEMPORARY SEEDING AND MULCHING TO DENUDATED AREAS PRIOR TO OCTOBER 15 UNLESS THE PROJECT IS CONDITIONED OTHERWISE.
 - (b) ESTABLISH A PERMANENT VEGETATIVE COVER ON DENUDATED AREAS NOT OTHERWISE STABILIZED. PERMANENT VEGETATION GROUND COVER MUST CONTROL SOIL EROSION SATISFACTORILY AND SURVIVE SEVERE WEATHER CONDITIONS.
 - (c) RETAIN A VEGETATIVE BARRIER WHENEVER POSSIBLE AROUND PROPERTY BOUNDARIES.
 - (d) USE SELF-SUSTAINING, NON-INVASIVE PLANTS THAT REQUIRE LITTLE OR NO MAINTENANCE AND DO NOT CREATE AN EXTREME FIRE HAZARD.
 - (e) USE NATIVE PLANT SPECIES WHENEVER FEASIBLE.



TYP. A/C ROAD SECTION SCALE: N.T.S. 1

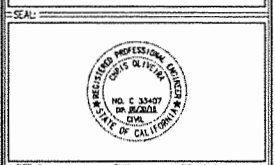
PROPRIETARY INFORMATION
 THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO PEAK SITE-COM IS STRICTLY PROHIBITED



PROJECT INFORMATION:
LATROBE
 7150 DRAGON POINT RD
 SHANLEY SPRINGS, CA 95682

REV. DATE	DESCRIPTION	BY
1 4-27-17	90% ZONING DOC'S	RB
2 5-10-17	REV 90% ZONING DOC'S	RB
3 5-24-17	REV 90% ZONING DOC'S	RB
4 8-13-17	REV 90% ZONING DOC'S	RB
5 8-2-17	REV 90% ZONING DOC'S	RB
6 8-21-17	100% ZONING DOC'S	RB

COORDINATING ENGINEER:
Peek Site-Com
 12852 Earhart Ave, Suite 101
 Auburn, California 95602
 Phone (530) 885-6160
 E-Mail info@peeksitecom.com

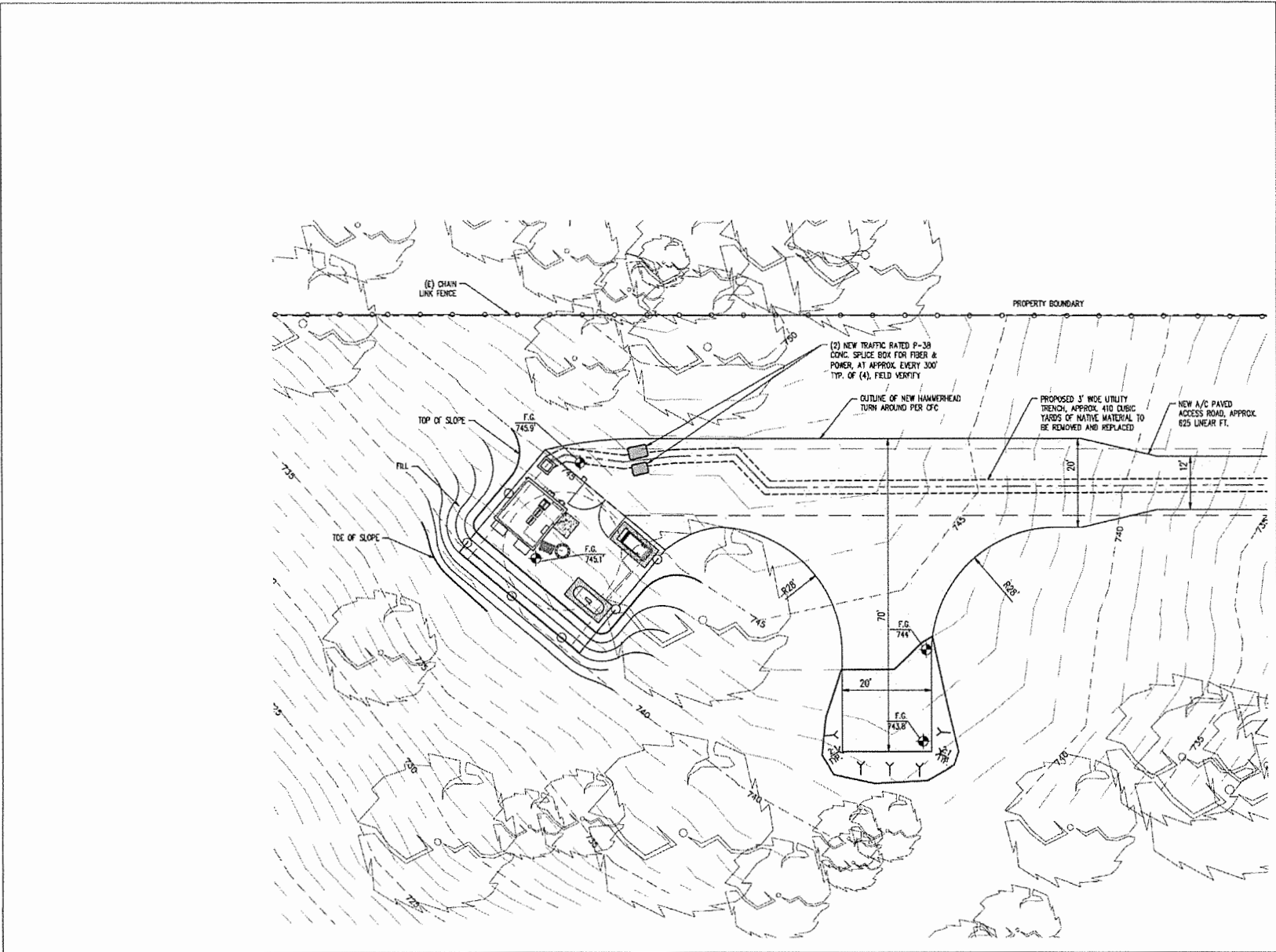



SHEET #
 cvl03138

CHK: RB
 DRAWN BY: RB

SHEET TITLE:
GRADING NOTES & DETAILS

SHEET NUMBER: **C-5** REVISION: **0**



PRELIMINARY GRADING PLAN  SCALE: 1"=10'-0" 2

PROPRIETARY INFORMATION
 THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO PEAK SITE-CDM IS STRICTLY PROHIBITED

CLIENT:



2600 CAMINO RAMON
 SAN RAMON, CA 94583

PROJECT INFORMATION:

LATROBE
 7160 DRAGON POINT RD
 SHIRAZ SPRINGS, CA 95822

REV.	DATE:	DESCRIPTION:	BY:
1	4-27-17	90% ZONING DOC'S	RB
2	5-10-17	REV 90% ZONING DOC'S	RB
3	5-24-17	REV 90% ZONING DOC'S	RB
4	6-13-17	REV 90% ZONING DOC'S	RB
5	8-2-17	REV 90% ZONING DOC'S	RB
6	8-21-17	100% ZONING DOC'S	RB

COORDINATING ENGINEER:

Peek Site-Com
 12852 Earhart Ave, Suite 101
 Auburn, California 95602
 Phone (530) 885-6160
 E-Mail info@peeksitecom.com

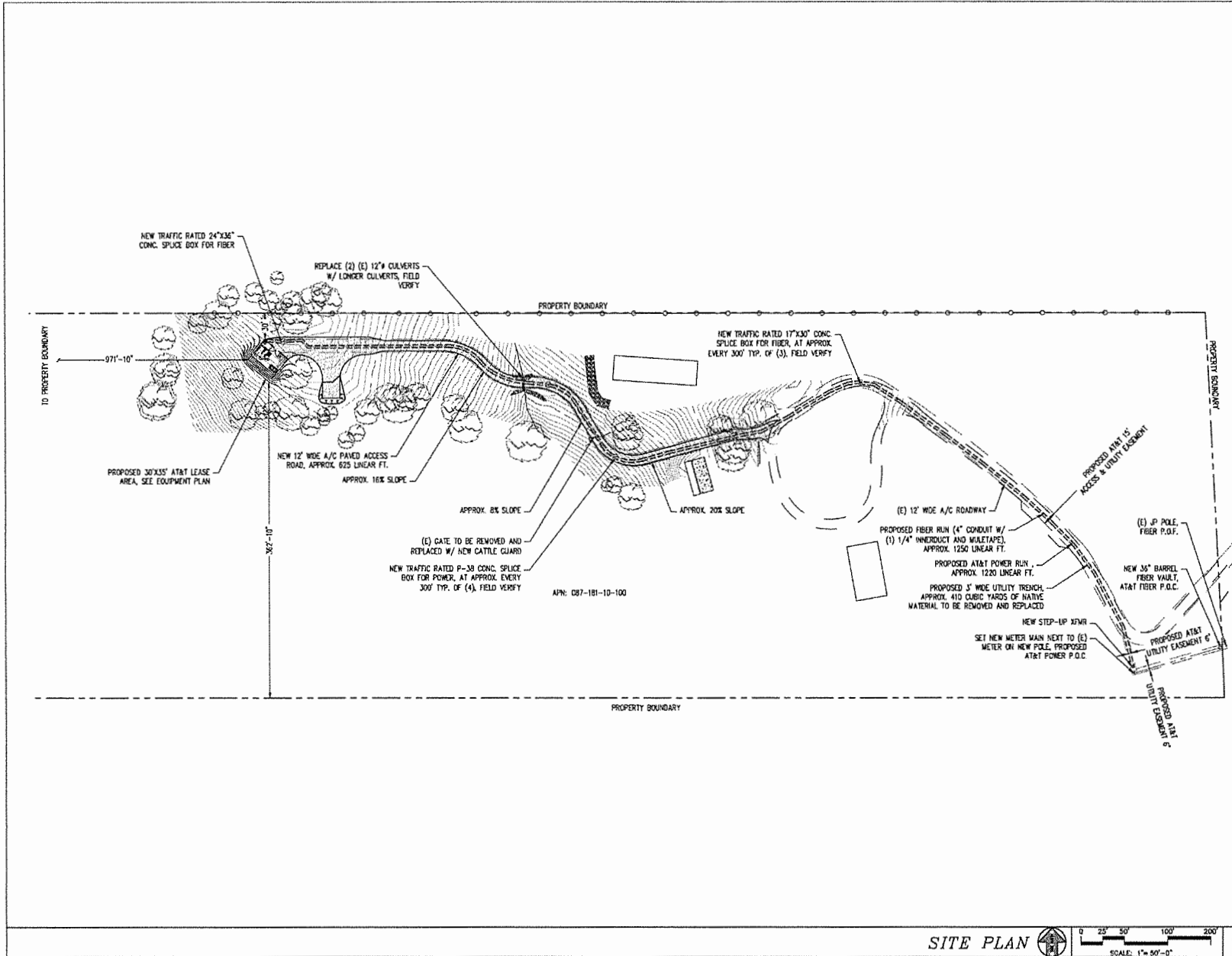
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SITE # : CML03138 DWG. : DRAWN BY: RB

SHEET TITLE: **GRADING PLAN**

SHEET NUMBER: **C-6** REVISION: **0**



PROPRIETARY INFORMATION
 THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO PECK SITE-COM IS STRICTLY PROHIBITED

CLIENT:



2600 CAMINO RAMON
 SAN RAMON, CA 94583

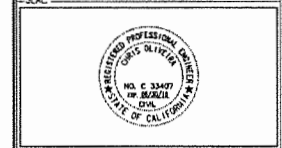
PROJECT INFORMATION:

LATROBE
 7150 DRAGON POINT RD
 SINGLE SPRINGS, CA 95822

REV	DATE	DESCRIPTION	BY
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2	5-10-17	REV 90% ZONING DOC'S	RB
3	5-24-17	REV 90% ZONING DOC'S	RB
4	6-13-17	REV 90% ZONING DOC'S	RB
5	8-2-17	REV 90% ZONING DOC'S	RB
6	8-21-17	100% ZONING DOC'S	RB

COORDINATING ENGINEER:

Peek Site-Com
 12852 Earhart Ave. Suite 101
 Auburn, California 95602
 Phone (530) 885-6160
 E-Mail info@peeksitecom.com



SEAL:

SITE # _____ CHK. _____ DRAWN BY: _____

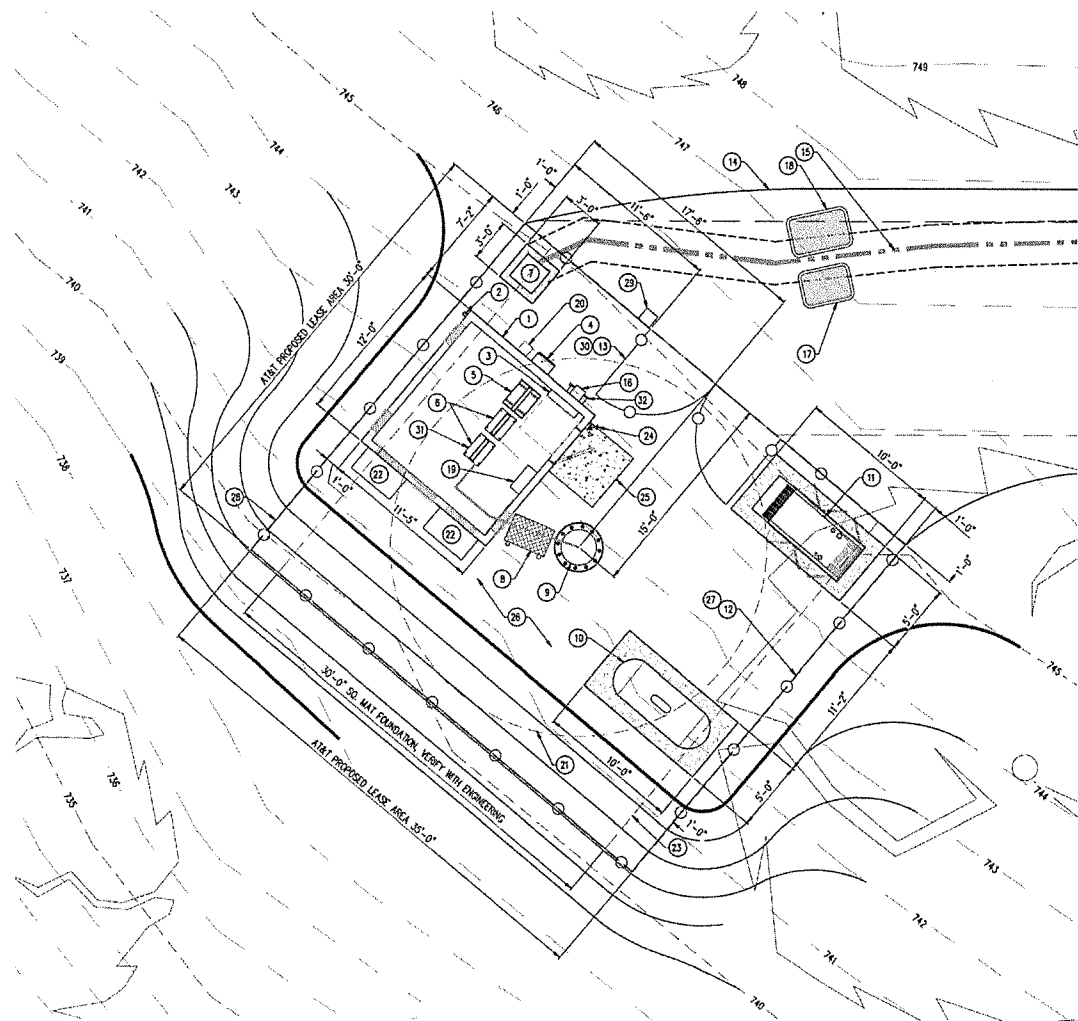
CVL03138 _____ RB

SHEET TITLE:

SITE PLAN

SHEET NUMBER: _____ REVISION: _____

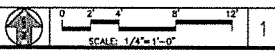
A-1 0



KEYNOTES


1. NEW PRE-FAB EQUIPMENT SHELTER
2. (1) NEW GPS ANTENNA
1. NEW D.L.C. PANEL
4. TELCO BOX
5. NEW D/C POWER PLANT
8. NEW 23' FF RACK, TYP. OF (2)
7. NEW STEP-DOWN XFMR
8. NEW ICE BRIDGE
9. NEW BROOKLEAF TREE POLE
10. NEW 500 GAL LP PROPANE TANK ON NEW CONC. SLAB
11. NEW 35 KW BACK-UP GENERATOR ON NEW CONC. SLAB
12. NEW 6'-0" CHAIN LINK FENCE W/ VINYL SLATS
13. NEW 12" WIDE DOUBLE ACCESS GATE
14. NEW A/C PAVED ROAD
15. NEW U/G POWER AND TELCO CONDUITS
16. NEW CAMLOCK GENERATOR INTERFACE
17. NEW TRAFFIC RATED 24"x36" CONC. SPLICE BOX FOR FIBER
18. NEW TRAFFIC RATED P-38 CONC. SPLICE BOX FOR POWER
19. NEW AUTOMATIC TRANSFER SWITCH
20. NEW 2A-20BC RATED FIRE EXTINGUISHER BY WEATHER RESISTANT CABINET
21. 24" MAX BRANCH DIAMETER AT BASE OF POLE
22. NEW HVAC, PROVIDED WITH SHELTER
23. OUTLINE OF NEW TOWER MAT FOUNDATION
24. NEW OUTDOOR LIGHTS PROVIDED WITH SHELTER, W/ TIMER AND MOTION SENSOR
25. NEW CONC. STOOP
26. NEW MIN. 2" CLEAN CRUSHED ROCK OVER 4" CLASS II ROAD BASE OVER WEED BARRER FABRIC
27. NEW SOUND BLANKET 600-13X 1.2 LBS. PSF W/IN. OR EQUAL SOUND BLANKET AT INTERIOR SIDE OF FENCE
28. NEW AT&T 30'x35' LEASE AREA
29. NEW FIRE DEPT. KNOX BOX
30. NEW CARRIER CONTACT STORAGE AT GATE
31. NEW GENA WITHIN FF RACK
32. NEW 200A DISCONNECT

EQUIPMENT PLAN



PROPRIETARY INFORMATION
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CLIENT:



2600 CAMINO RAMON
SAN RAMON, CA 94583

PROJECT INFORMATION:

LATROBE
7160 DRAGON POINT RD
SHINGLE SPRINGS, CA 95882

REV	DATE	DESCRIPTION	BY
1	4-27-17	50% ZONING DOC'S	RB
2	5-10-17	REV 50% ZONING DOC'S	RB
3	5-24-17	REV 50% ZONING DOC'S	RB
4	6-13-17	REV 50% ZONING DOC'S	RB
5	8-2-17	REV 50% ZONING DOC'S	RB
6	8-21-17	100% ZONING DOC'S	RB


COORDINATING ENGINEER:

Peek Site-Com

12852 Earhart Ave. Suite 101
Auburn, California 95602
Phone (530) 885-6160

E-Mail: info@peeksiteacom.com

SEAL:

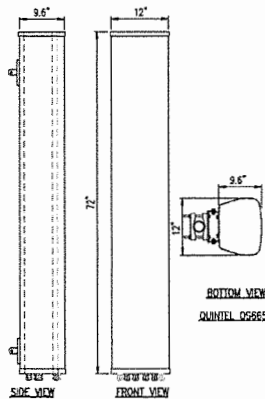


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CVL0313B		RB

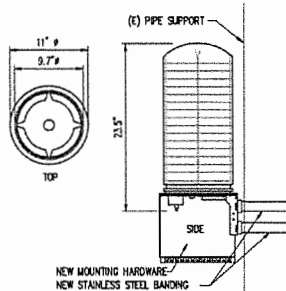
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EQUIPMENT PLAN

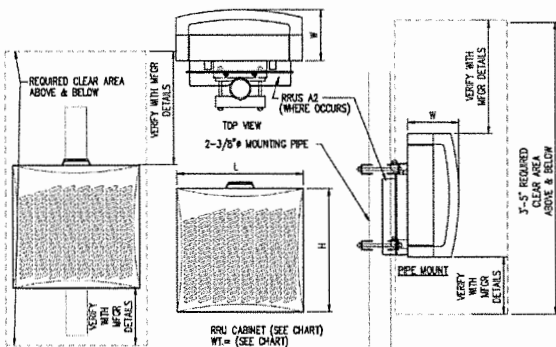
SHEET NUMBER:	REVISION:
A-2	0



BOTTOM VIEW
QUINTEL OS6656-3



SCALE: N.T.S. 5 SURGE SUPP. DETAIL SCALE: N.T.S. 3



TYPE	LENGTH	HEIGHT	WIDTH	WEIGHT
RRU-11	17.8"	17.3"	7.19"	50 LBS
RRU-F2	20.4"	18.5"	7.5"	50 LBS
RRU-32	29.9"	13.3"	9.5"	60 LBS
RRU-12	20.4"	18.5"	7.5"	50 LBS
A2	12.8"	15"	3.5"	21 LBS

NOTE: SEE RF SHEET FOR RRU PLACEMENT

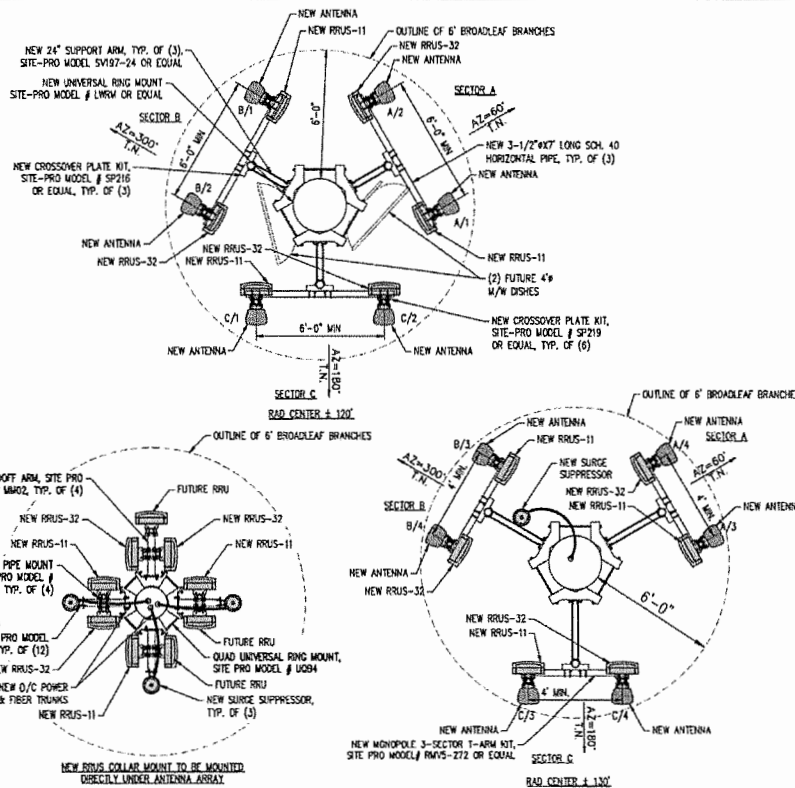
RRU DETAIL SCALE: N.T.S. 4

RF SCHEDULE

SECTOR/POS.	ANTENNA MODEL	RAD CENTER	PHYSICAL AZIMUTH	RRU	TWA	FIBER LENGTH	COAX LENGTH	COAX DIA.	NO.
A/1	OS6656-3	± 120°	60°	(1) RRU-11 & (1) RRU-32 B2	N/A	± 180'	± N/A	N/A	-
A/2	OS6656-3	± 120°	60°	(1) RRU-11	N/A	± 180'	± N/A	N/A	-
A/3	OS6656-3	± 130°	60°	(1) RRU-11 & (1) RRU-32 B66	N/A	± 190'	± N/A	N/A	-
A/4	OS6656-3	± 130°	60°	(1) RRU-32 B30	N/A	± 190'	± N/A	N/A	-
B/1	OS6656-3	± 120°	300°	(1) RRU-11 & (1) RRU-32 B2	N/A	± 180'	± N/A	N/A	-
B/2	OS6656-3	± 120°	300°	(1) RRU-11	N/A	± 180'	± N/A	N/A	-
B/3	OS6656-3	± 130°	300°	(1) RRU-11 & (1) RRU-32 D66	N/A	± 190'	± N/A	N/A	-
B/4	OS6656-3	± 130°	300°	(1) RRU-32 B30	N/A	± 190'	± N/A	N/A	-
C/1	OS6656-3	± 120°	180°	(1) RRU-11 & (1) RRU-32 B2	N/A	± 180'	± N/A	N/A	-
C/2	OS6656-3	± 120°	180°	(1) RRU-11	N/A	± 180'	± N/A	N/A	-
C/3	OS6656-3	± 130°	180°	(1) RRU-11 & (1) RRU-32 B66	N/A	± 190'	± N/A	N/A	-
C/4	OS6656-3	± 130°	180°	(1) RRU-32 B30	N/A	± 190'	± N/A	N/A	-

RF SCHEDULE

SCALE: N.T.S. 1



ANTENNA PLAN SCALE: 3/8"=1'-0" 2

PROPRIETARY INFORMATION
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PROJECT INFORMATION

LATROBE

7160 DRAGON POINT RD
SHELVE SPRINGS, CA 95822

REV. DATE DESCRIPTION BY

1	4-27-17	SOX ZONING DOC'S	RB
2	5-10-17	REV SOX ZONING DOC'S	RB
3	5-24-17	REV SOX ZONING DOC'S	RB
4	6-13-17	REV SOX ZONING DOC'S	RB
5	8-2-17	REV SOX ZONING DOC'S	RB
6	8-21-17	100% ZONING DOC'S	RB

COORDINATING ENGINEER

Peek Site-Com
12852 Earhart Ave, Suite 101
Auburn, California 95602
Phone (530) 885-5160
E-Mail info@peeksitecom.com

SCALE



SITE # CHK. DRAWN BY:

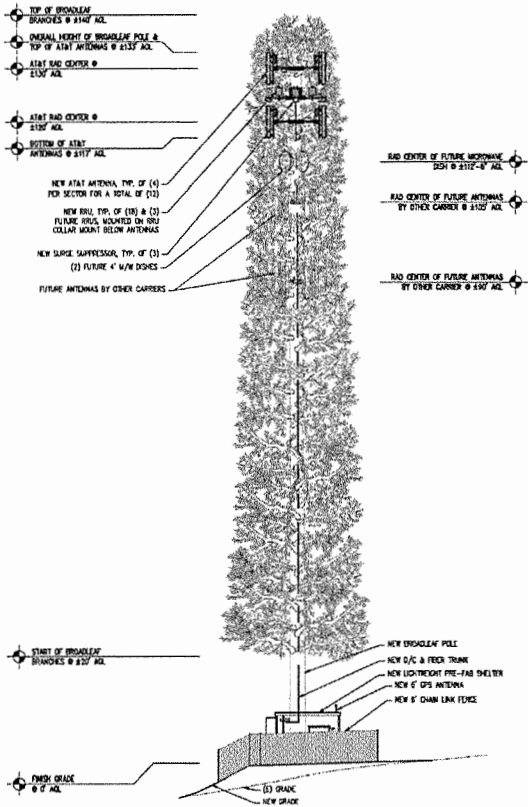
CVL03138 RB

SHEET TITLE

ANTENNA PLAN & DETAILS

SHEET NUMBER REVISION

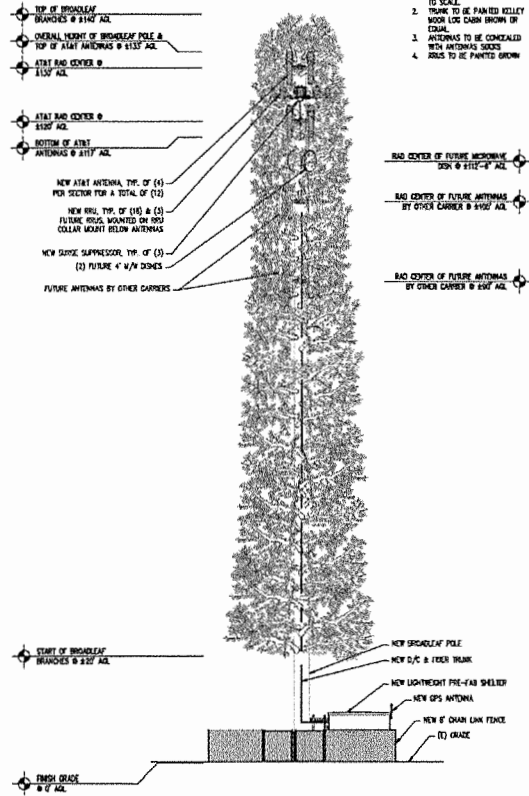
A-3 0



SOUTHEAST ELEVATION

SCALE: 3/32"=1'-0"

2



NORTHEAST ELEVATION

SCALE: 3/32"=1'-0"

1

- NOTE:
- BRADLEAF BRANCHES SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE NOT TO SCALE.
 - TRUNK TO BE PAINTED KELLY BROWN FOR CHAIN BROWN OR EQUAL.
 - ANTENNAS TO BE CONCEALED WITH ANTENNAS SOCKS.
 - RODS TO BE PAINTED GREEN.

PROPRIETARY INFORMATION
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CLIENT:

2600 CAMINO RAMON
 SAN RAMON, CA 94583

PROJECT INFORMATION:

LATROBE
 7168 ORAZON POINT RD
 SHENLE SPRINGS, CA 95682

REV	DATE	DESCRIPTION	BY
1	4-27-17	90% ZONING DOC'S	RB
2	5-10-17	REV 90% ZONING DOC'S	RB
3	5-24-17	REV 90% ZONING DOC'S	RB
4	6-13-17	REV 90% ZONING DOC'S	RB
5	8-2-17	REV 90% ZONING DOC'S	RB
6	8-21-17	100% ZONING DOC'S	RB

COORDINATING ENGINEER:

Peek Site-Com
 12852 Earhart Ave, Suite 101
 Auburn, California 95602
 Phone (530) 885-6160
 E-Mail info@peeksitecom.com

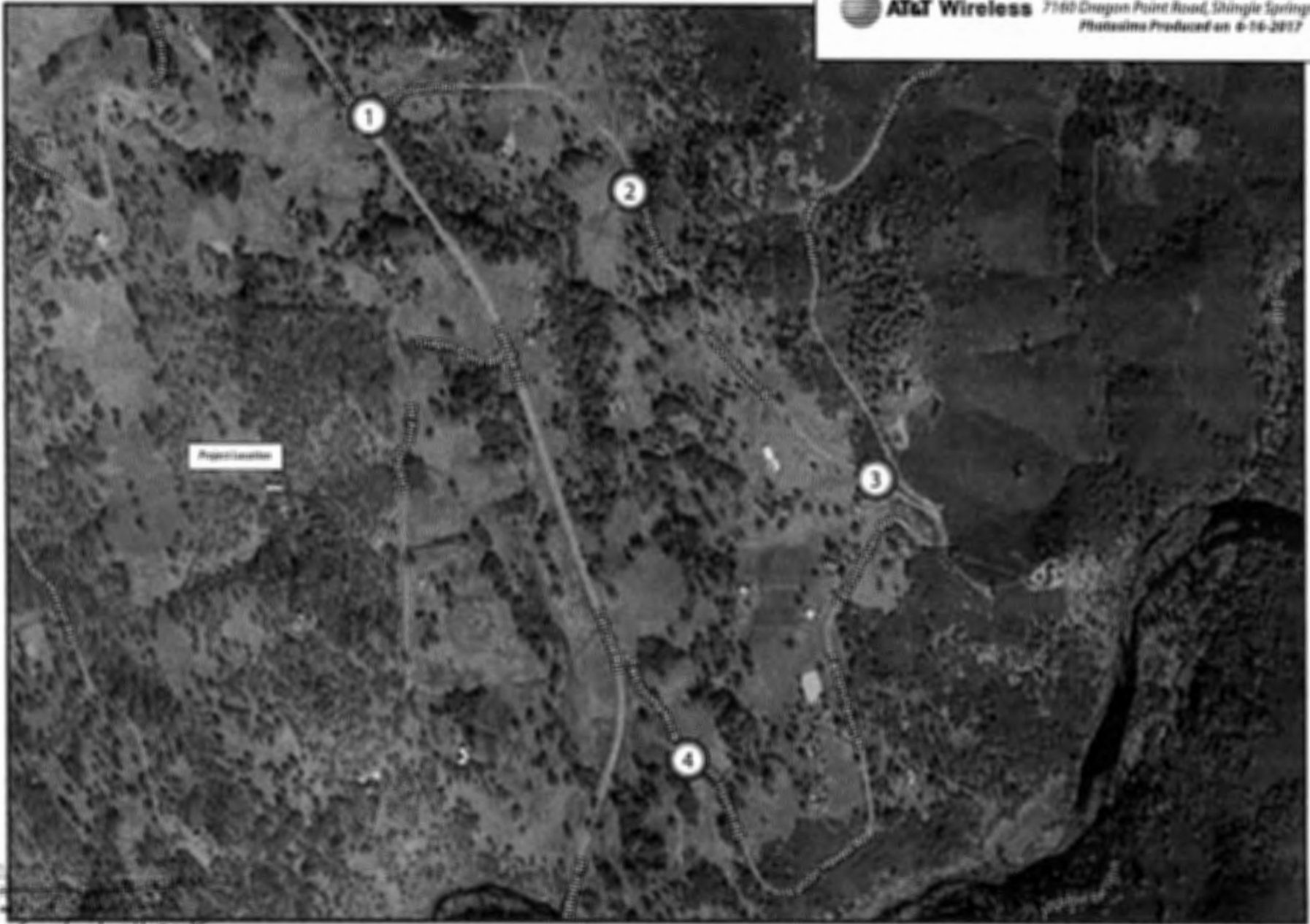
SEAL:

SITE # _____ CHK: _____ DRAWN BY: _____
 CVL03138 _____ RB
 SHEET TITLE: _____
ELEVATIONS
 SHEET NUMBER: _____ REVISION: _____

A-4.1 0



01602128 Latrobe
7160 Dragon Point Road, Shingle Springs, CA
Photosets Produced on 6-16-2017



30
September 11, 2017
Dragon Point Port
SECRET

Exhibit G
Site 5 Latrobe



Existing



Proposed



Proposed 450'
Antenna

view from Latsche Road looking southwest at site

AdvanceSim
Photo Simulations Software

Contact (925) 202-8507

 **AT&T Wireless**

CYL03128 Latsche
7160 Dragon Point Road, Shingie Springs, CA
Photosim Produced on 6-16-2017

Existing



Proposed



view from Falcon Haven Road looking southwest at site



AT&T Wireless

CY180138 License
7160 Dragon Point Road, Shingie Springs, CA
Photosims Produced on 6-16-2017

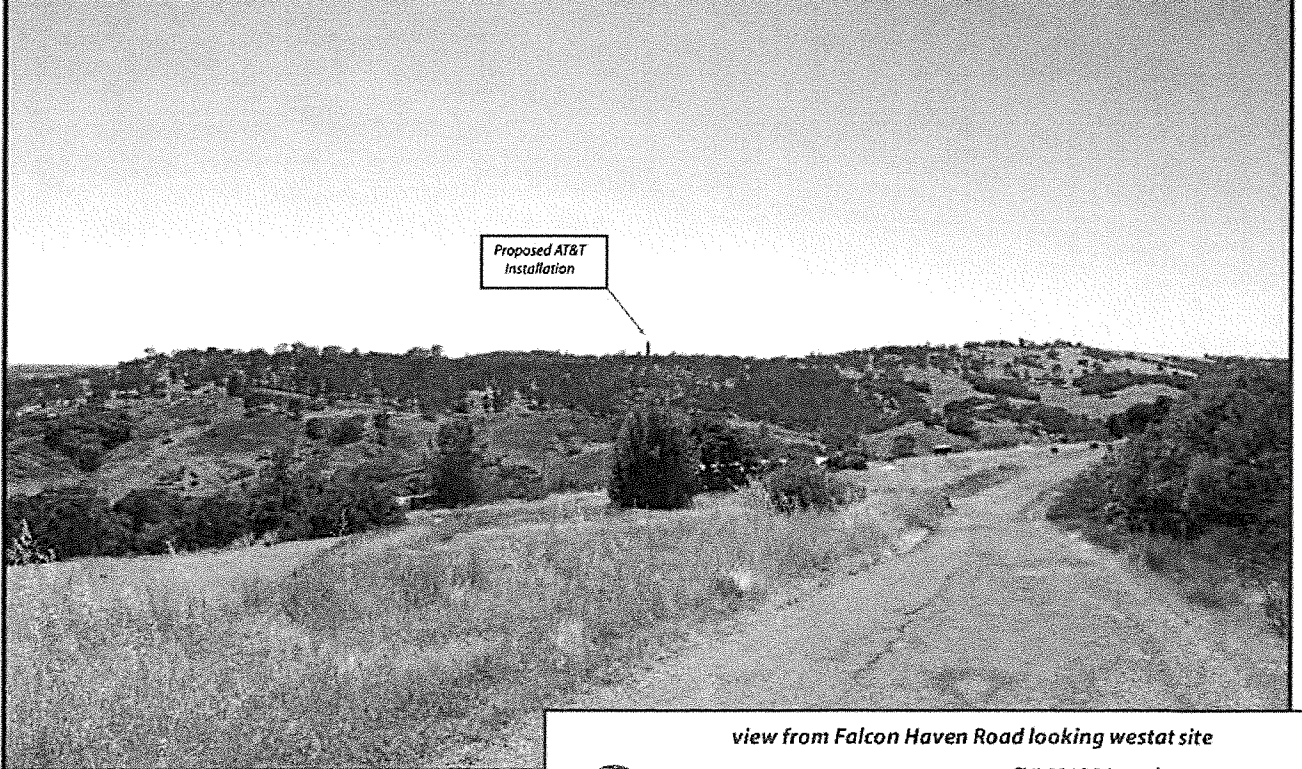
AdvanceSim
Photo Simulations Software

Contact (925) 202-8507

Existing



Proposed



Proposed AT&T
Installation

view from Falcon Haven Road looking west at site



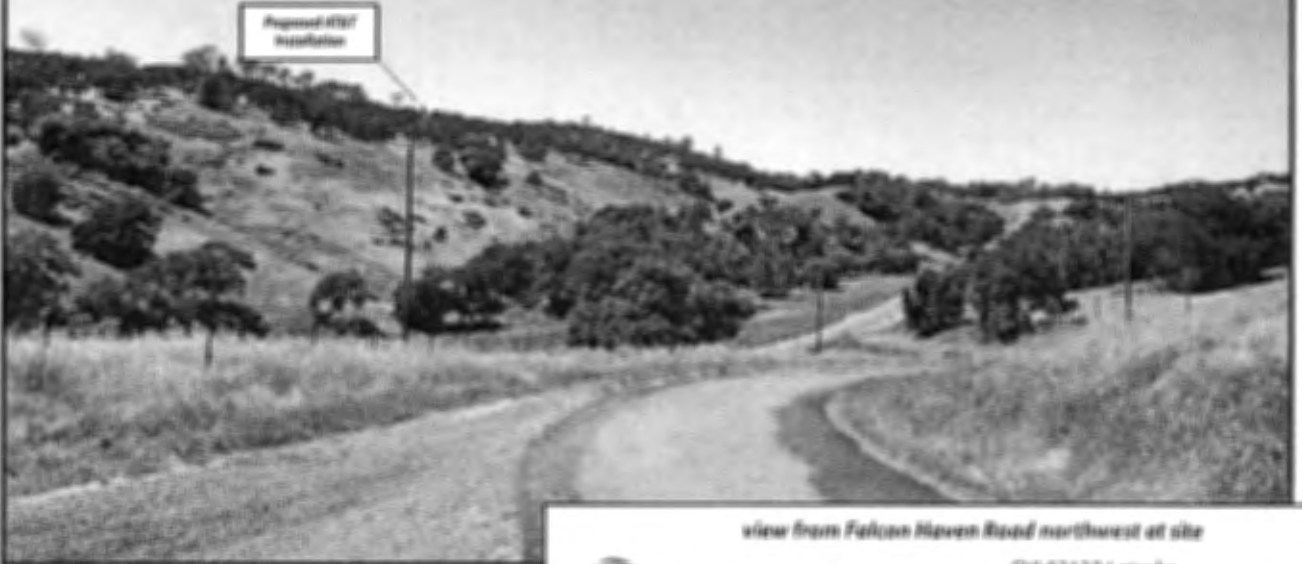
AT&T Wireless

CVL03138 Latrobe
7160 Dragon Point Road, Shingle Springs, CA
Photosims Produced on 6-16-2017

Existing



Proposed



Proposed AT&T
Installation

view from Falcon Haven Road northwest of site



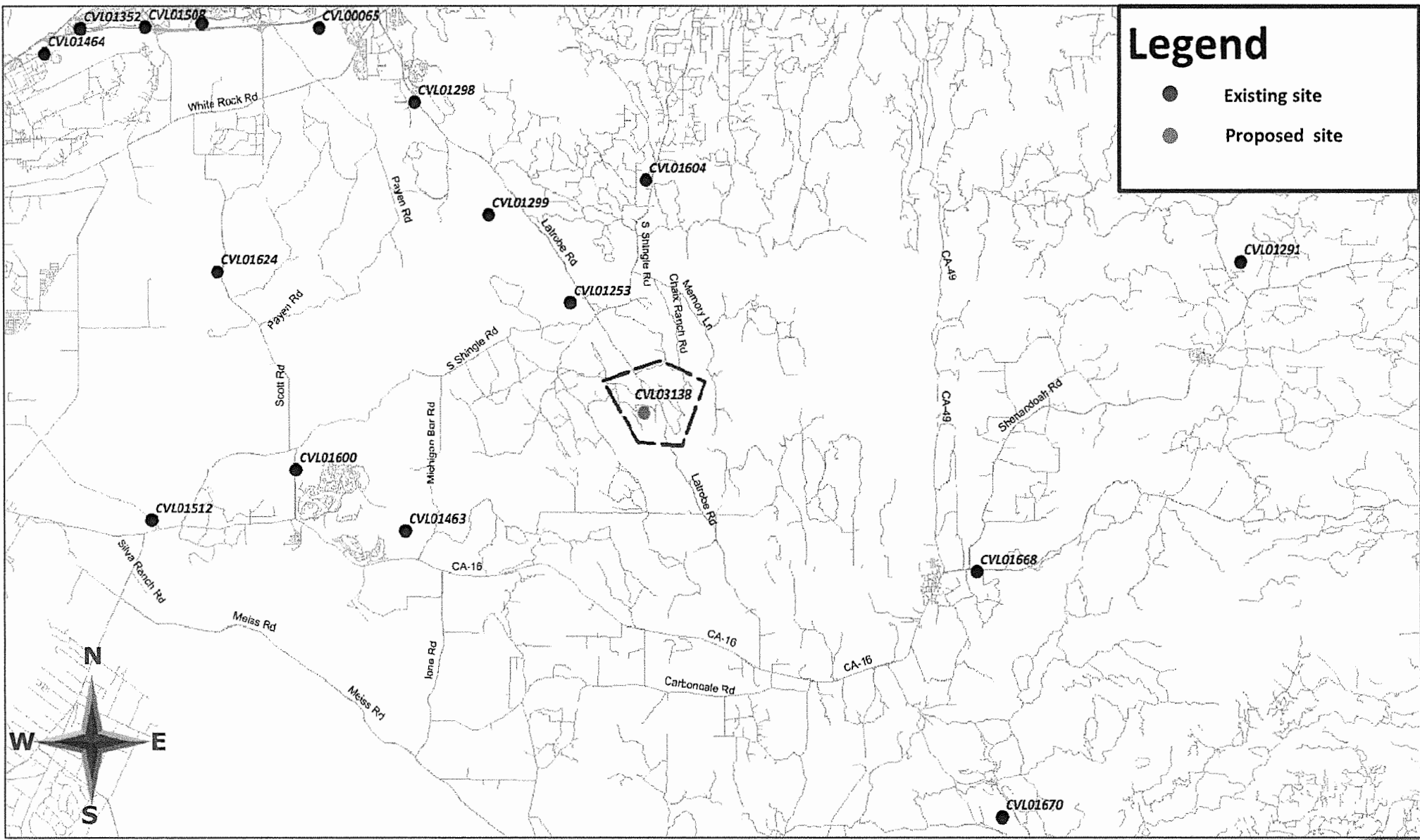
CVL03138 Zoning Propagation Map

May 19th, 2017

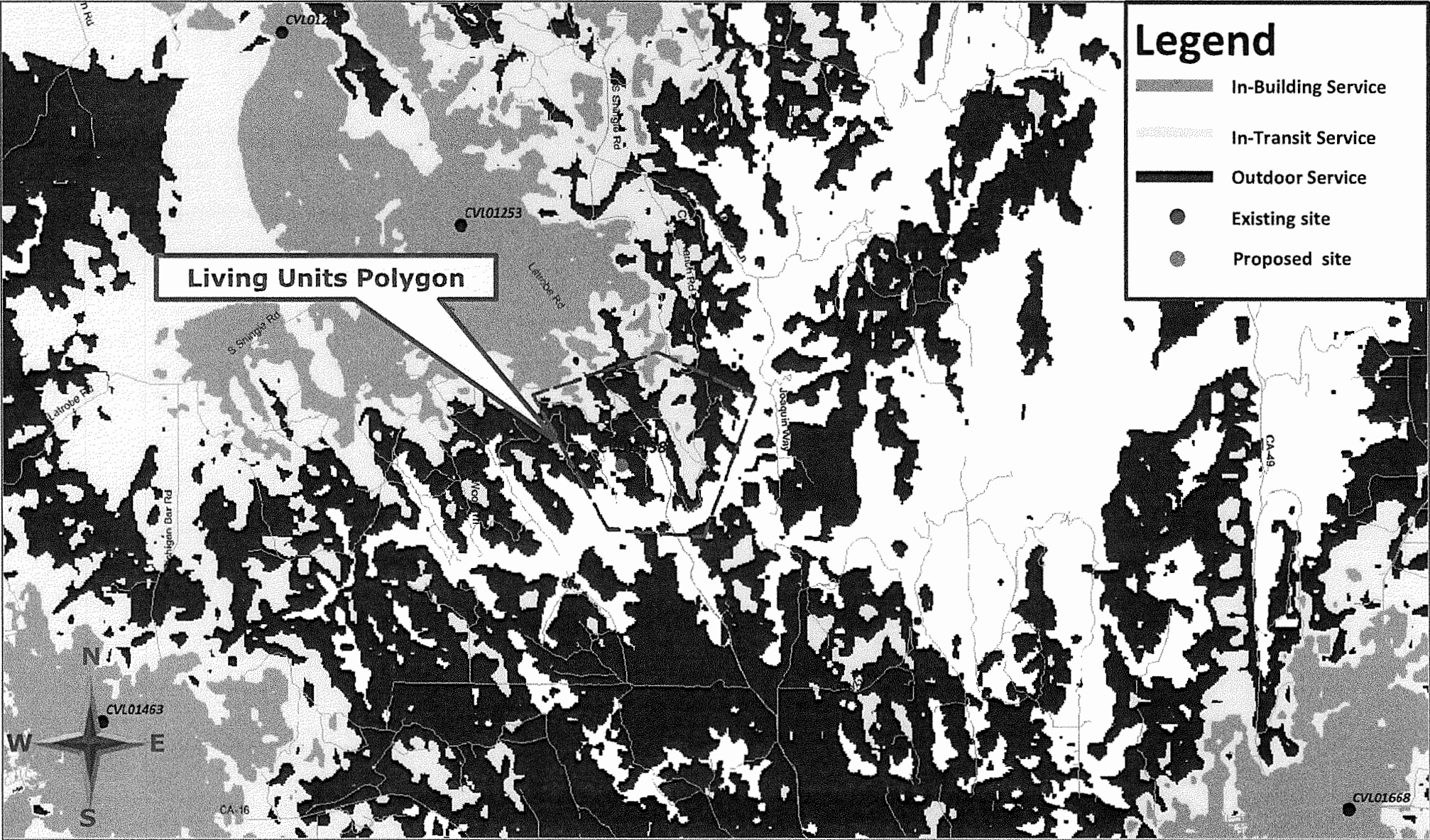
APPROVED
EL DORADO COUNTY
ZONING COMMISSION
Board of Supervisors
September 11, 2018
Roy Tamm
SECRET

Exhibit H
Site 5 Latrobe

Street View With Existing and Proposed Site



Existing LTE 700 Coverage





WATERFORD
COMPLIANCE...FROM START TO SIGNAL

Radio Frequency Emissions Compliance Report For AT&T Mobility

Site Name: Latrobe	Site Structure Type: Broadleaf Pole
Address: 7160 Dragon Point Road	Latitude: 38.529186
Shingle Springs, California	Longitude: -120.963094
Report Date: June 19, 2017	Project: New Build

General Summary

AT&T Mobility has contracted Waterford Consultants, LLC to conduct a Radio Frequency Electromagnetic Compliance assessment of the proposed Latrobe site located at 7160 Dragon Point Road, Shingle Springs, California. This report contains information about the radio telecommunications equipment to be installed at this site and the surrounding environment with regard to RF Hazard compliance. This assessment is based on installation designs and operational parameters provided by AT&T Mobility.

The compliance framework is derived from the Federal Communications Commission (FCC) Rules and Regulations for preventing human exposure in excess of the applicable Maximum Permissible Exposure ("MPE") limits. At any location at this site, the power density resulting from each transmitter may be expressed as a percentage of the frequency-specific limits and added to determine if 100% of the exposure limit has been exceeded. The FCC Rules define two tiers of permissible exposure differentiated by the situation in which the exposure takes place and/or the status of the individuals who are subject to exposure. General Population / Uncontrolled exposure limits apply to those situations in which persons may not be aware of the presence of electromagnetic energy, where exposure is not employment-related, or where persons cannot exercise control over their exposure. Occupational / Controlled exposure limits apply to situations in which persons are exposed as a consequence of their employment, have been made fully aware of the potential for exposure, and can exercise control over their exposure. Based on the criteria for these classifications, the FCC General Population limit is considered to be a level that is safe for continuous exposure time. The FCC General Population limit is 5 times more restrictive than the Occupational limits.

Frequency (MHz)	Limits for General Population/ Uncontrolled Exposure		Limits for Occupational/ Controlled Exposure	
	Power Density (mW/cm ²)	Averaging Time (minutes)	Power Density (mW/cm ²)	Averaging Time (minutes)
30-300	0.2	30	1	6
300-1500	f/1500	30	f/300	6
1500-100,000	1.0	30	5.0	6

f=Frequency (MHz)

In situations where the predicted MPE exceeds the General Population threshold in an accessible area as a result of emissions from multiple transmitters, FCC licensees that contribute greater than 5% of the aggregate MPE share responsibility for mitigation.

Exhibit I Site 5 Latrobe

APPROVED
EL DORADO COUNTY
~~PLANNING COMMISSION~~
Board of Supervisors
DATE September 11, 2018
BY Rogan Trout
EXECUTIVE SECRETARY

Based on the computational guidelines set forth in FCC OET Bulletin 65, Waterford Consultants, LLC has developed software to predict the overall Maximum Permissible Exposure possible at any particular location given the spatial orientation and operating parameters of multiple RF sources. These theoretical results represent worst-case predictions as emitters are assumed to be operating at 100% duty cycle.

For any area in excess of 100% General Population MPE, access controls with appropriate RF alerting signage must be put in place and maintained to restrict access to authorized personnel. Signage must be posted to be visible upon approach from any direction to provide notification of potential conditions within these areas. Subject to other site security requirements, occupational personnel should be trained in RF safety and equipped with personal protective equipment (e.g. RF personal monitor) designed for safe work in the vicinity of RF emitters. Controls such as physical barriers to entry imposed by locked doors, hatches and ladders or other access control mechanisms may be supplemented by alarms that alert the individual and notify site management of a breach in access control. Waterford Consultants, LLC recommends that any work activity in these designated areas or in front of any transmitting antennas be coordinated with all wireless tenants.

Analysis

AT&T Mobility proposes the following installation at this location:

- Install twelve (12) new antennas
- Install nine (9) new RRUS-11
- Install nine (9) new RRUS-32

The antennas will be mounted on a new 143-foot broadleaf pole with centerlines at 120 and 130 feet above ground level. The antennas will be oriented toward 60, 300 and 180 degrees. The Effective Radiated Power (ERP) in any direction from all AT&T Mobility operations will not exceed 17,359 Watts. Other appurtenances such as GPS antennas, RRUs and hybrid cable are not sources of RF emissions. From this site, AT&T Mobility will enhance voice and data services to surrounding areas in licensed 700, 850, 1900, 2100 and 2300 MHz bands. No other antennas are known to be operating in the vicinity of this site.

Power density decreases significantly with distance from any antenna. The panel-type antennas to be employed at this site are highly directional by design and the orientation in azimuth and mounting elevation, as documented, serve to reduce the potential to exceed MPE limits at any location other than directly in front of the antennas. For accessible areas at ground level, the maximum predicted power density level resulting from all AT&T Mobility operations is 0.4150% of the FCC General Population limits. Incident at adjacent buildings depicted in Figure 1, the maximum predicted power density level resulting from all AT&T Mobility operations is 0.1515% of the FCC General Population limits. The proposed operation will not expose members of the General Public to hazardous levels of RF energy and will not contribute to existing cumulative MPE levels on walkable surfaces at ground or at adjacent buildings by 5% of the General Population limits.

Waterford Consultants, LLC recommends posting contact information signage at the compound gate. RF alerting signage (Caution) should be posted at the base of the proposed tower to inform authorized climbers of potential conditions near the antennas. These recommendations are depicted in Figure 2.

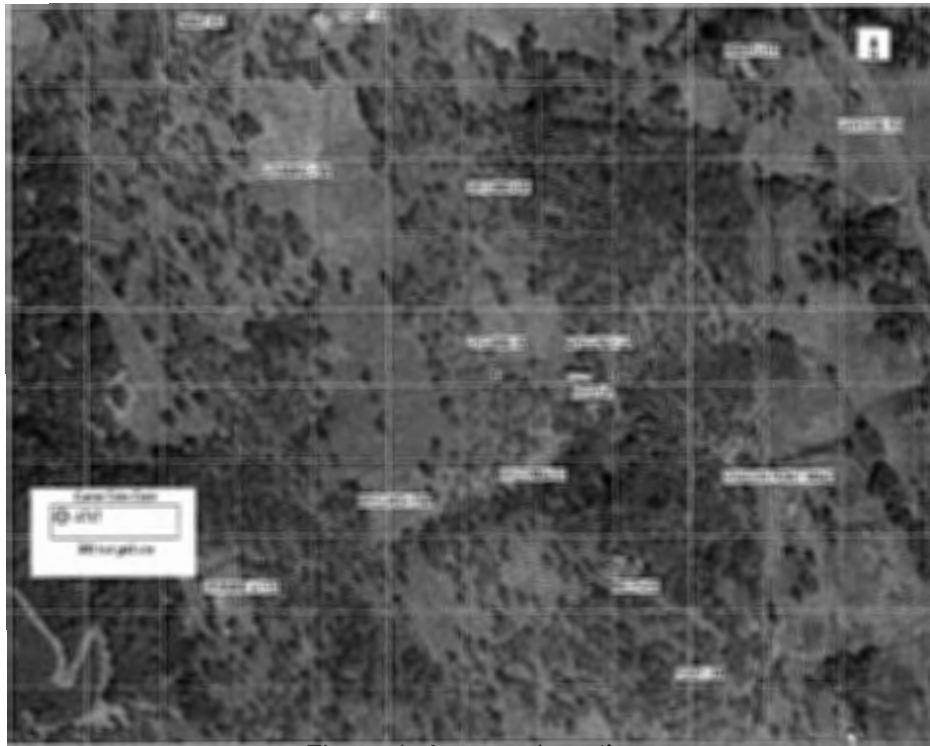


Figure 1: Antenna Locations

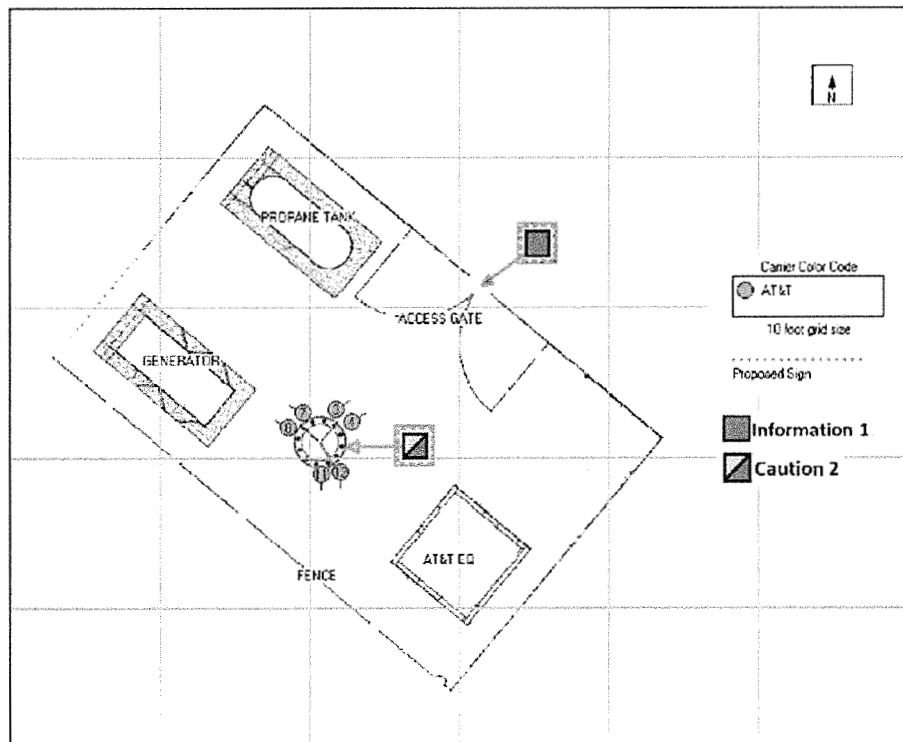


Figure 2: Mitigation Recommendations

Compliance Statement

Based on information provided by AT&T Mobility and predictive modeling, the installation proposed by AT&T Mobility at 7160 Dragon Point Road, Shingle Springs, California will be compliant with Radiofrequency Radiation Exposure Limits of 47 C.F.R. § 1.1307(b)(3) and 1.1310. RF alerting signage and restricting access to the tower to authorized climbers that have completed RF safety training is required for Occupational environment compliance.

Certification

I, Steven N. Baier-Anderson, am the reviewer and approver of this report and am fully aware of and familiar with the Rules and Regulations of both the Federal Communications Commissions (FCC) and the Occupational Safety and Health Administration (OSHA) with regard to Human Exposure to Radio Frequency Radiation, specifically in accordance with FCC's OET Bulletin 65. I have reviewed this Radio Frequency Exposure Assessment report and believe it to be both true and accurate to the best of my knowledge.

