

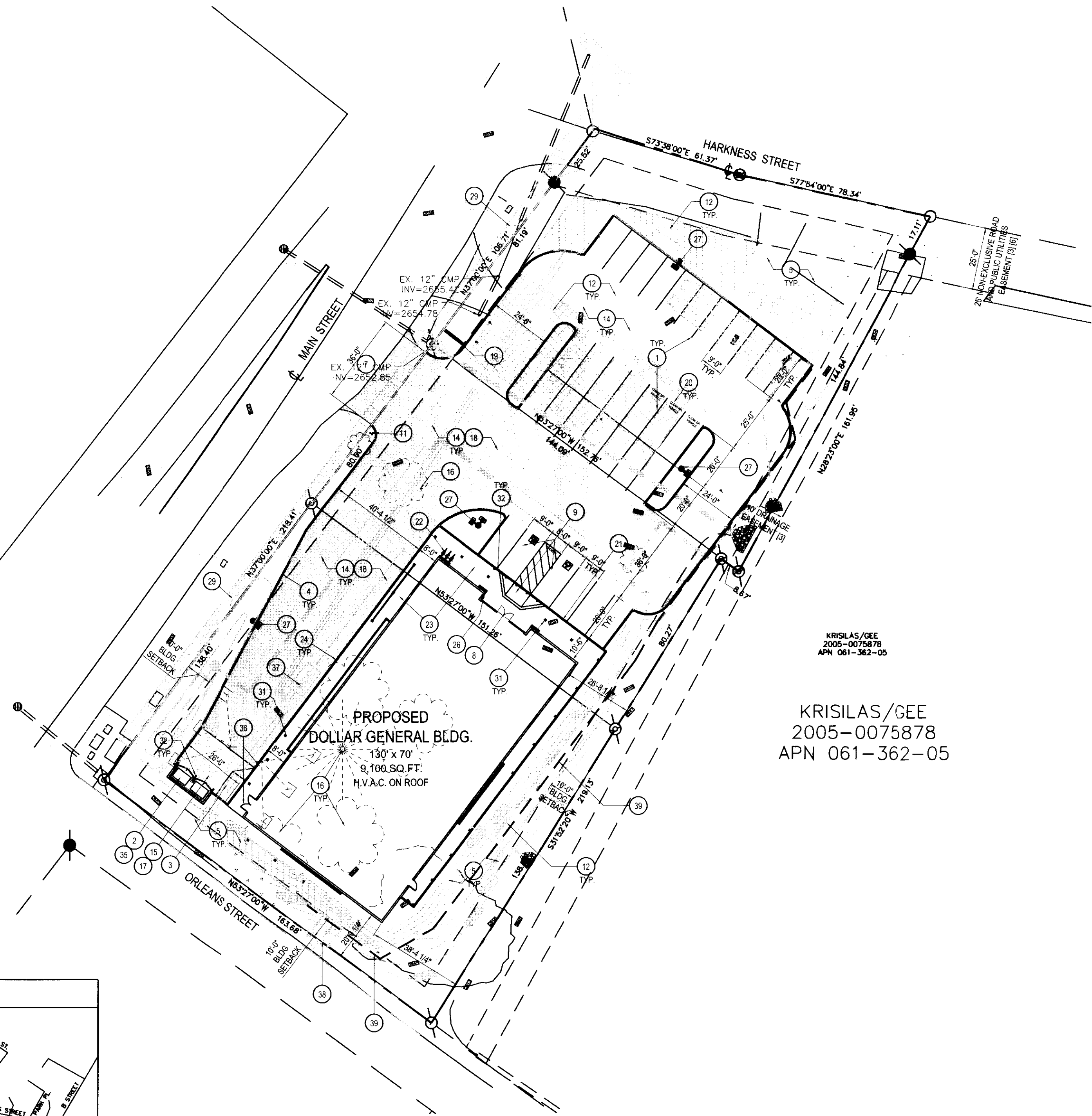
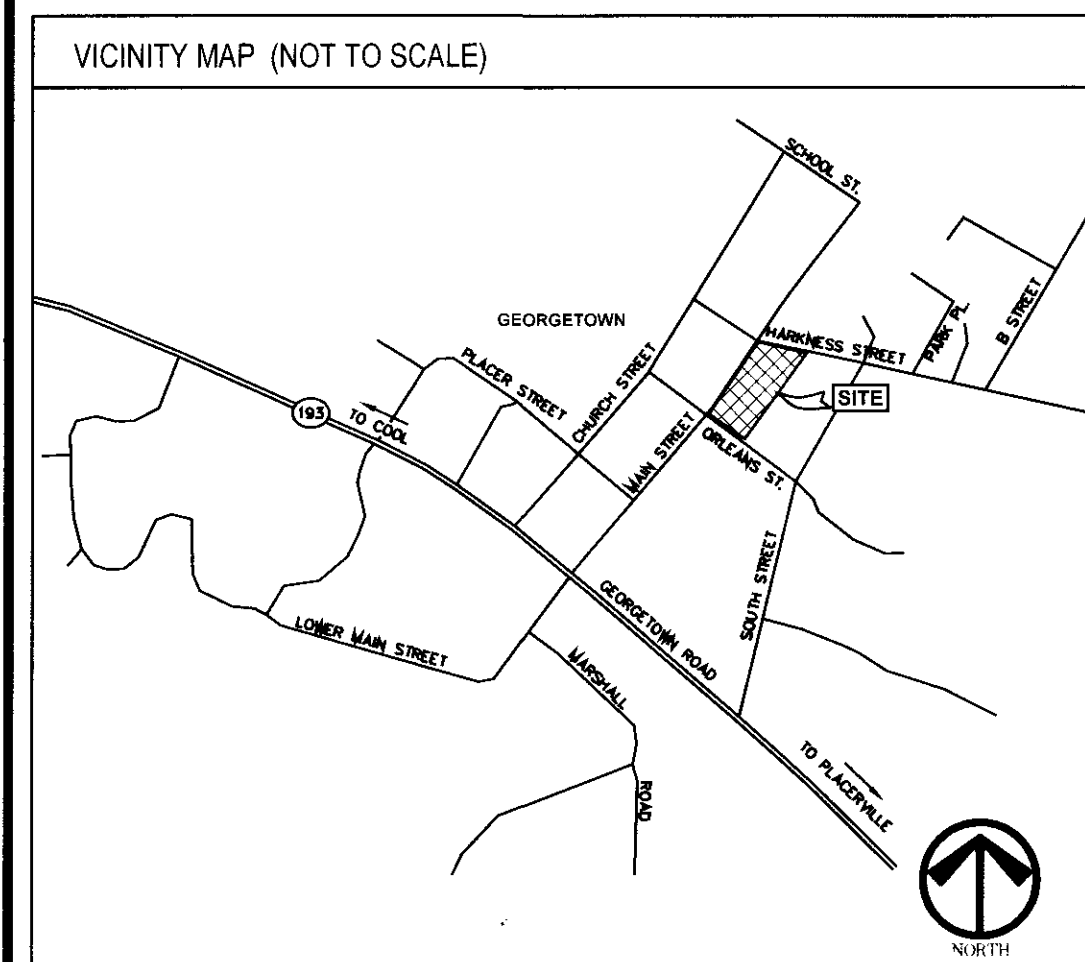
A PROPOSED COMMERCIAL DEVELOPMENT FOR:

**DOLLAR GENERAL - GEORGETOWN, CA.**

**DOLLAR GENERAL®**

SEC MAIN ST. & HARKNESS ST., GEORGETOWN, CA 95634

STORE #



**NOTES:**  
 1. FOR DRAINAGE INFORMATION AND HORIZONTAL CONTROLS, REFER TO CIVIL PLANS UNDER SEPARATE PERMIT.  
 2. ANY RIGHT-OF-WAY IMPROVEMENTS, WHERE OCCURS, PER CIVIL PLANS UNDER SEPARATE PERMIT.  
 3. SEPTIC & SEWER INFORMATION SHOWN FOR REFERENCE ONLY. REFER TO SEPTIC PLAN FOR ADDITIONAL INFORMATION.

KRISILAS/GEE  
 2005-0075878  
 APN 061-362-05

**SITE SUMMARY**

**SUBJECT PROPERTY STREET ADDRESS:**  
 UNKNOWN

**ASSESSOR'S PARCEL NUMBER:**  
 061-362-01-100 (PARCEL ONE)  
 061-362-02-100 (PARCEL TWO)  
 061-362-04-100 (PARCEL THREE)

**PARCEL AREA:**  
 061-362-01-100 (PARCEL ONE) = 0.50± ACRES  
 061-362-02-100 (PARCEL TWO) = 0.27± ACRES  
 061-362-04-100 (PARCEL THREE) = 0.43± ACRES

**FEMA FLOOD ZONE:**  
 THE PROPERTY SHOWN HEREON IS SHOWN ON FEMA FLOOD FIRM INDEX PANEL NO. 06017CND04 (DATED SEPTEMBER 26, 2008) AS ALL OF PANEL NO. 06017CND02 (PANEL NOT PRINTED) BEING ZONE 'D' DESCRIBED AS AREAS IN WHICH FLOOD HAZARDS ARE UNDETERMINED, BUT POSSIBLE.

**ZONING:**  
 EL DORADO COUNTY ZONING DESIGNATION:  
 EXISTING: COMMERCIAL

**BUILDING SETBACKS:**  
 MINIMUM YARD FRONT: TEN FEET; SIDES AND REAR: FIVE FEET OR ZERO FEET AND FIREPROOF WALL WITHOUT OPENING PROVIDED; HOWEVER, THAT ALL HOTEL AND MOTEL STRUCTURES SHALL HAVE AT LEAST FIVE FEET SIDE AND REAR YARDS.

**BUILDING HEIGHT LIMIT:**  
 MAXIMUM BUILDING HEIGHT: FIFTY FEET.

**LOT COVERAGE:**  
 MAXIMUM BUILDING COVERAGE: SIXTY PERCENT. THE REMAINING FORTY PERCENT WILL BE TO PROVIDE OPEN SPACE, PARKING AND CIRCULATION.

**LEGAL DESCRIPTION:** ORDER NO. NCS-675970-PHX1  
 (FIRST AMERICAN TITLE INSURANCE COMPANY PRELIMINARY REPORT ORDER NO. NCS-675970-PHX1, DATED JUNE 10, 2014)

**REAL PROPERTY IN THE UNINCORPORATED AREA OF THE COUNTY OF EL DORADO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:**

**PARCEL ONE:**  
 A PORTION OF LOT 9, BLOCK 1, TOWNSHIP OF GEORGETOWN BEING A PORTION OF THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 12 NORTH, RANGE 10 EAST, M.D.B.M., MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
 PARCEL 1, AS SHOWN ON THAT CERTAIN PARCEL MAP FILED IN THE OFFICE OF THE COUNTY RECORDER, COUNTY OF EL DORADO, STATE OF CALIFORNIA, ON OCTOBER 4, 1974, IN BOOK 6 OF PARCEL MAPS, AT PAGE 113, EXCEPTING THEREFROM ALL THE SUB-SURFACE THEREOF AS PATENTED TO MILTON A. WOODSIDE, ROBERT W. GRUBBS BY PATENT RECORDED JANUARY 15, 1976 IN BOOK A OF PATENTS, AT PAGE 373 RECORDS OF EL DORADO COUNTY, KNOWN AS THE EUREKA QUARTZ MINE AND MILL SITE, AS RESERVED IN DEED FROM HARRY C. GRAVELLE, JR., ET UX, RECORDED JANUARY 18, 1963, IN BOOK 621 OF OFFICIAL RECORDS, AT PAGE 350 APN: 061-362-01-100 (AFFECTS PARCEL ONE), 061-362-02-100 (AFFECTS PARCEL TWO) AND 061-362-04-100 (AFFECTS PARCEL THREE).

**PARCEL TWO:**  
 COMMENCING AT THE NORTHWEST CORNER OF LOT 10 IN BLOCK 1, LYING ON THE EASTERLY SIDE OF MAIN STREET IN THE TOWNSHIP OF GEORGETOWN, COUNTY OF EL DORADO, STATE OF CALIFORNIA, THENCE 150 FEET IN AN EASTERLY DIRECTION TO THE NORTHEAST CORNER OF SAID LOT 10; THENCE 80 FEET IN A NORTHERLY DIRECTION, THENCE 142.5 FEET IN A WESTERLY DIRECTION TO THE WEST LINE OF SAID BLOCK 1, THENCE 80 FEET IN A SOUTHERLY DIRECTION ALONG SAID WEST LINE TO THE PLACE OF BEGINNING, AND BEING A PORTION OF LOT 9 IN SAID BLOCK 1.

**PARCEL THREE:**  
 A PORTION OF LOT 9, BLOCK 1, TOWNSHIP OF GEORGETOWN BEING A PORTION OF THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 12 NORTH, RANGE 10 EAST, M.D.B.M., MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
 PARCEL 1, AS SHOWN ON THAT CERTAIN PARCEL MAP FILED IN THE OFFICE OF THE COUNTY RECORDER, COUNTY OF EL DORADO, STATE OF CALIFORNIA, ON OCTOBER 4, 1974, IN BOOK 6 OF PARCEL MAPS, AT PAGE 113, EXCEPTING THEREFROM ALL THE SUB-SURFACE THEREOF AS PATENTED TO MILTON A. WOODSIDE, ROBERT W. GRUBBS BY PATENT RECORDED JANUARY 15, 1976 IN BOOK A OF PATENTS, AT PAGE 373 RECORDS OF EL DORADO COUNTY, KNOWN AS THE EUREKA QUARTZ MINE AND MILL SITE, AS RESERVED IN DEED FROM HARRY C. GRAVELLE, JR., ET UX, RECORDED JANUARY 18, 1963, IN BOOK 621 OF OFFICIAL RECORDS, AT PAGE 350 APN: 061-362-01-100 (AFFECTS PARCEL ONE), 061-362-02-100 (AFFECTS PARCEL TWO) AND 061-362-04-100 (AFFECTS PARCEL THREE).

**SURVEY RELATED EXCEPTIONS - NCS-675970-PHX1**

(FIRST AMERICAN TITLE INSURANCE COMPANY PRELIMINARY REPORT ORDER NO. NCS-675970-PHX1, DATED JUNE 10, 2014)

3. AN EASEMENT SHOWN OR DEDICATED ON THE MAP OF PARCEL MAP RECORDED OCTOBER 04, 1974 ON FILE IN BOOK 6, PAGE 113 OF PARCEL MAPS, FOR DITCH, DRAINAGE, ROAD & PUBLIC UTILITIES AND INCIDENTAL PURPOSES, (PLOTTED)

6. RIGHTS OF THE PUBLIC IN AND TO THAT PORTION OF THE LAND LYING WITHIN ANY ROAD, STREET AND/OR HIGHWAY.

**GOVERNING CODES**

THIS PROJECT SHALL COMPLY WITH THE 2013 CALIFORNIA BUILDING CODE

CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE (CBC), 2013 EDITION  
 CALIFORNIA BUILDING CODE (CBC), 2013 EDITION  
 CALIFORNIA PLUMBING CODE (CPC), 2013 EDITION  
 CALIFORNIA MECHANICAL CODE (CMC), 2013 EDITION  
 CALIFORNIA ELECTRICAL CODE (CEC), 2013 EDITION  
 CALIFORNIA FIRE CODE (CFC), 2013 EDITION  
 NATIONAL ELECTRICAL CODE (NEC), 2008 EDITION  
 THE AMERICANS WITH DISABILITIES ACT (ADA)  
 TITLE 24, PART 2, CHAPTERS 10, 11, 11A & 11B, (CBC, 2013 EDITION)  
 CALIFORNIA GREEN BUILDING CODE (CGBC), 2013 EDITION

**PLANNING NOTES**

PLEASE REFER TO LANDSCAPE PLANS FOR (3) NEW LIVE OAK TREES TO REPLACE EXISTING OAK TREES TO BE REMOVED. REFER TO TREE PRESERVATION PLAN FOR TREE REMOVAL / REPLACEMENT INFORMATION.

APPROVED  
 EL DORADO COUNTY  
 PLANNING COMMISSION  
 Board of Supervisors  
 DATE: April 5, 2016  
 BY: Bryan Trout/Lint  
 EXECUTIVE SECRETARY

**PROJECT DIRECTORY**

**ARCHITECT:**  
 MPA ARCHITECTS, INC.  
 3578 30TH ST.  
 SAN DIEGO, CA 92104  
 CONTACT: JOHN RUMSEY  
 P: 619-236-0555 x 132  
 F: 619-236-0557  
 e-mail: jrumsey@mpa-architects.com

**CIVIL ENGINEER:**  
 TTG ENGINEERS  
 4300 N. MILLER RD.,  
 SUITE 122  
 SCOTTSDALE, ARIZONA 85251  
 CONTACT: MIKE JACKSON  
 P: (602) 371-1333  
 F: (602) 371-0675

**PLUMBING, MECHANICAL AND ELECTRICAL DESIGN:**  
 SIMONCRE  
 7434 E. STETSON DRIVE,  
 SUITE 165  
 SCOTTSDALE, ARIZONA 85251  
 CONTACT: Joshua Simon  
 P: (480) 745-1956  
 F: (480) 558-4150

**OWNER & LANDLORD:**  
 DOLLAR GENERAL CORPORATION  
 CONSTRUCTION PROJECT MANAGER  
 CONTACT: GLEN S. KASER  
 P: 714-323-4801  
 e-mail: gkaser@dollargeneral.com

**GENERAL CONTRACTOR:**  
 MONZA CONSTRUCTION  
 325 N. AUSTIN DRIVE  
 CHANDLER, ARIZONA 85226  
 CONTACT: Dan Lutinger  
 P: (480) 425-0200  
 F: (480) 705-5654

**SITE ANALYSIS**

**AREA ANALYSIS**

SITE AREA ..... ± 52,272 SQUARE FEET  
 PROPOSED BUILDING AREA ..... 9,100 SQUARE FEET  
 AREA SEPARATION WALLS ..... NONE  
 CONSTRUCTION TYPE ..... V-B  
 BLDG. SPRINKLERED ..... YES  
 PROPOSED OCCUPANCY GROUP ..... M  
 PROPOSED BUILDING USE ..... RETAIL

**PARKING ANALYSIS**

PARKING SPACES REQUIRED (9,100 SQ FT/900) ..... 31 SPACES  
 PARKING SPACES PROVIDED ..... 31 SPACES

**ALLOWABLE FLOOR AREA FOR NON-SEPARATED USES (CBC TABLE 503)**

OCCUPANCY GROUP	B, M
BASIC ALLOWABLE AREA	9,000 SQ. FT. (BASED ON OCCUPANCY GROUP B)
AREA INCREASE PER CBC, SEC. 506	$A_2 = A_1 + (A_1 \times I) = (A_1 \times I_1)$ $A_{2B} = (9000 + (9000 \times .75) + (9000 \times 0))$ $A_2 = 15,750$ SQ.FT. $I_1 = (F/P) - (0.25) W / 30$ $I_1 = (615 / 615) - (0.25) 30 / 30$ $I_1 = 75$
TOTAL ALLOWABLE AREA	15,750 SQ.FT.
TOTAL ACTUAL BUILDING AREA	9,100 SQ. FT.
9,135 < 15,750 NON SEPARATED OCCUPANCIES ALLOWED PER 506.3	

**SITE PLAN INDEX**

1. TRASH ENCLOSURE AREA
2. RAMP DOWN TO PAVEMENT
3. LANDSCAPED CURB
4. LANDSCAPED AREA. REFER TO LANDSCAPE PLANS
5. DRIVEWAY AND CURBOUT. REFER TO CIVIL PLANS
6. PROPOSED LOCATION OF ENTRY/EXIT DOORS
7. ACCESSIBLE HANDICAP SPACE, STRIPED AREA, RAMP & SIGNAGE
8. (N) ACCESSIBLE SIGNAGE AT ENTRANCE.
9. UNDERGROUND RETENTION & SEPTIC AREA. REFER TO CIVIL & SEPTIC PLANS
10. CONCRETE TO ASPHALT TRANSITION
11. ASPHALT PARKING LOT AND DRIVE AISLES PER COUNTY OF EL DORADO STANDARDS
12. CONCRETE DUMPSTER PAD, ENTIRE LENGTH OF THE TRASH ENCLOSURE (6'x18' MIN.)
13. (E) TREES TO BE REMOVED (SEE PLANNING NOTES)
14. CONCRETE DELIVERY PAD (18'x15' MIN.)
15. HEAVY DUTY PAVING (SHADED AREA)
16. PROPOSED LOCATION OF EXTERNALLY ILLUMINATED SIGN W/ DECORATIVE WOOD POST ON EACH SIDE AND W/ UNDERGROUND ELECTRICAL (UNDER SEPARATE PERMIT). REFER TO SIGNAGE PLAN, SHEET A1.1
17. FOR MIN. 10% OF TOTAL REQ'D PARKING PROVIDE (3) DESIGNATED PARKING FOR ANY COMBINATION OF LOW-EMITTING, FUEL-EFFICIENT AND CARPOOL/VAN POOL VEHICLES
18. PARKING STALL MARKING: PAINT IN THE PAINT USED FOR THE STALL STRIPPING. THE FOLLOWING CHARACTERS SUCH THAT THE LOWER EDGE OF THE LAST WORD ALIGNS WITH THE END OF THE STALL STRIPING AND IS VISIBLE BEHIND A PARKED VEHICLE. CLEAN AIR VEHICLE
19. PERIMETER CURBING SHALL BE INSTALLED AT PARKING SPACES ADJACENT TO SIDEWALK
20. BIKE RACK (MIN. 5% OF 31 PARKING SPACES PROVIDED)- 2 BIKE RACK
21. CONCRETE SIDEWALK, G.C. TO ENSURE 3% MAX. SLOPE & 2% MAX. CROSS SLOPE
22. CONCRETE CURB TYP. U.N.O., SEE CIVIL PLANS
23. APPROXIMATE LOCATION OF RECESSED MOUNTED KNOX BOX. VERIFY REQUIREMENTS W/ FIRE DEPT.
24. PARKING LOT LIGHTING
25. (N) CONCRETE SIDEWALK PER CIVIL PLANS
26. BUILDING COLUMNS AND/OR POP-OUT ELEMENTS, TYP. REFER TO FLOOR PLAN
27. 6" Ø, 48" HIGH, CONCRETE FILLED BOLLARDS (PAINTED YELLOW).
28. THIS HALF OF TRASH ENCLOSURE (SHOWN CROSS-HATCHED) TO BE USED FOR STORAGE AND COLLECTION OF A MIN. OF PAPER, CORRUGATED CARDBOARD, GLASS, PLASTICS AND METALS. (C.G.C. SEC. 5.410.1)
29. PROPOSED EXIT DOOR LOCATION. PROVIDE 5' x 5' MIN. LEVEL CONCRETE PAD AT DOOR LANDING w/ 4' Ø MIN. WIDE CONCRETE EXIT PATH TO FRONT OF BUILDING. FOR CONCRETE SIDEWALK, SEE DETAILS K&A & L&U.1
30. SEPTIC TANK LOCATION. REFER TO CIVIL PLANS
31. (E) METER LOCATION. VERIFY OR PROVIDE 3/4" DOMESTIC WATER METER & 3/4" IRRIGATION METER. REFER TO CIVIL PLANS
32. PROPOSED RETAINING WALL PER CIVIL PLANS. INSTALL GUARDRAIL WHENEVER WALL EXCEEDS 30" FROM ADJACENT SURFACE
- 33.
- 34.
- 35.
- 36.
- 37.
- 38.
- 39.
- 40.

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MEMBER  
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**CLIENT**

**Simon CRE**  
 5111 N. SCOTTSDALE ROAD  
 SUITE 200,  
 SCOTTSDALE, AZ. 85250

Contact: Joshua Simon  
 joshua@simoncre.com  
 (480) 745-1956 office  
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**PROJECT**

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**REVISIONS**

NO.	DESCRIPTION	DATE

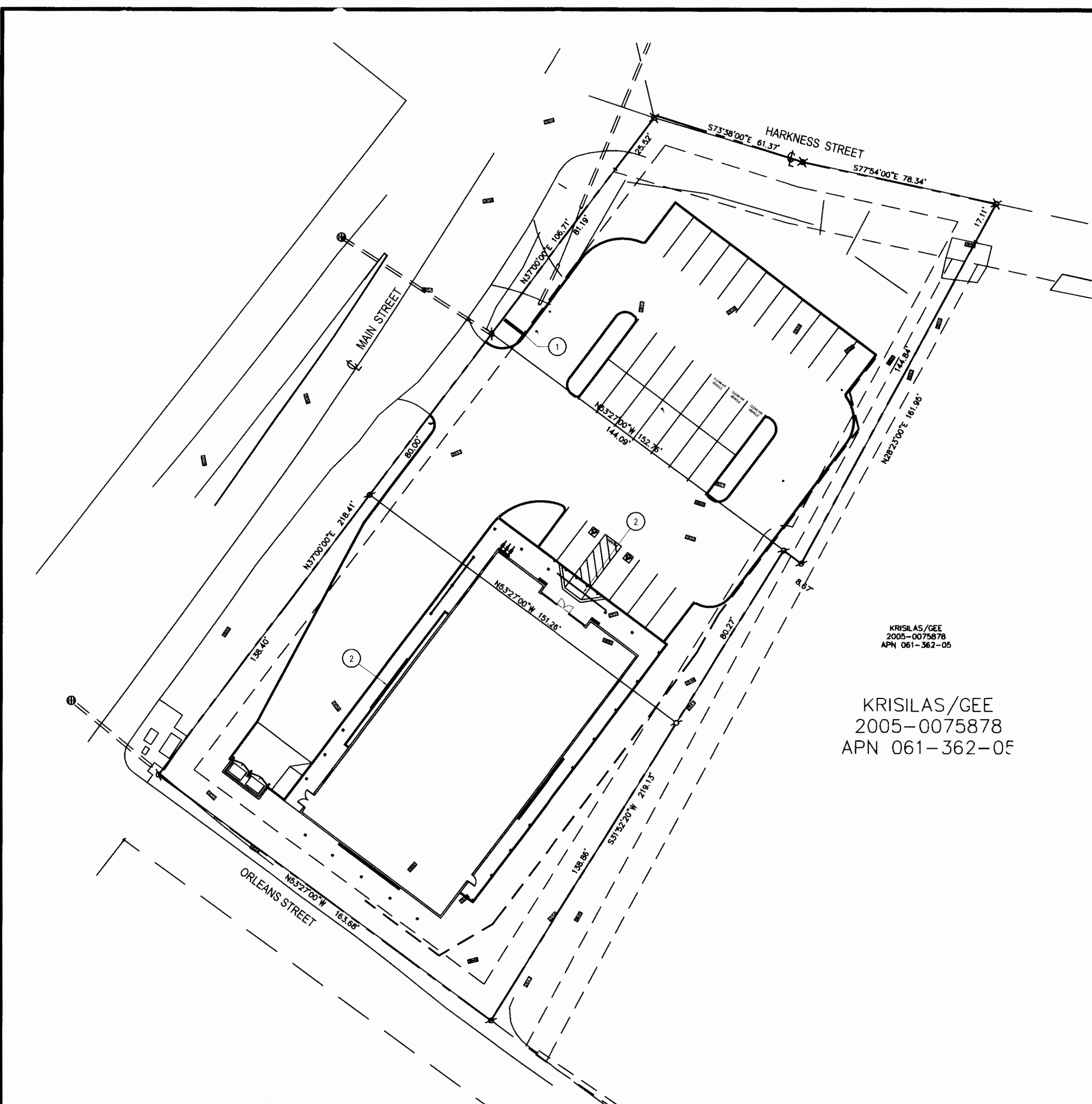
**SHEET TITLE**  
 COVER SHEET &  
 SITE PLAN

DATE: 02-04-16 SCALE: AS NOTED  
 DRAWN BY: L. DALE DATE: 02-04-16 SHEET NUMBER: S11 DWG  
 PROJECT #: 14381 **A1.0**

Exhibit F-1



Exhibit F-2



KRISILAS/GEE  
2005-0075878  
APN 061-362-05

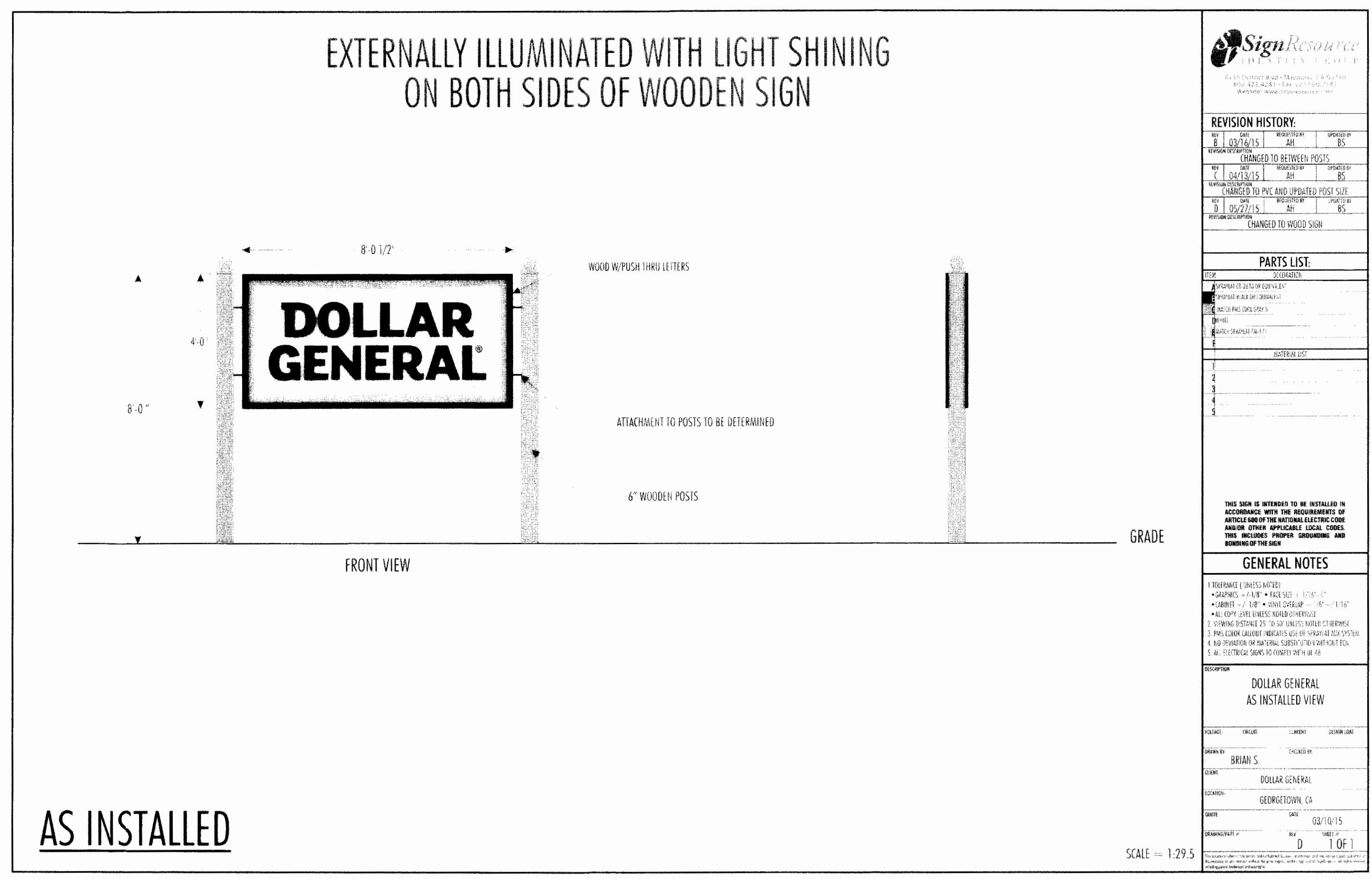
KRISILAS/GEE  
2005-0075878  
APN 061-362-05



SIGN SPECIFICATIONS	
1.	BUILDING SIGNS: TO BE EXTERNALLY LIT - PER EL DORADO COUNTY - TO BE SUBMITTED AND REVIEWED UNDER A SEPARATE PERMIT.
2.	PYLON SIGNS: PROVIDE CONDUIT FROM ELECTRICAL PANEL TO LOCATION OF THE MONUMENT SIGN BASE. BURY CONDUIT UNDER PARKING AREA. THE CONDUIT IS TO BE 1" AND HAVE ONE SET OF 102 WIRE WITH GROUND.
3.	FINAL ELECTRICAL CONNECTIONS FOR SIGN SHALL BE THE SIGN VENDORS RESPONSIBILITY SINCE THE 'V' BOX AND WIRES ARE IN PLACE.
4.	PYLON SIGN CABINETS TO CLEAR 15' FROM GRADE AND EDGE SHALL BE LOCATED NO CLOSER THAN 10' TO ANY OVERHEAD UTILITY LINES.

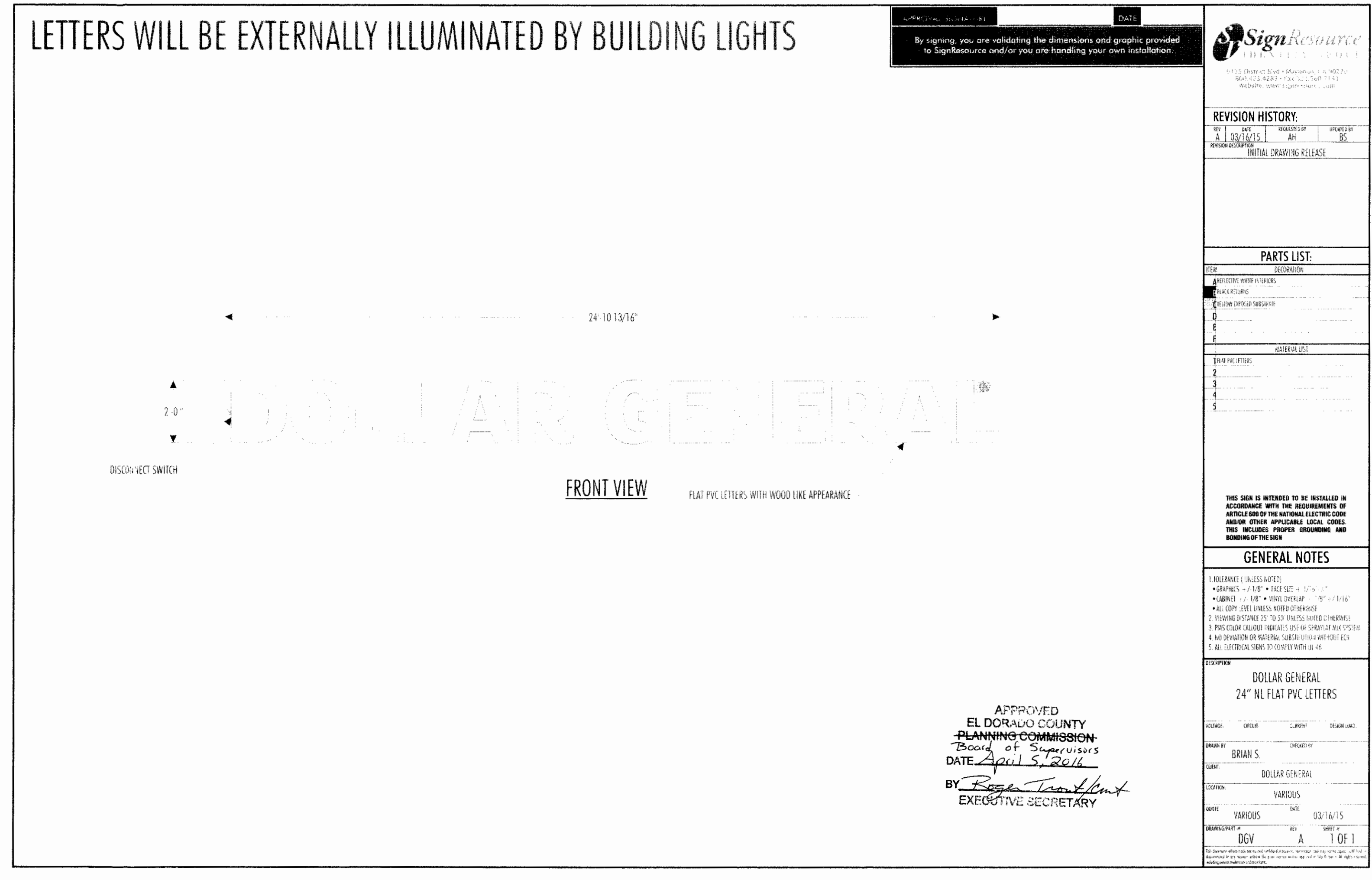
SIGN NOTE	
1.	ALL EXTERIOR BUILDING SIGN AND PYLON SIGNS SHOWN FOR REFERENCE ONLY. EXTERIOR SIGNS TO BE UNDER A SEPARATE PERMIT.
2.	FURNISHED AND INSTALLED BY DOLLAR GENERAL CORP. WITH CIRCUIT AS NOTED ON ELECTRICAL PLAN. SIGN TO BE CENTERED ON FRONT OF BUILDING. CONTRACTOR IS TO PROVIDE ADEQUATE BLOODING AS REQUIRED BY SIGN MANUFACTURER TO SUPPORT SIGN WEIGHT OF UP TO 1,400 LBS. EXTERIOR CANOPY SIGN SHALL BE SUPPORTED BY THE FACE OF THE CANOPY. COORDINATE THE PROPER SIGNAGE TO BE USED WITH DOLLAR GENERAL.

SITE PLAN INDEX	
1	PROPOSED LOCATION OF EXTERNALLY ILLUMINATED SIGN w/ DECORATIVE WOOD POST ON EACH SIDE AND w/ UNDERGROUND ELECTRICAL (UNDER SEPARATE PERMIT). REFER TO PROPOSED SIGN ATTACHED - SHOWN FOR REFERENCE ONLY.
2	WALL MOUNTED SIGNAGE (UNDER SEPARATE PERMIT). REFER TO PROPOSED SIGN ATTACHED - SHOWN FOR REFERENCE ONLY.
3	



AS INSTALLED

<b>REVISION HISTORY:</b> 1. 03/16/15 2. 03/16/15 3. 03/16/15 4. 03/16/15	
<b>PARTS LIST:</b> 1. SIGN 2. POSTS 3. LETTERS 4. ELECTRICAL	
<b>GENERAL NOTES:</b> 1. SIGNAGE TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 608 OF THE NATIONAL ELECTRIC CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN. 2. SIGNAGE TO BE CENTERED ON FRONT OF BUILDING. 3. CONTRACTOR TO PROVIDE ADEQUATE BLOODING AS REQUIRED BY SIGN MANUFACTURER TO SUPPORT SIGN WEIGHT OF UP TO 1,400 LBS. 4. CONTRACTOR TO PROVIDE ADEQUATE BLOODING AS REQUIRED BY SIGN MANUFACTURER TO SUPPORT SIGN WEIGHT OF UP TO 1,400 LBS. 5. CONTRACTOR TO PROVIDE ADEQUATE BLOODING AS REQUIRED BY SIGN MANUFACTURER TO SUPPORT SIGN WEIGHT OF UP TO 1,400 LBS.	
<b>DOLLAR GENERAL AS INSTALLED VIEW</b> 1. SIGNAGE TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 608 OF THE NATIONAL ELECTRIC CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN. 2. SIGNAGE TO BE CENTERED ON FRONT OF BUILDING. 3. CONTRACTOR TO PROVIDE ADEQUATE BLOODING AS REQUIRED BY SIGN MANUFACTURER TO SUPPORT SIGN WEIGHT OF UP TO 1,400 LBS. 4. CONTRACTOR TO PROVIDE ADEQUATE BLOODING AS REQUIRED BY SIGN MANUFACTURER TO SUPPORT SIGN WEIGHT OF UP TO 1,400 LBS. 5. CONTRACTOR TO PROVIDE ADEQUATE BLOODING AS REQUIRED BY SIGN MANUFACTURER TO SUPPORT SIGN WEIGHT OF UP TO 1,400 LBS.	



APPROVED  
EL DORADO COUNTY  
PLANNING COMMISSION  
Board of Supervisors  
DATE April 5, 2016  
BY *Bryan S. [Signature]*  
EXECUTIVE SECRETARY

<b>REVISION HISTORY:</b> 1. 03/16/15 2. 03/16/15 3. 03/16/15 4. 03/16/15	
<b>PARTS LIST:</b> 1. SIGN 2. POSTS 3. LETTERS 4. ELECTRICAL	
<b>GENERAL NOTES:</b> 1. SIGNAGE TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 608 OF THE NATIONAL ELECTRIC CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN. 2. SIGNAGE TO BE CENTERED ON FRONT OF BUILDING. 3. CONTRACTOR TO PROVIDE ADEQUATE BLOODING AS REQUIRED BY SIGN MANUFACTURER TO SUPPORT SIGN WEIGHT OF UP TO 1,400 LBS. 4. CONTRACTOR TO PROVIDE ADEQUATE BLOODING AS REQUIRED BY SIGN MANUFACTURER TO SUPPORT SIGN WEIGHT OF UP TO 1,400 LBS. 5. CONTRACTOR TO PROVIDE ADEQUATE BLOODING AS REQUIRED BY SIGN MANUFACTURER TO SUPPORT SIGN WEIGHT OF UP TO 1,400 LBS.	
<b>DOLLAR GENERAL 24" x 10' FLAT PVC LETTERS</b> 1. SIGNAGE TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 608 OF THE NATIONAL ELECTRIC CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN. 2. SIGNAGE TO BE CENTERED ON FRONT OF BUILDING. 3. CONTRACTOR TO PROVIDE ADEQUATE BLOODING AS REQUIRED BY SIGN MANUFACTURER TO SUPPORT SIGN WEIGHT OF UP TO 1,400 LBS. 4. CONTRACTOR TO PROVIDE ADEQUATE BLOODING AS REQUIRED BY SIGN MANUFACTURER TO SUPPORT SIGN WEIGHT OF UP TO 1,400 LBS. 5. CONTRACTOR TO PROVIDE ADEQUATE BLOODING AS REQUIRED BY SIGN MANUFACTURER TO SUPPORT SIGN WEIGHT OF UP TO 1,400 LBS.	

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(480) 588-4150 fax

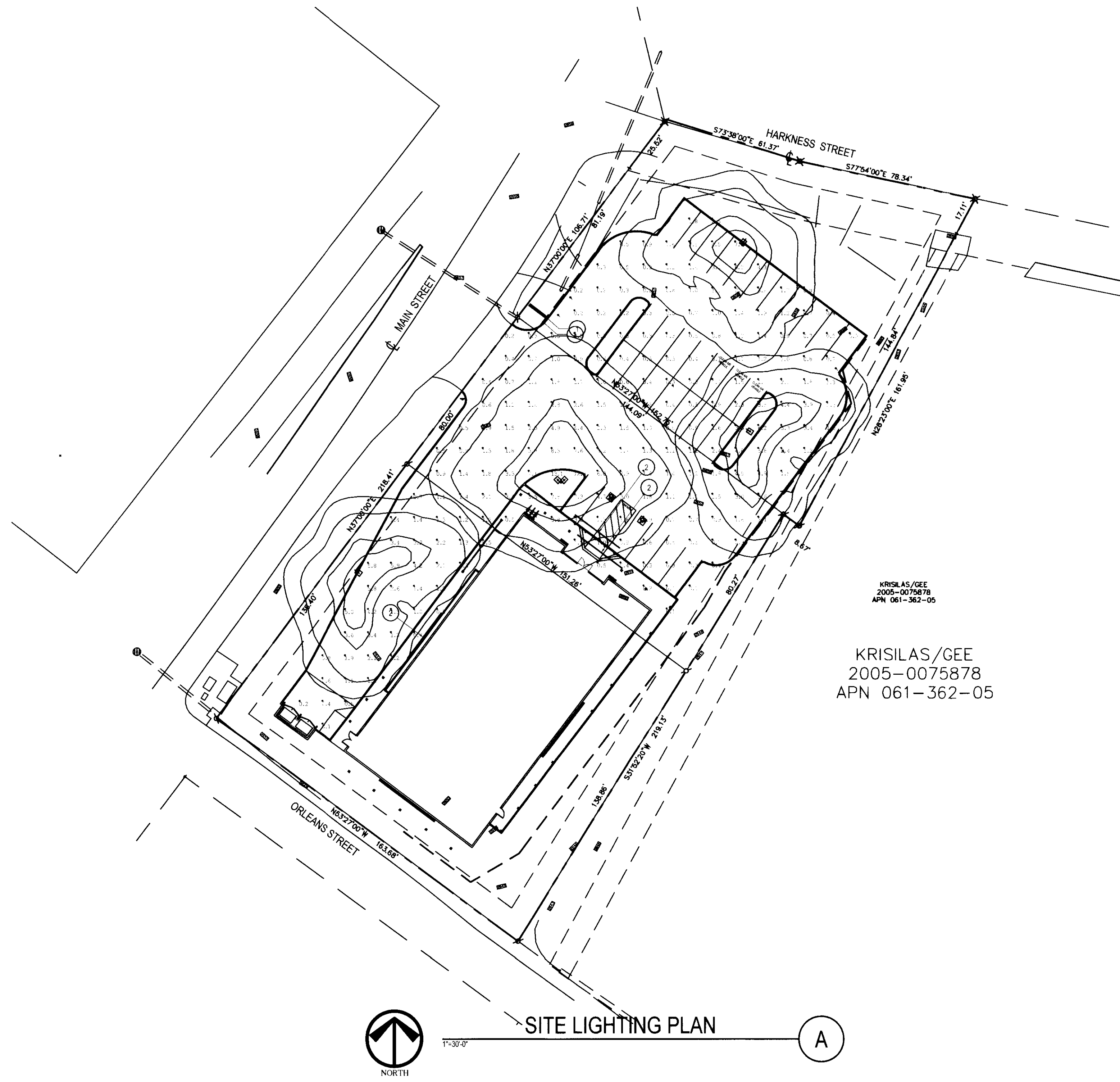
PROJECT  
**DOLLAR GENERAL**  
SEC MAIN ST. & HARKNESS ST.  
GEORGETOWN, CA 95634

REVISIONS		
NO.	DESCRIPTION	DATE
1	15' x 10' 13/16" SIGNAGE DEPARTMENT	4/11/16

SHEET TITLE  
**SIGNAGE PLAN**

DATE	02-04-16	SCALE	AS NOTED
DRAWN BY	L DALE	CHECKED BY	SH DWG
CHECKED BY		PROJECT NUMBER	
DATE	03/16/15	SHEET NUMBER	A.1.1

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Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
☐	1	wp914-250p	SINGLE	22000	0.720	WP9L4/250EMH-ED28
☐	2	wp913-250p	SINGLE	22000	0.720	WP9L3/250EMH-ED28
☐	1	wp914-250p (2890)	2 @ 90 DEGREES	22000	0.720	WP9L4/250EMH-ED28

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Object Planar	Illuminance	Ft	1.87	13.1	0.1	18.70	131.00

- NOTES:
- POLE FIXTURE MOUNTING HEIGHT: 15'-0" A.F.F.
  - CALC PTS @ GROUND: 0'-0" A.F.F.

Calculations have been performed according to information provided regarding room dimensions, reflectances, furniture and architectural element placement. Some differences between measured values and calculated results may occur if the real environment conditions do not match the input data.

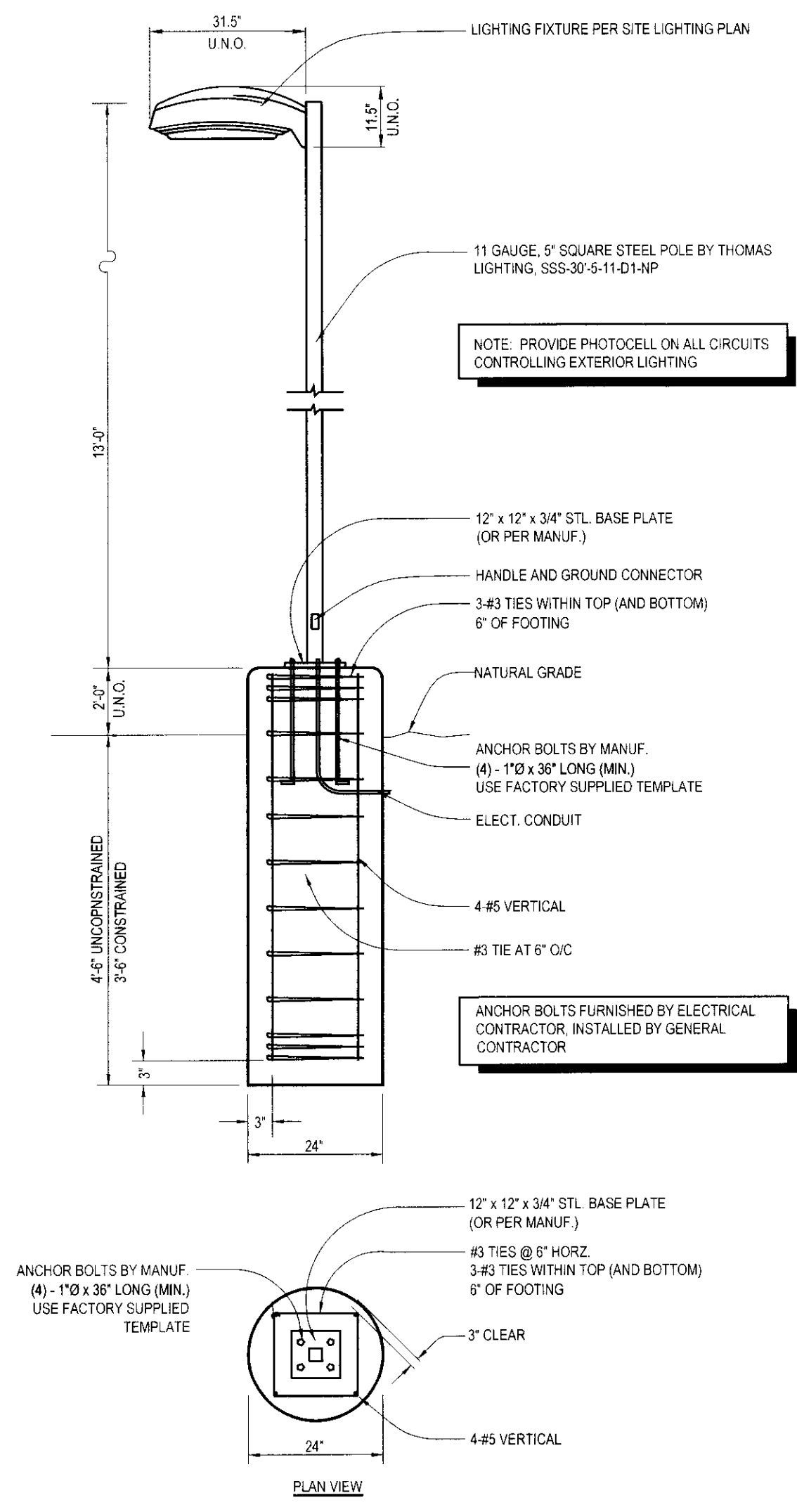
Photometric Data used as input for these calculations is based on established IES procedures and published lamp & ballast ratings.

Field Performance will depend on actual lamp, ballast, electrical and site characteristics.

For design reference only - All calculations should be reviewed for accuracy by a certified electrical engineer.

**NOTE**  
LIGHTING FIXTURE SPECIFICATIONS SHOWN ON SITE LIGHTING PLAN SUPERSEDE INFORMATION SHOWN ON THIS DETAIL. REFER TO 'E' SHEETS

**NOTE**  
SEE SITE PLAN FOR MOUNTING ARRANGEMENT (SINGLE OR 180 DEG OR 90 DEGREE QUAD). WHEN ARRANGEMENT NOT SPECIFIED, ASSUME SINGLE MOUNT (SINGLE MOUNT SPECIFIED BELOW)



APPROVED  
EL DORADO COUNTY  
PLANNING COMMISSION  
Board of Supervisors  
DATE: April 15, 2016  
BY: *Roger T. ...*  
EXECUTIVE SECRETARY

**MPA ARCHITECTS INC.**

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San Diego, CA 92104  
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MEMBER  
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SCOTTSDALE, AZ 85250  
Contact: Joshua Simon  
joshua@simoncre.com  
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(480) 588-4150 fax

PROJECT  
**DOLLAR GENERAL**  
A PROPOSED COMMERCIAL DEVELOPMENT FOR:  
SEC MAIN ST. & HARKNESS ST.  
GEORGETOWN, CA 95634

REVISIONS		
NO.	DESCRIPTION	DATE

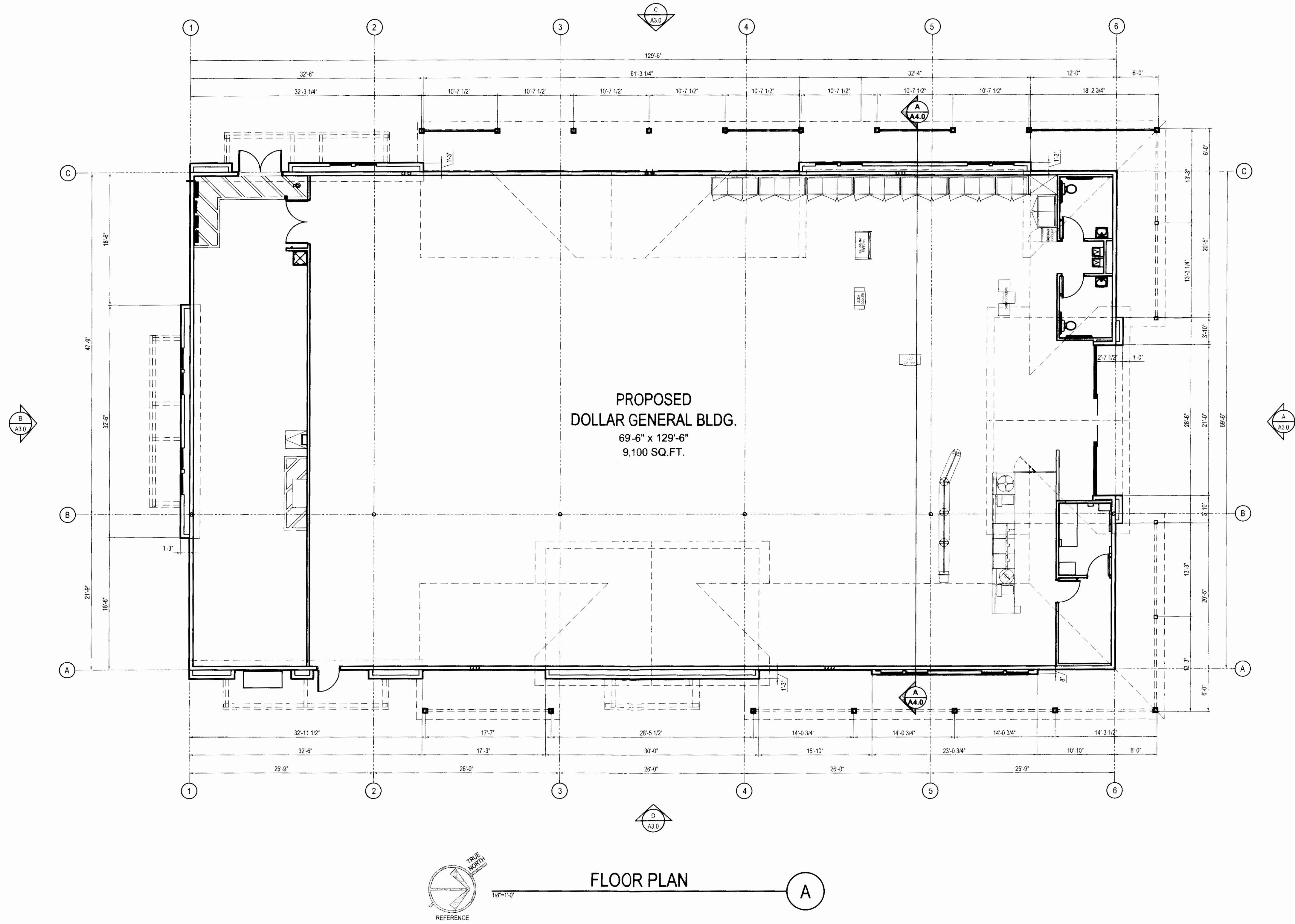
SHEET TITLE  
**SITE LIGHTING PLAN**

DATE	02-04-16	SCALE	AS NOTED
DRAWN BY	L. DALE	CHECKED BY	LGT.DWG
CHECKED BY		SHEET NUMBER	14381
PROJECT NO.	14381		<b>A1.2</b>

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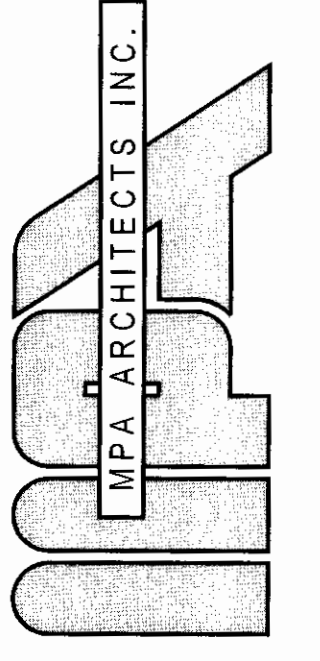


Exhibit F-4



APPROVED  
 EL DORADO COUNTY  
 PLANNING COMMISSION  
 Board of Supervisors  
 DATE: April 6, 2016  
 BY: *Roger J. Hunt*  
 EXECUTIVE SECRETARY

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 F: 619.236.0557  
 www.mpa-architects.com

MEMBER  
 AMERICAN INSTITUTE OF ARCHITECTS  
 CLIENT  
**Simon CRE**  
 5111 N. SCOTTSDALE ROAD  
 SUITE 200  
 SCOTTSDALE, AZ 85250  
 Contact: Joshua Simon  
 joshua@simoncre.com  
 (480) 745-1956 office  
 (480) 588-4150 fax

PROJECT  
 A PROPOSED COMMERCIAL DEVELOPMENT FOR:  
**DOLLAR GENERAL®**  
 SEC MAIN ST. & HARKNESS ST.  
 GEORGETOWN, CA 95634

REVISIONS

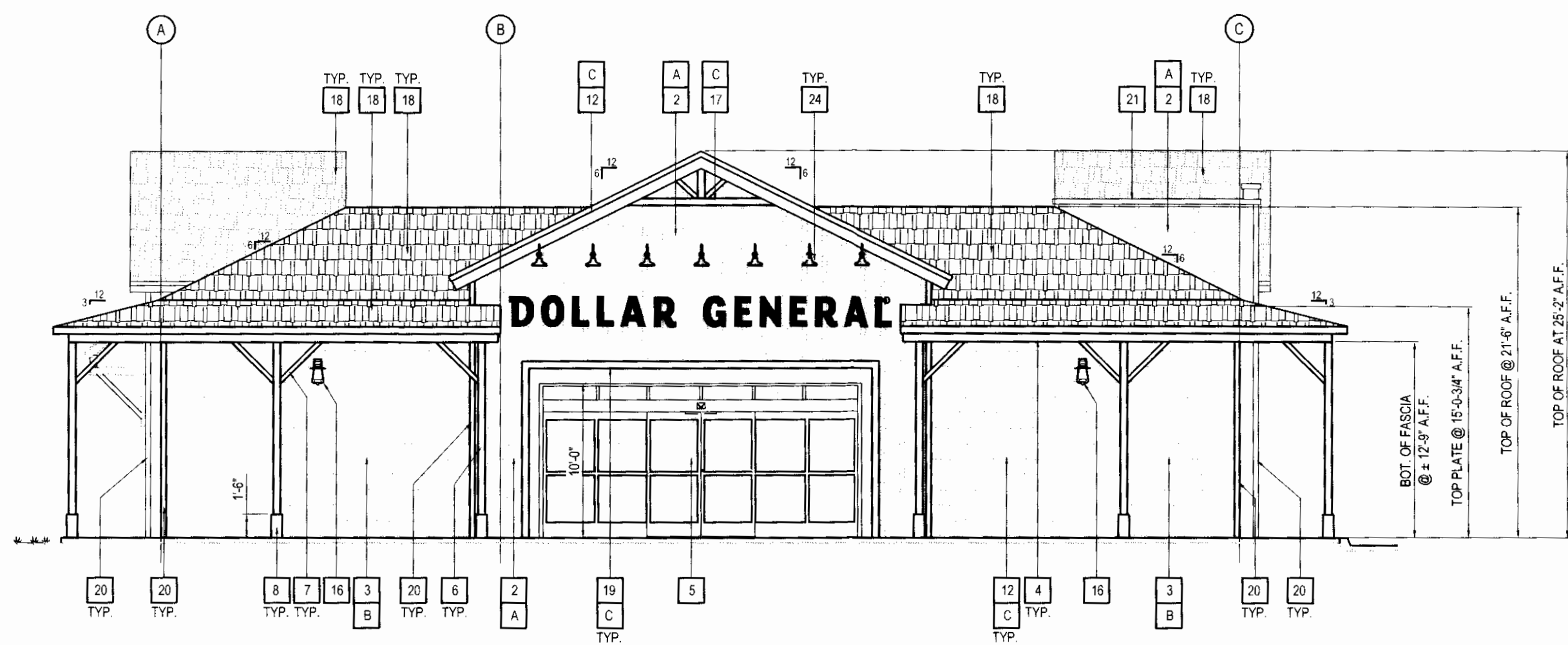
NO.	DESCRIPTION	DATE

SHEET TITLE  
**FLOOR PLAN**

DATE	02-04-16	SCALE	AS NOTED
DRAWN BY	L. DALE	CHECKED BY	FL1 DWG
PROJECT NO.	14381	SHEET NUMBER	A2.0

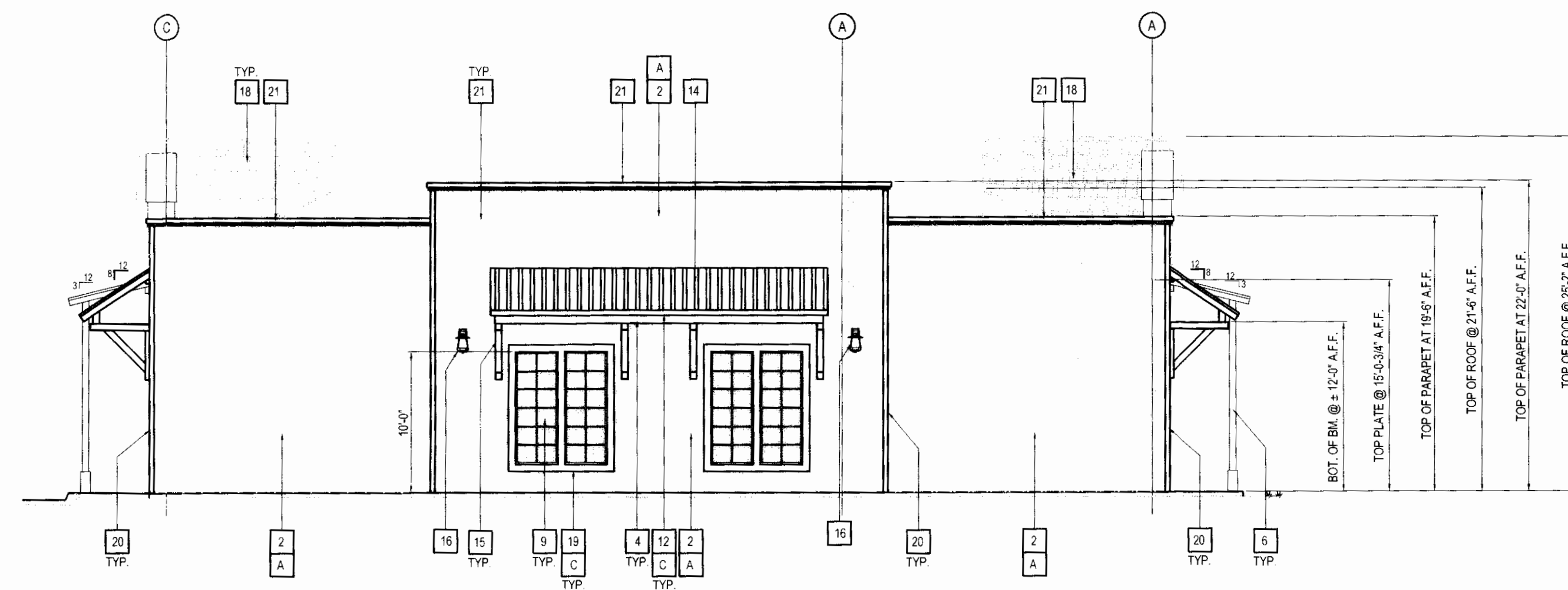
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NORTH ELEVATION

A



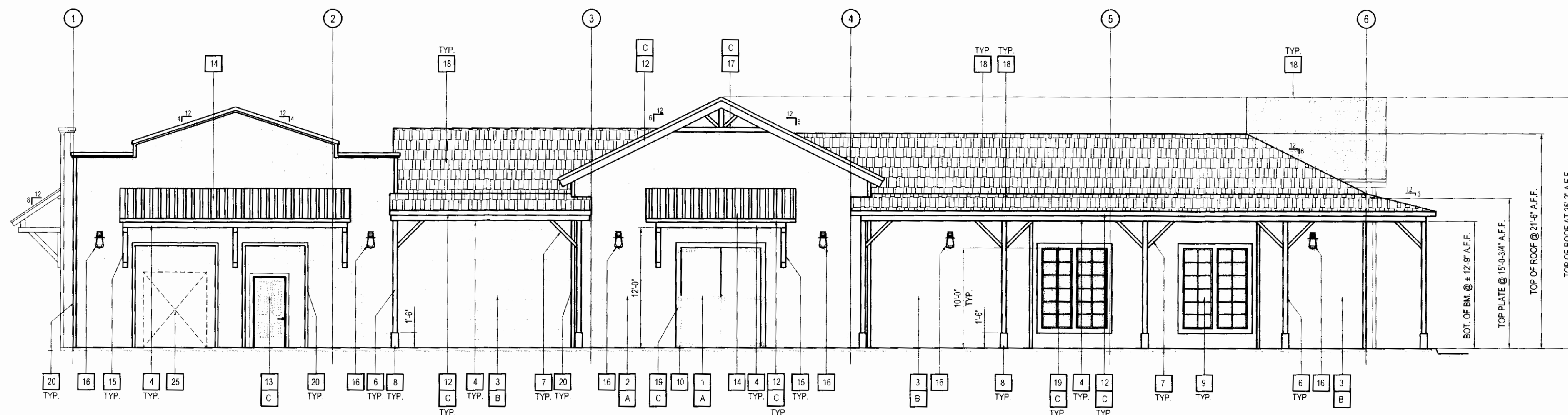
SOUTH ELEVATION

B



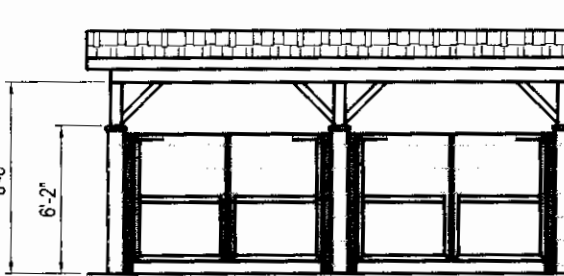
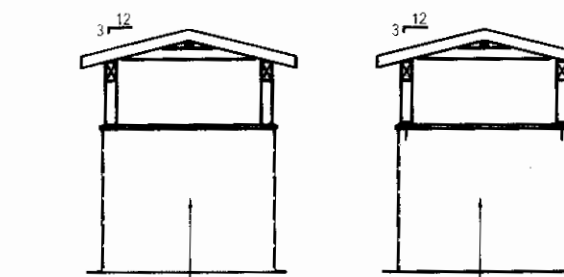
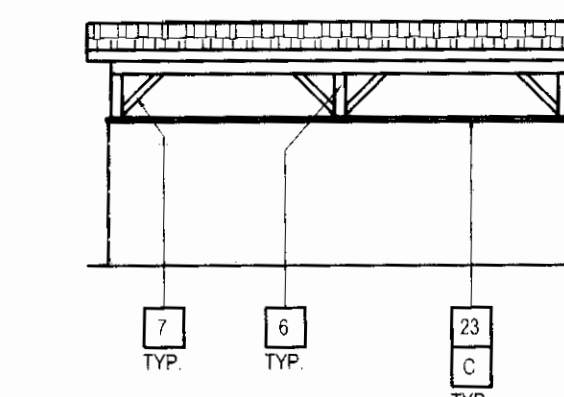
WEST ELEVATION

C



EAST ELEVATION

D



TRASH ENCLOSURE ELEVATION

E

IMPORTANT NOTE:  
ALL EXTERIOR BUILDING SIGNAGE TO BE PROVIDED  
AND APPROVED UNDER SEPARATE PERMIT.

EXTERIOR FINISH SCHEDULE	
1	1x WOOD PLANK FINISH FOR FALSE BARN DOORS COLOR: PER PLAN
2	VERTICAL BOARD-AND-BATTEN WOOD SIDING (15" REVEAL) COLOR: PER PLAN
3	HORIZONTAL SHIPLAP WOOD BOARD (12" REVEAL) COLOR: PER PLAN
4	HORIZONTAL WOOD BEAM COLOR: DUNN EDWARDS # DEW351 - ANTIQUE WHITE
5	ALUMINUM STOREFRONT WINDOW SYSTEM GLASS COLOR & STYLE: TINTED (PER 1-24) FRAME COLOR: DARK BRONZE
6	6x6 WOOD POST COLOR: DUNN EDWARDS # DEW351 - ANTIQUE WHITE
7	WOOD KNEE BRACE COLOR: DUNN EDWARDS # DEW351 - ANTIQUE WHITE
8	1x WOOD BASE - 18" HIGH (I.N.O.) COLOR: DUNN EDWARDS # DEW351 - ANTIQUE WHITE
9	DIVIDED LIGHT WINDOW w/ CLEAR GLASS FRAME COLOR: DUNN EDWARDS # DEW351 - ANTIQUE WHITE SASH COLOR: DUNN EDWARDS # DE 6221 - OUTER BOUNDARY
10	ALL HARDWARE FOR FALSE BARN DOORS TO BE: POWDER COATED FLAT BLACK
11	WOOD RAILING COLOR: DUNN EDWARDS # DEW351 - ANTIQUE WHITE
12	EXTERIOR WOOD FASCIA COLOR: DUNN EDWARDS # DEW351 - ANTIQUE WHITE
13	METAL DOOR COLOR: PER PLAN
14	CORRUGATED METAL ROOF COLOR: NATURAL GALV. METAL (NO PAINT)
15	STRUCTURAL WOOD BRACE COLOR: DUNN EDWARDS # DEW351 - ANTIQUE WHITE
16	EXTERIOR LANTERN STYLE LIGHTING FIXTURE (REFER TO ELECTRICAL PLANS)
17	DECORATIVE GABLE ROOF WOOD ELEMENT COLOR: DUNN EDWARDS # DEW351 - ANTIQUE WHITE
18	COMPOSITION SHINGLES, BY OWENS CORNING (OR EQUAL) STYLE: TRUDEFINITION DURATION COLOR: SAND DIVINE
19	2x WOOD TRIM COLOR: PER PLAN
20	4" WIDE WOOD TRIM COLOR: FINISH TO MATCH ADJACENT SURFACE
21	PARAPET METAL COPING / FLASHING, COLOR: DUNN EDWARDS # DEW351 - ANTIQUE WHITE
22	PRECAST CONC. CAP, COLOR TO MATCH CONC. BLOCKS
23	8x8x16 SPLIFFACE CONCRETE BLOCKS, BY "ROP BLOCK & BRICK" (OR EQUAL), COLOR: LA PAZ
24	EXTERIOR GOOSE NECK STYLE LIGHTING FIXTURE (REFER TO ELECTRICAL PLANS)
25	LOCATION OF ELECTRICAL SWITCH GEAR FOR BUILDING (REFER TO ELECTRICAL PLANS)

PAINT COLORS:	
A	DUNN EDWARDS # CLEAR SEAL (FLAT FINISH)
B	DUNN EDWARDS # DE 6221 - FLINTSTONE
C	DUNN EDWARDS # DEW351 - ANTIQUE WHITE

**MPA ARCHITECTS, INC.**

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CLIENT  
**Simon CRE**  
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Contact: Joshua Simon  
joshua@simoncre.com  
(480) 745-1956 office  
(480) 588-4150 fax

PROJECT

A PROPOSED COMMERCIAL DEVELOPMENT FOR:

**DOLLAR GENERAL**

SEC MAIN ST. & HARKNESS ST.  
GEORGETOWN, CA 95634

REVISIONS		
NO	DESCRIPTION	DATE

APPROVED FOR SUBMITTAL  
DATE: 02/11/16  
BY: [Signature]  
80-11144 P2-P3-191

EL DORADO COUNTY  
PLANNING COMMISSION  
Board of Supervisors  
DATE: April 15, 2016  
BY: [Signature]  
EXECUTIVE SECRETARY

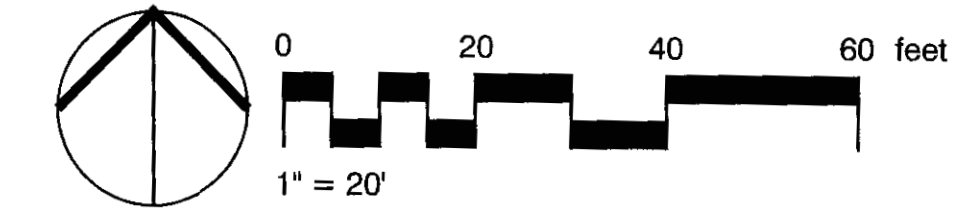
SHEET TITLE  
**EXTERIOR ELEVATIONS**

DATE: 02-04-16 SCALE: AS NOTED  
DRAWN BY: L. DALE CHECKED BY: ELI DWG  
CREATED BY: SHEET NUMBER:  
PROJECT NO: 14381

**A3.0**



Exhibit G

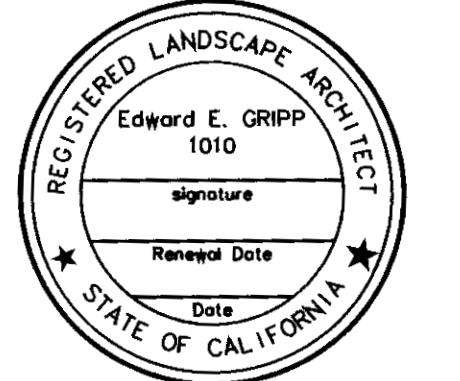
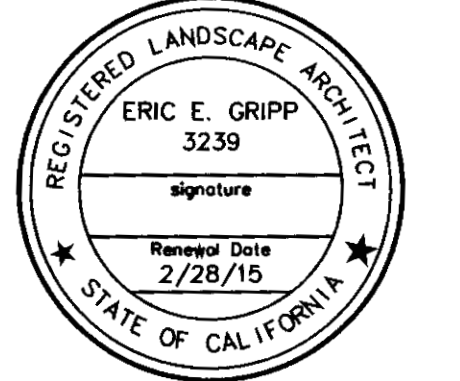


**E.G.L.A.**  
 Edward Gripp Eric Gripp  
 LANDSCAPE ARCHITECTURE  
 CALIFORNIA REGISTERED LANDSCAPE ARCHITECT #1010, #3239  
 NEVADA REGISTERED LANDSCAPE ARCHITECT #405  
 1449 Doral Circle 340 La Purisma Way  
 Thousand Oaks, CA 91362 Oceanside, CA 92057  
 P: 805-379-1775 P: 760-529-0241  
 F: 805-778-1793 F: 760-529-0241  
 E: egripp@oodrunner.com E: egripp@eglabai.net

REVISIONS


Contractor shall verify and be responsible for all dimensions and conditions on the job, and shall notify the office of Eric E. Gripp, Landscape Architecture of any errors, discrepancies or variations from the information shown by these drawings. Written dimensions shall have precedence over scaled dimensions. Shop drawings shall be submitted to this office for approval before proceeding with any fabrication.

All design, ideas and information shown on these drawings and specifications shall remain the property of Eric E. Gripp, Landscape Architecture. No part thereof shall be copied, disclosed to others or used in connection with any work or project other than the specific project for which the have been prepared and developed without the written consent of Eric E. Gripp, Landscape Architecture. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions.



**PRELIMINARY  
NOT FOR CONSTRUCTION**

CLIENT AND PROJECT  
 A PROPOSED COMMERCIAL DEVELOPMENT FOR:

**DOLLAR GENERAL**

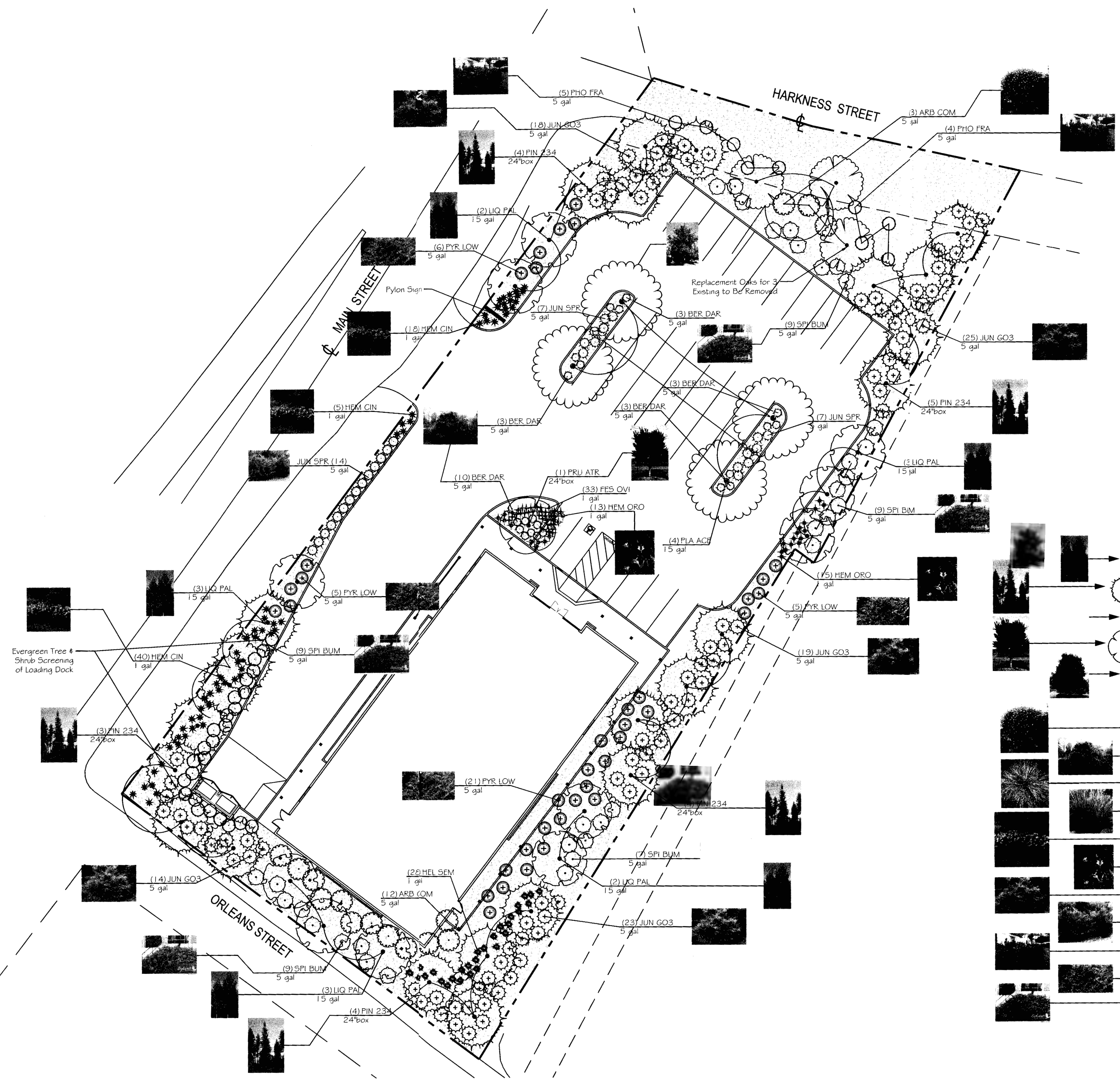
sec MAIN ST. & HARKNESS ST.  
 GEORGETOWN, CA 95634

SHEET DESCRIPTION  
**Conceptual Landscape Plan**

DATE: 02/11/14  
 SCALE: 1" = 20'  
 DRAWN BY: Eric Gripp  
 SHEET NUMBER

**PRL-1  
of 1**

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 DEVELOPMENT SERVICES DEPT



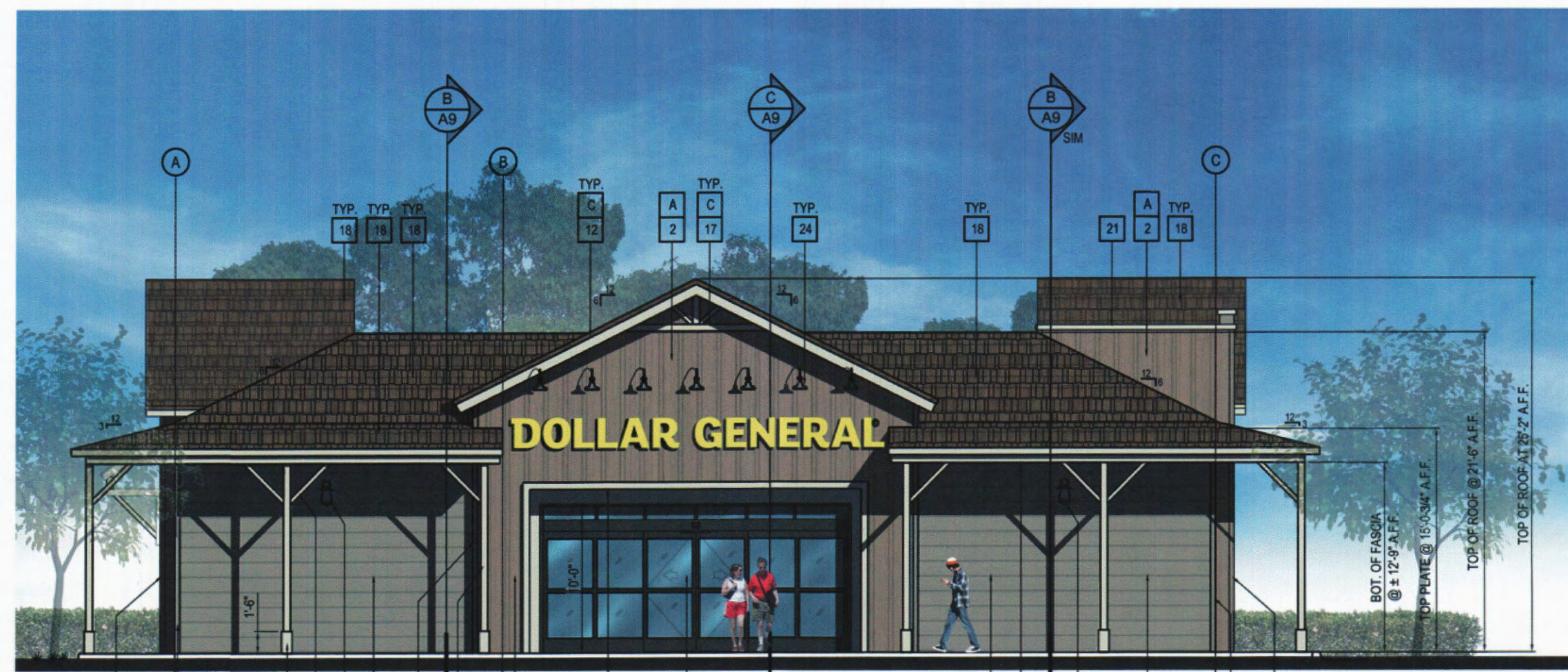
**PLANT SCHEDULE**

TREES	BOTANICAL NAME / COMMON NAME	CONT	QTY	
	Liquidambar styraciflua 'Palo Alto' TM / Palo Alto Sweet Gum WUCOLS REG. 2 - M	15 gal	11	
	Pinus monticola / Western White Pine WUCOLS REG. 2 - L	24"box	24	
	Platanus x acerifolia / London Plane Tree WUCOLS REG. 2 - M	15 gal	4	
	Prunus cerasifera 'Atropurpurea' / Purple-leaf Plum WUCOLS REG. 2 - M	24"box	1	
	Quercus chrysolepis / Canyon Live Oak Replacements for 3 Existing to be Removed	24"box	3	
SHRUBS	BOTANICAL NAME / COMMON NAME	CONT	QTY	
	Arbutus unedo 'Compacta' / Dwarf Strawberry Tree WUCOLS REG. 2 - L	5 gal	15	
	Berberis darwinii / Darwin Barberry WUCOLS REG. 2 - L	5 gal	22	
	Festuca ovina glauca 'Elijah Blue' / Blue Fescue WUCOLS REG. 2 - L	1 gal	33	
	Helictotrichon sempervirens / Blue Oat Grass WUCOLS REG. 2 - L	1 gal	28	
	Hemerocallis x 'Cinders' / Deep Red Daylily WUCOLS REG. 2 - M	1 gal	62	
	Hemerocallis x 'Stella de Oro' / Stella de Oro Daylily WUCOLS REG. 2 - M	1 gal	28	
	Juniperus chinensis 'Gold Star' TM / Gold Star Juniper WUCOLS REG. 2 - L	5 gal	99	
	Juniperus chinensis 'Sea Spray' / Sea Spoy Juniper WUCOLS REG. 2 - L	5 gal	28	
	Photinia x fraseri / Photinia WUCOLS REG. 2 - M	5 gal	34	
	Pyracantha coccinea 'Lowboy' / Lowboy Pyracantha WUCOLS REG. 2 - L	5 gal	37	
	Spiraea x bumalda / Bumald Spiraea WUCOLS REG. 2 - M	5 gal	34	
GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
	Forest Bark Mulch / Bark 2" Depth	None		19,381 sf

IRRIGATION REGIME  
 FULLY AUTOMATIC, WATER EFFICIENT DRIP IRRIGATION SYSTEM WILL BE INSTALLED FOR THE ENTIRE PROJECT  
 THE IRRIGATION CONTROLLER FEATURES WILL INCLUDE:  
 ET BASED SELF ADJUSTING STATION RUN TIME  
 MULTIPLE PROGRAM CAPABILITIES  
 MULTIPLE REPEAT CYCLE CAPABILITIES  
 FLEXIBLE CALENDAR PROGRAM

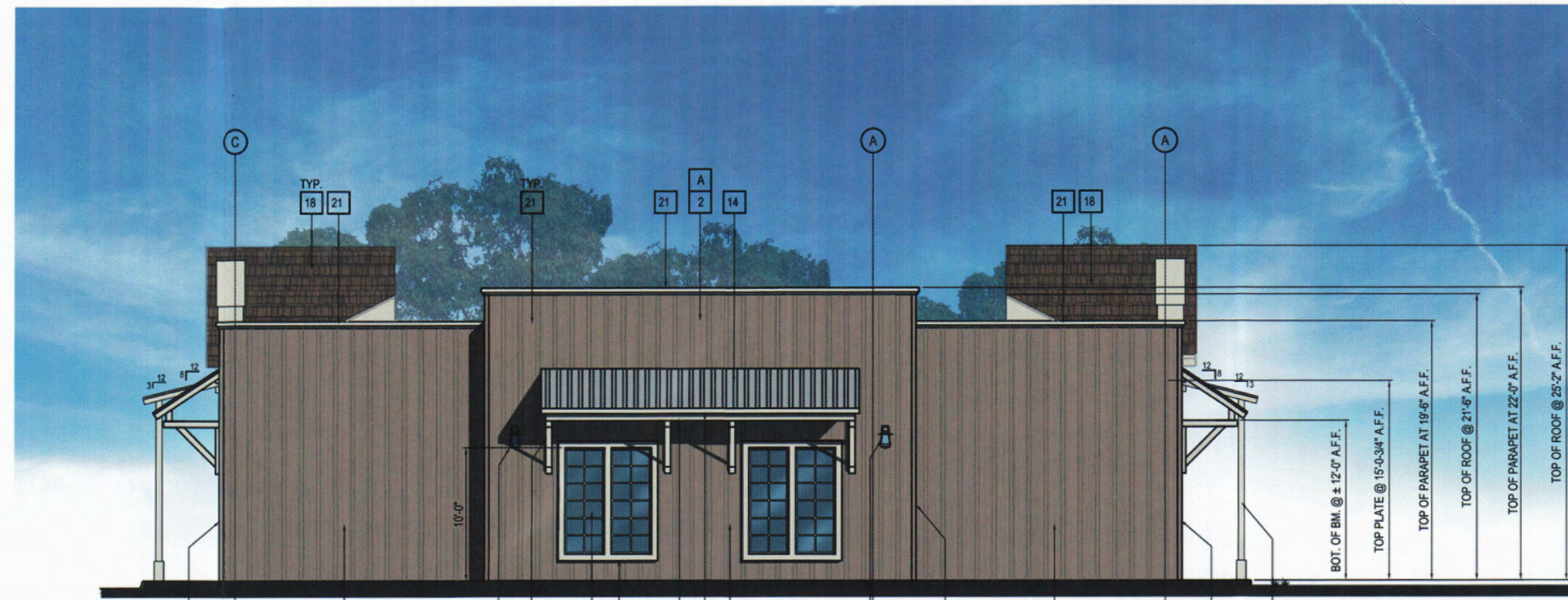
APPROVED  
 EL DORADO COUNTY  
 PLANNING COMMISSION  
 Board of Supervisors  
 DATE: April 15, 2016  
 BY: *[Signature]*  
 EXECUTIVE SECRETARY





NORTH ELEVATION

(A)



SOUTH ELEVATION

(B)



WEST ELEVATION

(C)



EAST ELEVATION

(D)

IMPORTANT NOTE:  
ALL EXTERIOR BUILDING SIGNAGE TO BE PROVIDED  
AND APPROVED UNDER SEPARATE PERMIT.

**EXTERIOR FINISH SCHEDULE**

- 1x WOOD PLANK FINISH FOR FALSE BARN DOORS  
COLOR: PER PLAN
- VERTICAL BOARD-AND-BATTEN WOOD SIDING (1 1/2" REVEAL)  
COLOR: PER PLAN
- HORIZONTAL SHIPLAP WOOD BOARD (1 1/2" REVEAL)  
COLOR: PER PLAN
- HORIZONTAL WOOD BEAM  
COLOR: DUNN EDWARDS # DEW351 - ANTIQUE WHITE
- ALUMINUM STOREFRONT WINDOW SYSTEM  
GLASS COLOR & STYLE: TINTED (PER T-2)  
FRAME COLOR: DARK BRONZE
- 6x6 WOOD POST  
COLOR: DUNN EDWARDS # DEW351 - ANTIQUE WHITE
- WOOD KNEE BRACE  
COLOR: DUNN EDWARDS # DEW351 - ANTIQUE WHITE
- 1x WOOD BASE - 1 1/2" HIGH (UN.O.)  
COLOR: DUNN EDWARDS # DEW351 - ANTIQUE WHITE
- DIVIDED LIGHT WINDOW w/ CLEAR GLASS  
FRAME COLOR: DUNN EDWARDS # DEW351 - ANTIQUE WHITE  
SASH COLOR: DUNN EDWARDS # DE 6021 - OUTER BOUNDARY
- ALL HARDWARE FOR FALSE BARN DOORS TO BE POWDER COATED FLAT BLACK
- WOOD RAILING  
COLOR: DUNN EDWARDS # DEW351 - ANTIQUE WHITE
- EXTERIOR WOOD FASCIA  
COLOR: DUNN EDWARDS # DEW351 - ANTIQUE WHITE
- METAL DOOR  
COLOR: PER PLAN
- CORRUGATED METAL ROOF  
COLOR: NATURAL GALV. METAL (NO PAINT)
- STRUCTURAL WOOD BRACE  
COLOR: DUNN EDWARDS # DEW351 - ANTIQUE WHITE
- EXTERIOR LANTERN STYLE LIGHTING FIXTURE  
(REFER TO ELECTRICAL PLANS)
- DECORATIVE GABLE ROOF WOOD ELEMENT  
COLOR: DUNN EDWARDS # DEW351 - ANTIQUE WHITE
- COMPOSITION SHINGLES, BY OWENS CORNING (OR EQUAL)  
STYLE: TRUDEFINITION DURATION  
COLOR: SAND DIVINE
- 2x WOOD TRIM  
COLOR: PER PLAN
- 4" WIDE WOOD TRIM  
COLOR: FINISH TO MATCH ADJACENT SURFACE
- PARAPET METAL COPING / FLASHING, COLOR: DUNN EDWARDS # DEW351 - ANTIQUE WHITE
- PRECAST CONC. CAP, COLOR TO MATCH CONC. BLOCKS
- 8x8x16 SPLITFACE CONCRETE BLOCKS, BY "RCP BLOCK & BRICK" (OR EQUAL), COLOR: LA PAZ
- EXTERIOR GOOSE NECK STYLE LIGHTING FIXTURE  
(REFER TO ELECTRICAL PLANS)
- LOCATION OF ELECTRICAL SWITCH GEAR FOR BUILDING  
(REFER TO ELECTRICAL PLANS)

**PAINT COLORS:**

A	DUNN EDWARDS #	CLEAR SEAL (FLAT FINISH)
B	DUNN EDWARDS #	DE 6221 - FLINTSTONE
C	DUNN EDWARDS #	DEW351 - ANTIQUE WHITE

**MPA ARCHITECTS, INC.**

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San Diego, CA 92104  
V. 619.236.0595  
F. 619.236.0557  
www.mpa-architects.com

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CLIENT

Simon CRE Abbie, LLC  
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Contact: Jared Atkisson  
DIRECTOR OF CONSTRUCTION  
jared.atkisson@simoncre.com  
(480) 745-7862 office  
(480) 588-4150 fax

PROJECT

**DOLLAR GENERAL**

A PROPOSED COMMERCIAL DEVELOPMENT FOR:

SEC MAIN ST. & HARKNESS ST.  
GEORGETOWN, CA 95634

REVISIONS

NO.	DESCRIPTION	DATE
16	RECEIVED PLANNING DEPARTMENT	16 FEB 23 PM 12: 01

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PLANNING DEPARTMENT  
16 FEB 23 PM 12: 01

LICENSED ARCHITECT  
TERRY RUMBLE  
No. 26819  
Exp. 3-31-2017  
STATE OF CALIFORNIA

SHEET TITLE

DATE: 02-04-2016 SCALE: AS NOTED  
DRAWN BY: KRM  
CHECKED BY:  
PROJECT NO: 14381



Exhibit I-1

F:\B\CAD\TTG Projects\2014\0614023.00 - DG Georgetown\Improvement Plans\0614023.00-C1.dwg plotted 6/3/2015 10:59 AM saved 6/3/2015 10:02:43 AM

ENGINEER NOTES

- 1. THESE PLANS ARE SUBJECT TO THE INTERPRETATION OF INTENT BY THE ENGINEER. ALL QUESTIONS REGARDING THESE PLANS SHALL BE PRESENTED TO THE ENGINEER. ANYONE WHO TAKES IT UPON THEMSELV THE INTERPRETATION OF THE DRAWINGS OR MAKES REVISIONS TO THE SAME WITHOUT CONFERRING WITH THE ENGINEER OF RECORD SHALL BE RESPONSIBLE FOR THE CONSEQUENCES THEREOF.
2. THE ESTIMATED QUANTITIES SHOWN ARE FOR INFORMATION PURPOSES ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETENESS AND ACCURACY OF A DETAILED ESTIMATE BASED ON THESE PLANS, CURRENT CODES, AND SITE VISITATION.
3. ALL EARTHWORK CONSTRUCTION SHALL CONFORM TO THE LOCAL JURISDICTION OR GOVERNMENT STANDARD DETAILS AND/OR SPECIFICATIONS INCLUDING ANY SUPPLEMENTS THERETO, AND ALL ADDENDA. THE CONTRACTOR IS TO FOLLOW THE RECOMMENDATION OF THE GEOTECHNICAL ENGINEERING INVESTIGATION, AS PREPARED BY EAS PROFESSIONALS, PHONE: 559-271-9700, PROJECT NO. EAS-14-406 DATED 10.10.2014.
4. PRIOR TO BIDDING THE WORK, THE CONTRACTOR SHALL THOROUGHLY SATISFY HIMSELF AS TO THE ACTUAL CONDITIONS, REQUIREMENTS OF THE WORK AND EXCESS OR DEFICIENCY IN QUANTITIES. NO CLAIMS SHALL BE MADE AGAINST THE OWNER/DEVELOPER OR ENGINEER FOR ANY EXCESS OR DEFICIENCY THEREIN, ACTUAL OR RELATIVE.
5. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR SAFETY PRECAUTIONS OR PROGRAMS UTILIZED IN CONNECTION WITH THE WORK, AND WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
6. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF UTILITIES, POWER POLES, ETC.
7. THE CONTRACTOR SHALL MAKE NO CLAIM AGAINST THE OWNER OR THE SURVEYOR REGARDING ALLEGED INACCURACY OF CONSTRUCTION STAKES SET BY THE SURVEYOR UNLESS ALL SURVEY STAKES SET BY THE ENGINEER ARE MAINTAINED INTACT AND CAN BE VERIFIED AS TO THEIR ORIGIN. IF, IN THE OPINION OF THE SURVEYOR, THE STAKES ARE NOT MAINTAINED INTACT AND CANNOT BE VERIFIED AS TO THEIR ORIGIN, ANY REMEDIAL WORK REQUIRED TO CORRECT ANY ITEM OF IMPROPER CONSTRUCTION WORK SHALL BE PERFORMED AT THE SOLE EXPENSE OF THE RESPONSIBLE CONTRACTOR OR SUBCONTRACTOR.
8. THE SURVEYOR WILL MAKE FIELD AS-BUILT MEASUREMENTS OF THE WORK UPON NOTIFICATION BY THE CLIENT OR HIS REPRESENTATIVE THAT THE WORK IS COMPLETE AND READY FOR AS-BUILT SURVEY. FOR PIPE WORK, THE CONTRACTOR IS RESPONSIBLE FOR LEAVING TRENCHES OPEN SO THAT AS-BUILTS CAN BE PERFORMED TO COMPLY WITH THE LOCAL JURISDICTION REQUIREMENTS. IF THE TRENCHES ARE BACKFILLED AND OBSCURED TO THE POINT THAT AS-BUILT MEASUREMENTS CANNOT BE PERFORMED, IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO POTHOLE UTILITY TRENCHES AS NECESSARY TO COMPLETE AN AS-BUILT SURVEY.
9. THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF TIE-IN AND MATCHING, PRIOR TO COMMENCEMENT OF GRADING, PAVING, CURB AND GUTTER OR OTHER SURFACE CONSTRUCTION. SHOULD EXISTING LOCATIONS, ELEVATIONS, CONDITION, OR PAVEMENT CROSS-SLOPE DIFFER FROM THAT SHOWN ON THESE PLANS, RESULTING IN THE DESIGN INTENT REFLECTED ON THE PLANS NOT ABLE TO BE CONSTRUCTED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AGENT IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.
10. EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN LOCATED ACCORDING TO INFORMATION PROVIDED BY THE AGENCY OPERATING EACH UTILITY. LOCATIONS SHOWN ARE APPROXIMATE ONLY, AND ARE NOT RELIABLE FOR CONSTRUCTION PURPOSES. CALL 811 FOR FIELD LOCATION. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITIES ON THE SITE. ANY DAMAGE TO EXISTING UTILITIES, WHETHER SHOWN OR NOT ON THE DRAWING, SHALL BE REPAIRED/REPLACED AT THE CONTRACTOR'S EXPENSE. EXISTING SURFACE FEATURES AND FENCING SHALL BE REPLACED IN KIND.
11. THE ENGINEER AND APPLICABLE AGENCY MUST APPROVE, PRIOR TO CONSTRUCTION, ANY ALTERATION, OR VARIANCE FROM THESE PLANS. ANY VARIATIONS FROM THESE PLANS SHALL BE PROPOSED ON CONSTRUCTION FIELD PRINTS AND TRANSMITTED TO THE ENGINEER.
12. ANY INSPECTION BY THE CITY, COUNTY, ENGINEER, OR OTHER JURISDICTIONAL AGENCY, SHALL NOT, IN ANY WAY, RELIEVE THE CONTRACTOR FROM ANY OBLIGATION TO PERFORM THE WORK IN STRICT COMPLIANCE WITH APPLICABLE CODES AND AGENCY REQUIREMENTS.
13. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL STORM DRAIN PIPES, STORM WATER RETENTION PIPES AND DRAINAGE FACILITIES FROM DAMAGE DURING ALL STAGES OF CONSTRUCTION. THE DEPTH OF COVER ON THE STORM DRAIN PIPE IS DESIGNED FOR FINAL GRADE. THEREFORE, EXTRA CARE SUCH AS BERMING OVER PIPES, FLAGGING OR SIGNAGE SHOULD BE USED DURING CONSTRUCTION TO MAINTAIN COVER OR PROTECT THE PIPES.
14. THE ENGINEER MAKES NO REPRESENTATION OR GUARANTEE REGARDING EARTHWORK QUANTITIES OR THAT THE EARTHWORK FOR THIS PROJECT WILL BALANCE DUE TO THE VARYING FIELD CONDITIONS, CHANGING SOIL TYPES, ALLOWABLE CONSTRUCTION TOLERANCES AND CONSTRUCTION METHODS THAT ARE BEYOND THE CONTROL OF THE ENGINEER. EARTHWORK QUANTITIES ON THIS SHEET ARE FOR PERMITTING PURPOSES ONLY.
15. IF PAD CERTIFICATIONS ARE PERFORMED, IT IS UNDERSTOOD THAT THE CERTIFICATION PROVIDES ONLY A REPRESENTATIVE ELEVATION OF THE AVERAGE GRADE OF EACH LOT, BUILDINGS OR UNIT PAD, AND SHALL NOT BE CONSTRUED TO INCLUDE YARD AND STREET SUB-GRADE CERTIFICATION OR CERTIFICATION THAT THE ENTIRE PAD IS LEVEL, THAT IT WAS CONSTRUCTED IN THE DESIGNED LOCATION OR WAS GRADED TO THE CROSS-SECTION SET FORTH ON THE PLANS OR AS DESIGNATED IN THE SOILS REPORT.
16. FINISH GRADES SHOWN ON THESE PLANS ARE THE FINAL FINISH GRADES. CONTRACTOR IS RESPONSIBLE FOR OVER-EXCAVATING LANDSCAPE AREAS TO ALLOW FOR PLANTING AND UTILITY TRENCHING SPOILS AND FOR THE FINAL LANDSCAPE TREATMENT (DECOMPOSED GRANITE, LAWN, ETC.).

FEMA FLOOD ZONE

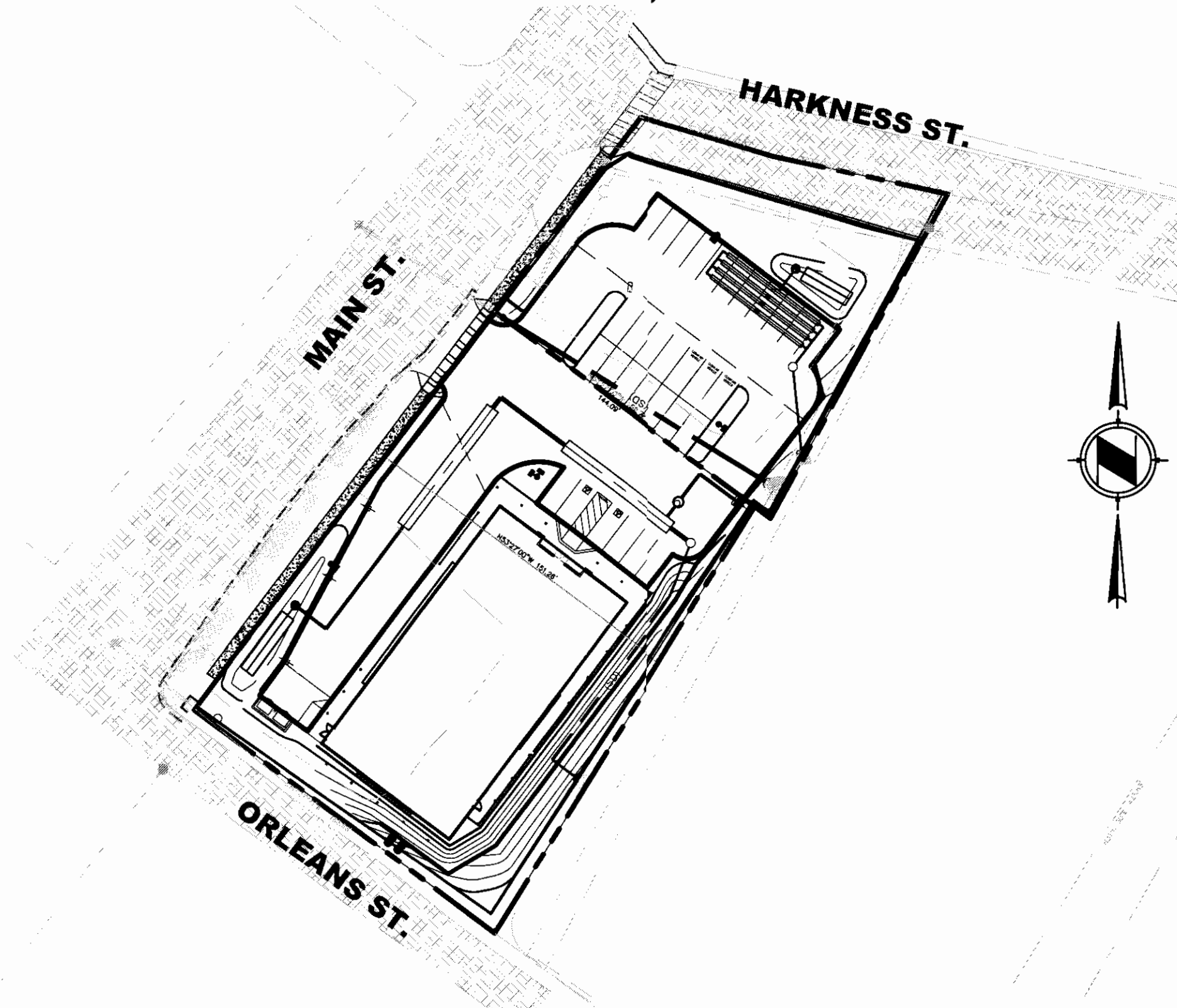
THE PROPERTY SHOWN HEREON IS SHOWN ON FEMA FLOOD FIRM INDEX PANEL NO. 06017CIND0A (DATED SEPTEMBER 26, 2008) AS ALL OF PANEL NO. 06017C0225E (PANEL NOT PRINTED) BEING ZONE "D" DESCRIBED AS AREAS IN WHICH FLOOD HAZARDS ARE UNDETERMINED, BUT POSSIBLE.

ENGINEER'S ESTIMATED EARTHWORK QUANTITIES

Table with 2 columns: Quantity Type and Value. CUT(RAW) 1,498 C.Y., FILL(RAW) 3,088 C.Y., NET EARTHWORK QUANTITY (RAW) 1,590 C.Y.(IMPORT). Includes note: NOTE: EARTHWORK QUANTITIES ARE ESTIMATED VOLUMES BASED ON RAW VALUES. THE CONTRACTOR SHALL PREPARE HIS OWN EARTHWORK ANALYSIS FOR BIDDING PURPOSES.

IMPROVEMENT PLANS

FOR
DOLLAR GENERAL
MAIN ST. AND HARKNESS ST.
GEORGETOWN, CA 95634



LEGEND

Legend table listing symbols for spot elevation, drainage area, property boundary, grade break, contours, water/sewer lines, electrical/gas lines, and various manholes and hydrants.

BASIS OF BEARING

THE BASIS OF BEARINGS OF THIS SURVEY IS IDENTICAL TO THAT OF THE MAP FILED IN BOOK 6 OF PARCEL MAPS AT PAGE 113, EL DORADO COUNTY RECORDS AND FROM MONUMENTS SHOWN HEREON AS FOUND.

BENCHMARK

VERTICAL DATUM: NAVD88
NGS BENCHMARK "H 159 USGS" (PID JS0544) - ELEV. 2651.6'
3 1/2" BRASS DISC "ABOUT 144 YARDS SOUTH OF THE GEORGETOWN POST OFFICE, AT MAIN CROSSROADS, 60 FEET WEST AND 38 FEET NORTH OF THE CENTER LINE OF THE JUNCTION, AT AN ASSOCIATED SERVICE STATION, PROJECTING THROUGH THE SOUTHWEST ENTRANCE OF THE CONCRETE DRIVEWAY LEADING TO THE GASOLINE PUMPS, AND 12.5 FEET SOUTHWEST OF THE SOUTHWEST PUMP.

OWNER

SIMON CRE ABBIE, LLC
5111 N. SCOTTSDALE RD. SUITE 200
SCOTTSDALE, AZ 85250
PHONE: 480-745-1956
FAX: 480-588-4150
CONTACT: JOSHUA SIMON

CIVIL ENGINEER

TTG ENGINEERS
4300 N. MILLER ROAD, SUITE 122
SCOTTSDALE, AZ 85251
PHONE: 602-371-1333
FAX: 602-371-0675
CONTACT: MIKE JACKSON

ARCHITECT

MPA ARCHITECTS INC.
3578 30TH STREET
SAN DIEGO, CA 92104
V: 619.236.0595
F: 619.236.0557
CONTACT: LEONARDO DALE

SHEET INDEX

- C1..... COVER SHEET, LEGEND & NOTES
C2..... GRADING AND DRAINAGE PLAN
C3..... GRADING AND PAVING PLAN
C4..... HORIZONTAL CONTROL PLAN & STORM WATER MANAGEMENT DETAIL
C5..... UTILITY PLAN
C6..... STORM WATER SOIL LOSS PREVENTION PLAN
C7..... STORM WATER SOIL LOSS PREVENTION DETAILS
C8..... GRADING & DRAINAGE DETAILS
C9..... DETAILS
S1..... RETAINING WALL DETAILS

LEGAL DESCRIPTION

REAL PROPERTY IN THE UNINCORPORATED AREA OF THE COUNTY OF EL DORADO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL ONE:

LOTS 10, 11 AND 12, BLOCK 1, OF THE TOWNSITE OF GEORGETOWN AS THE SAME ARE MARKED, DESIGNATED AND NUMBERED ON THE OFFICIAL MAP AND IN THE FIELD NOTES OF THE OFFICIAL MAP AND IN THE FIELD NOTES OF THE OFFICIAL SURVEY OF SAID TOWNSITE NOW ON FILE AND OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY OF EL DORADO STATE OF CALIFORNIA.

EXCEPTING THEREFROM ALL THAT PORTION THEREOF LYING WITHIN THE BOUNDS OF THE WOODSIDE QUARTZ MINE, THE SUB-SURFACE THEREOF AS PATENTED TO MILTON A. WOODSIDE, ET AL BY PATENT RECORDED JANUARY 3, 1882 IN BOOK B, OF PATENTS, PAGE 475, EL DORADO COUNTY RECORDS.

PARCEL TWO:

COMMENCING AT THE NORTHWEST CORNER OF LOT 10 IN BLOCK 1, LYING ON THE EASTERLY SIDE OF MAIN STREET IN THE TOWNSITE OF GEORGETOWN, COUNTY OF EL DORADO, STATE OF CALIFORNIA, THENCE 150 FEET IN AN EASTERLY DIRECTION TO THE NORTHEAST CORNER OF SAID LOT 10, THENCE 80 FEET IN A NORTHERLY DIRECTION, THENCE 142.5 FEET IN A WESTERLY DIRECTION TO THE WEST LINE OF SAID BLOCK 1, THENCE 80 FEET IN A SOUTHERLY DIRECTION ALONG SAID WEST LINE TO THE PLACE OF BEGINNING, AND BEING A PORTION OF LOT 9 IN SAID BLOCK 1.

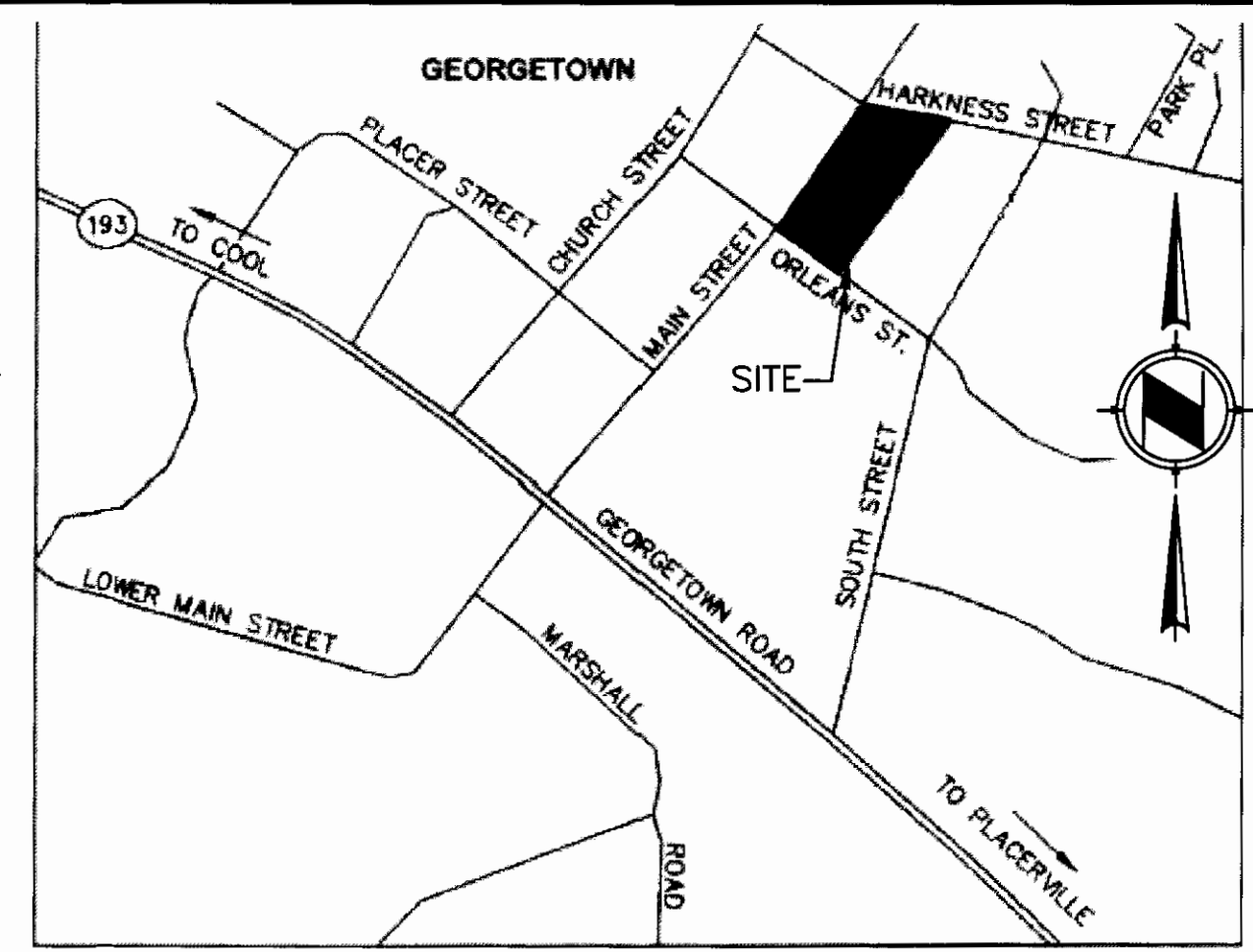
PARCEL THREE:

A PORTION OF LOT 9, BLOCK 1, TOWNSITE OF GEORGETOWN BEING A PORTION OF THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 12 NORTH, RANGE 10 EAST, M.D.B.&M., MORE PARTICULARLY DESCRIBED AS FOLLOWS:

PARCEL 1, AS SHOWN ON THAT CERTAIN PARCEL MAP FILED IN THE OFFICE OF THE COUNTY RECORDER, COUNTY OF EL DORADO, STATE OF CALIFORNIA, ON OCTOBER 4, 1974, IN BOOK 6 OF PARCEL MAPS, AT PAGE 113.

EXCEPTING THEREFROM ALL THE SUB-SURFACE THEREOF AS PATENTED TO MILTON A. WOODSIDE, ROBERT W. ASH AND JAMES W. SHANKLIN, BY PATENT RECORDED JANUARY 3, 1882, IN BOOK B OF PATENTS AT PAGE 475, RECORDS OF EL DORADO COUNTY, KNOWN AS THE WOODSIDE QUARTZ MINE; AND AS PATENTED TO A.E. GRIMS BY PATENT RECORDED JANUARY 15, 1876 IN BOOK A OF PATENTS, AT PAGE 373 RECORDS OF EL DORADO COUNTY, KNOWN AS THE EUREKA QUARTZ MINE AND MILLSITE, AS RESERVED IN DEED FROM HARRY C. GRAVELLE, JR., ET UX, RECORDED JANUARY 18, 1963, IN BOOK 621 OF OFFICIAL RECORDS, AT PAGE 350.

APN: 061-362-01-100 (AFFECTS PARCEL ONE), 061-362-02-100 (AFFECTS PARCEL TWO) AND 061-362-04-100 (AFFECTS PARCEL THREE)



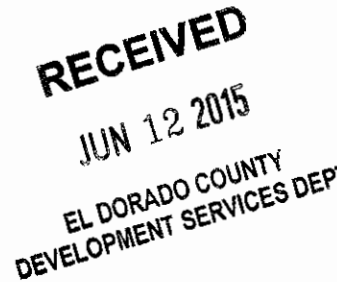
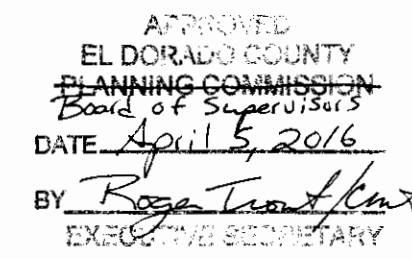
VICINITY MAP

NTS

Revision table with columns for Date, By, and Description.

Approval table with columns for Role (DESIGNED, CHECKED, APPROVED) and Name (ASM, MAJ).

DOLLAR GENERAL
GEORGETOWN, CALIFORNIA
COVER SHEET, LEGEND & NOTES



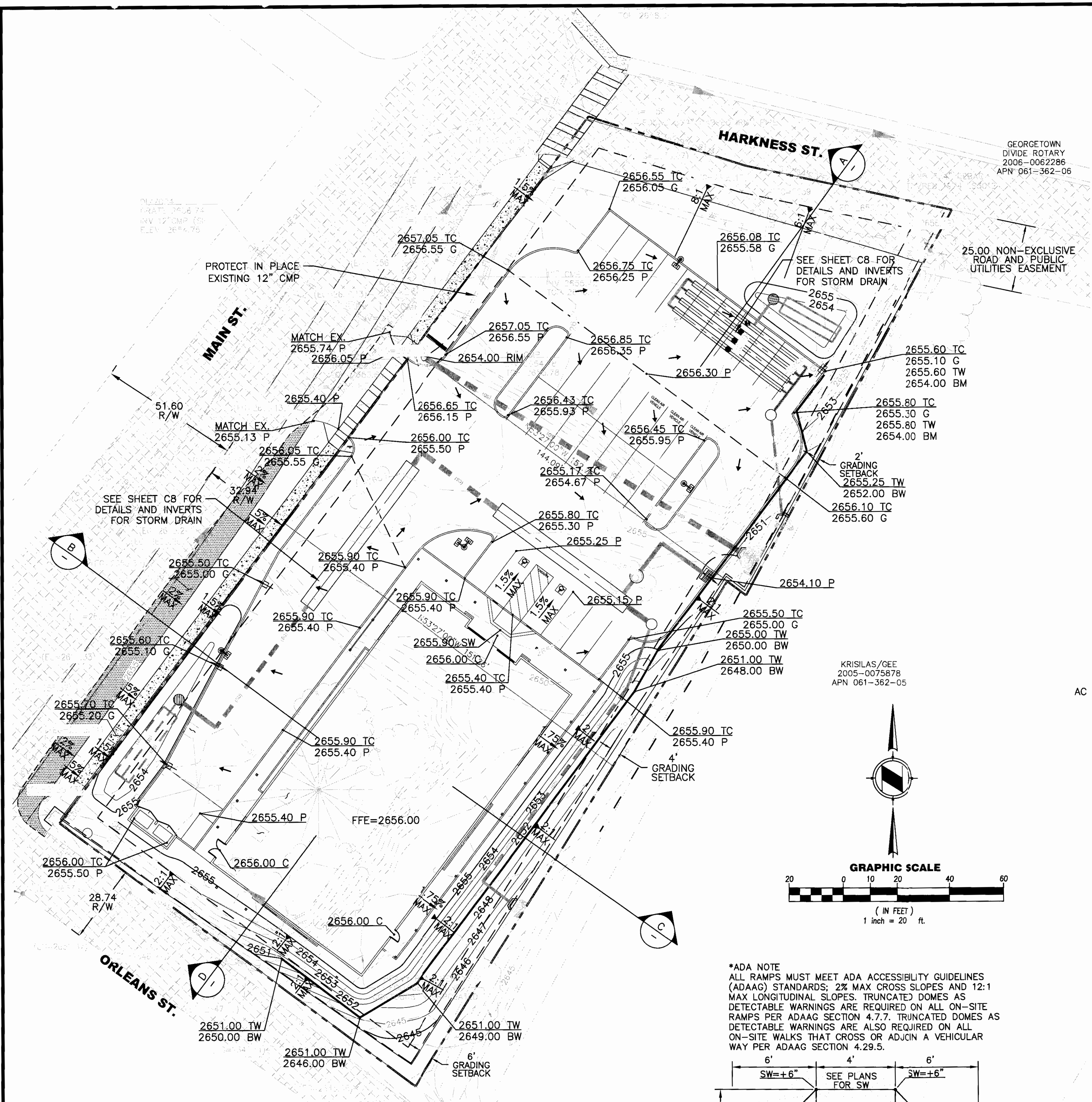
PREPARED UNDER THE DIRECT SUPERVISION OF:
[Signature]
06-03-15
ANDREW S. MIZEREK DATE
R.C.E. No. 74456
EXPIRES JUNE 30, 2015



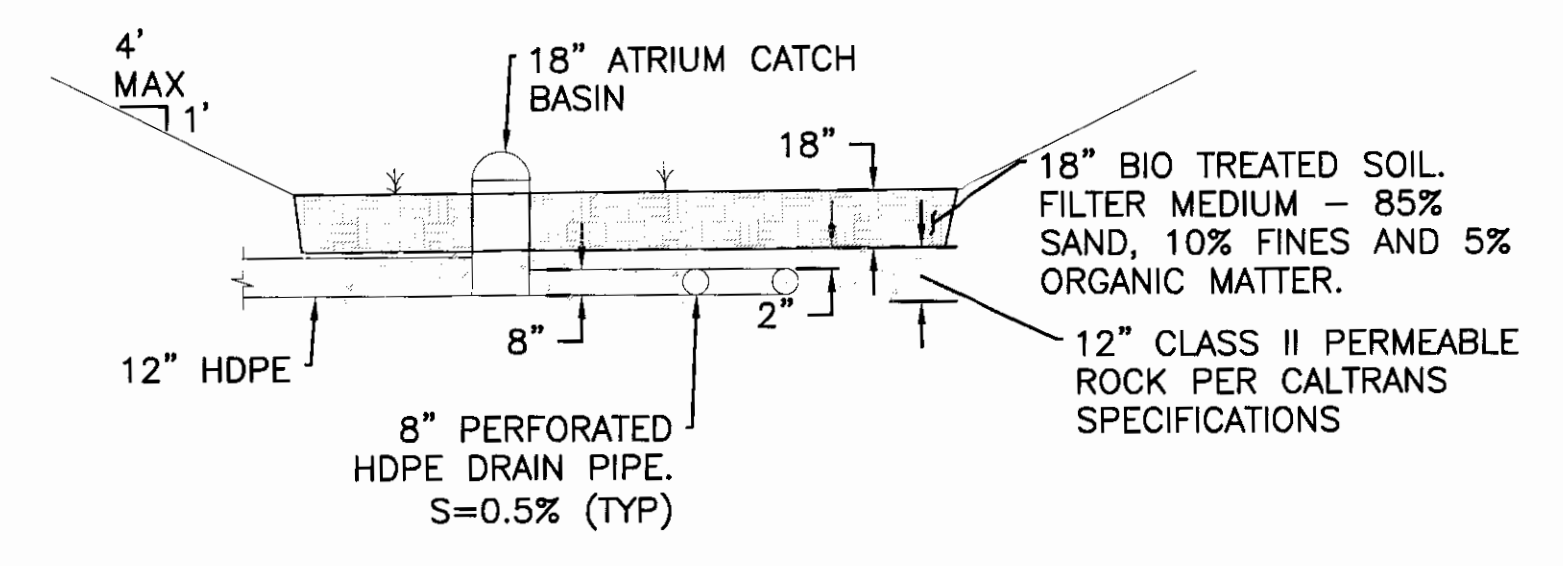
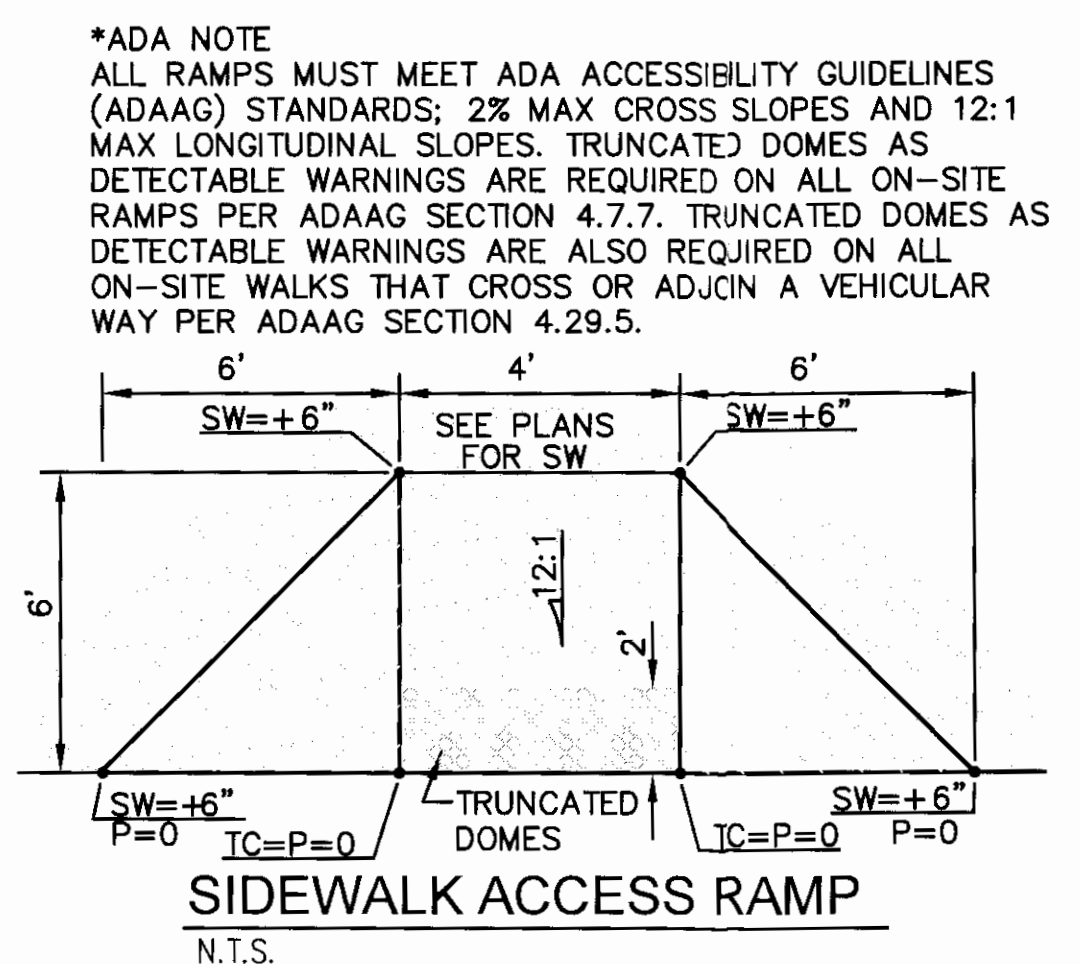
Job information table: JOB NO. 0614023.00, SCALE NTS, DATE MARCH 2015, SHEETS 1, SHEET C1



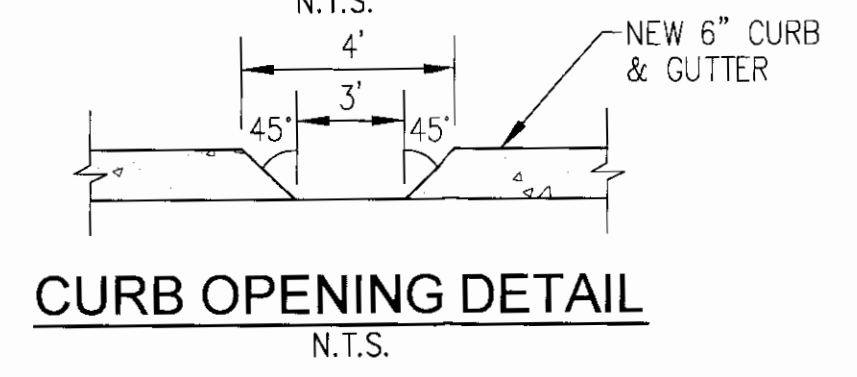
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- NOTE:**
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
  - CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND IMPROVEMENTS. THE EXISTING CONTOURS ON THIS PLAN ARE AT A 1.0' INTERVAL.
  - LINE TABLE SHOWN ON SHEET C4.

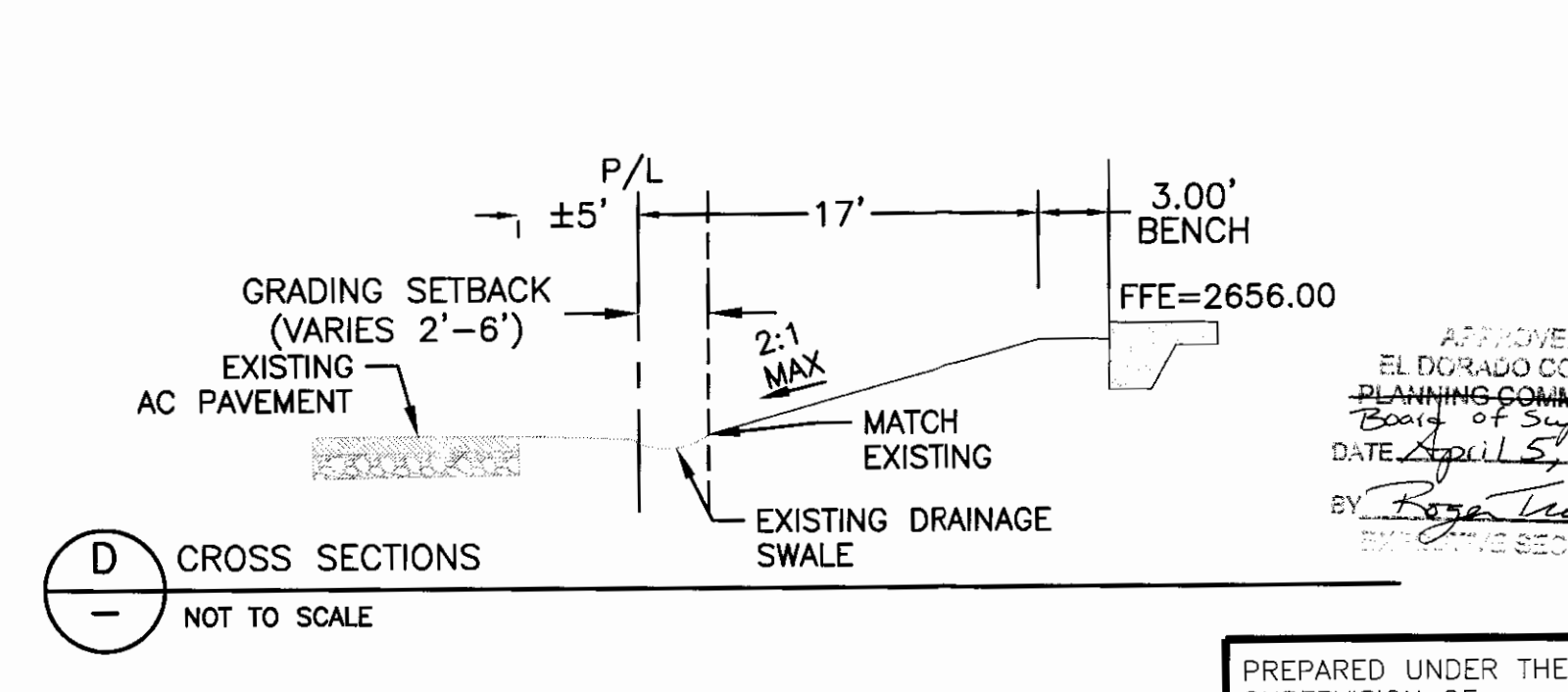
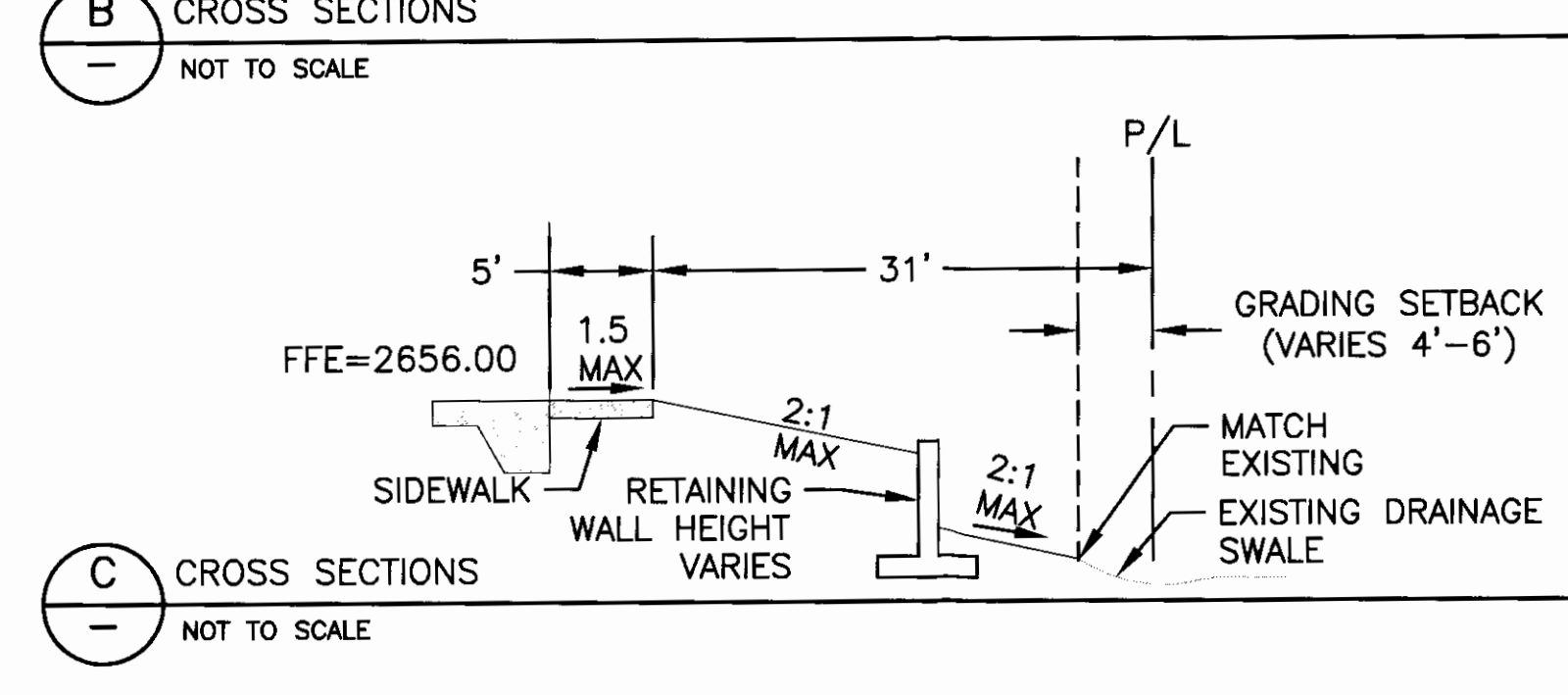
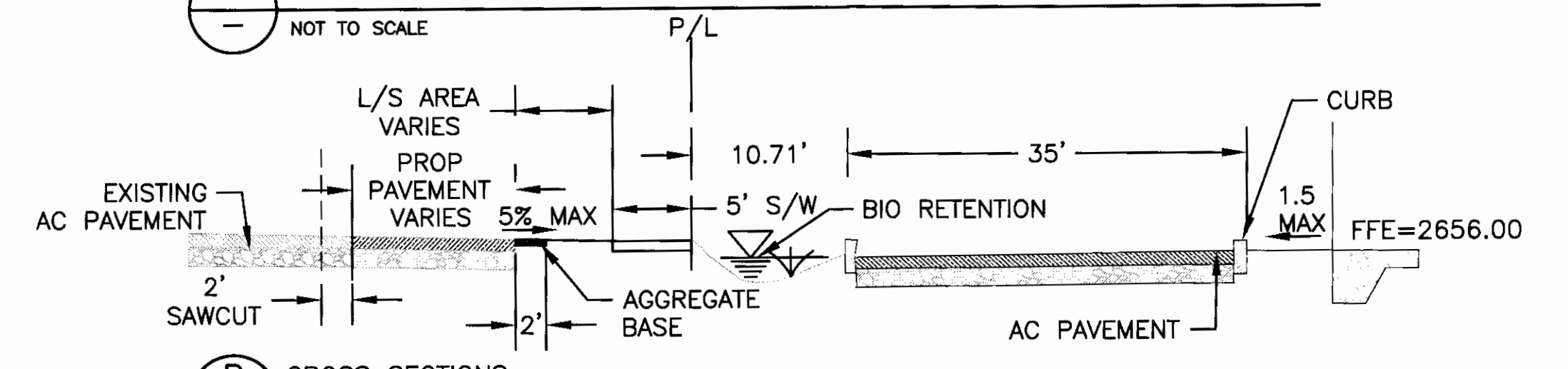
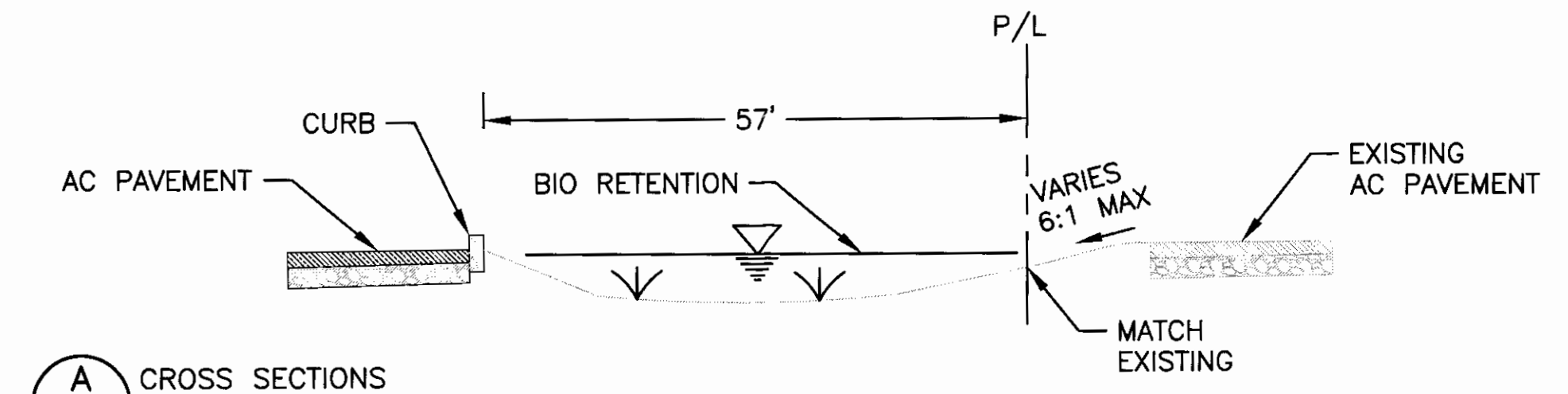


**BIO RETENTION AREA**



**DRAINAGE STATEMENT**

THE EXISTING SITE CONSISTS OF VACANT LANS WITH MODERATE VEGETATION AND TREES. THIS PROJECT PROPOSES A NEW DOLLAR GENERAL COMMERCIAL BUILDING WITH LANDSCAPE AND OPEN SPACE AREAS. RUNOFF FROM THIS SITE WILL BE DIRECTED VIA OVERLAND SHEET FLOW TO THREE TWO SEPARATE OPEN SPACE AREAS. THE OPEN SPACE AREAS WILL IMPLEMENT WATER QUALITY MEASURES WHERE RUNOFF WILL PASS THROUGH A BIO-RETENTION AREA AND A VEGETATED SWALE. RUNOFF WILL PASS THROUGH AN ENGINEERED FILTER MEDIUM AND TO PERFORATED PIPES AND BE CONVEYED TO UNDERGROUND DETENTION. IN ADDITION, MECHANICAL WATER QUALITY MEANS WILL BE USED WHERE A BIO-RETENTION BASIN CAN NOT BE BUILT. THE PRE-VS-POST RUNOFF VOLUME WILL BE DETAINED AND BLEED OFF ALONG ITS HISTORIC PATH IN A ROAD SIDE SWALE ALONG ORLEANS STREET AND A DRAINAGE DITCH ALONG THE EAST SIDE OF THE PROPERTY ADJACENT AND IN-BETWEEN THE US POST OFFICE.



**RECEIVED**  
 JUN 12 2015  
 EL DORADO COUNTY  
 DEVELOPMENT SERVICES DEPT

APPROVED  
 EL DORADO COUNTY  
 PLANNING COMMISSION  
 Board of Supervisors  
 DATE: April 5, 2016  
 BY: *[Signature]*  
 PUBLIC WORKS SECRETARY



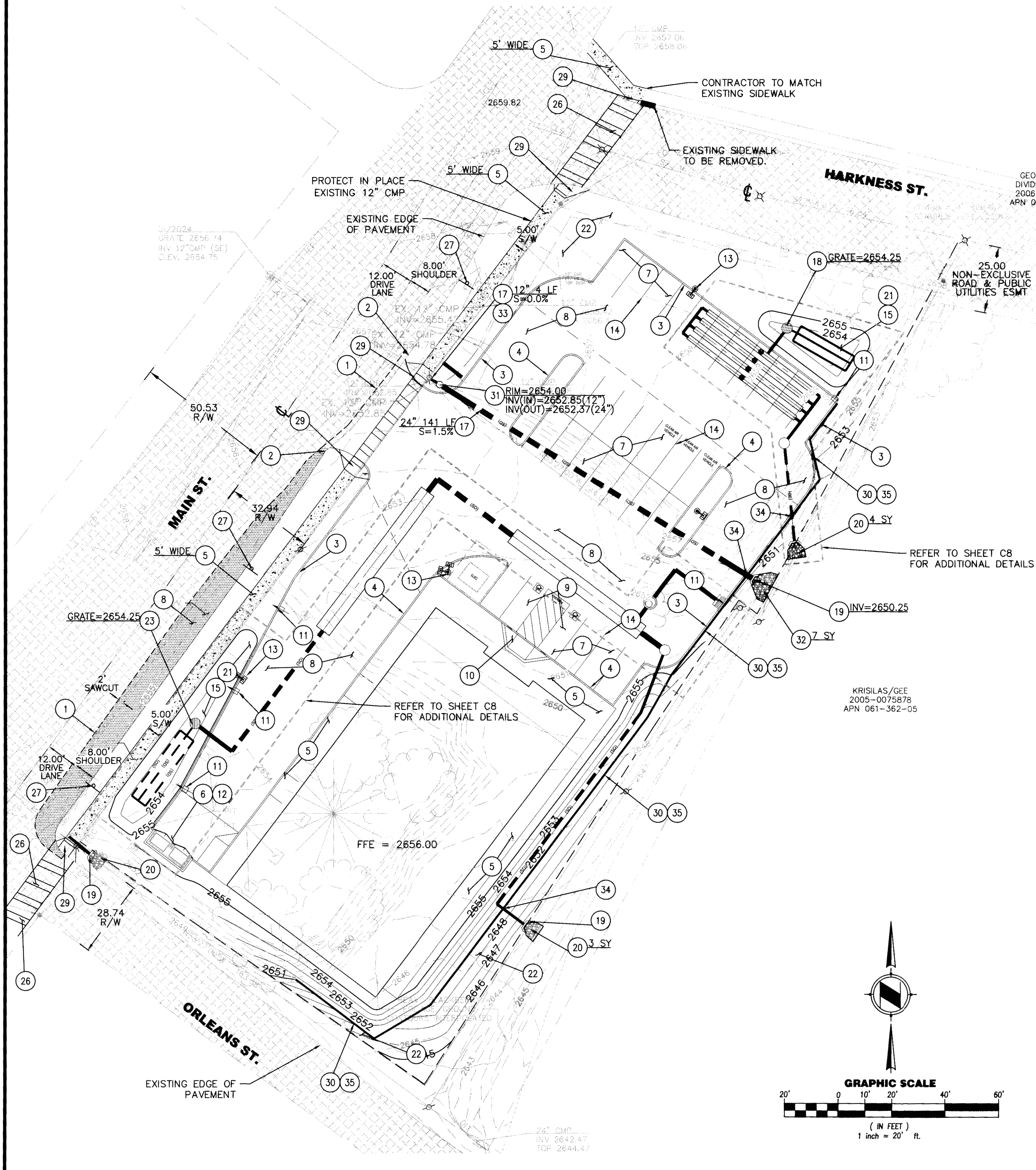
PREPARED UNDER THE DIRECT SUPERVISION OF:  
  
 06-03-15  
 ANDREW S. MIZEREK DATE  
 R.C.E. No. 74456  
 EXPIRES JUNE 30, 2015



JOB NO.	0614023.00
SCALE	1"=20'
DATE	MARCH 2015
SHEETS	C2

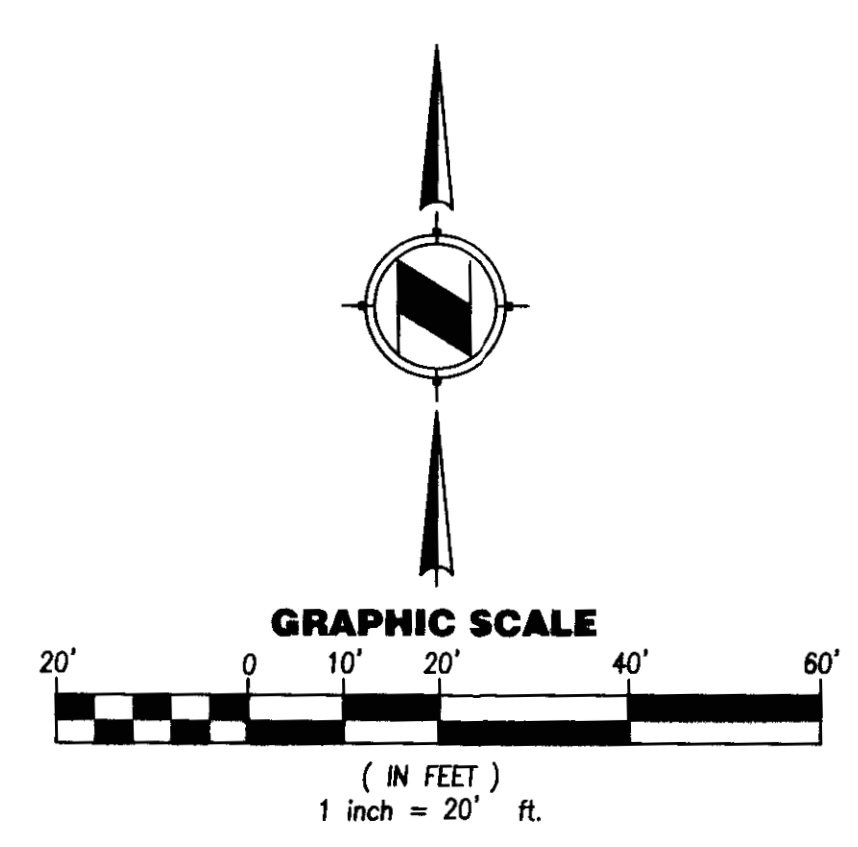


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**CONSTRUCTION KEYNOTES**

- 1 SAWCUT AND REMOVE TO THE SAWCUT LINE EXISTING PAVEMENT (MIN 2'), OR AS DIRECTED BY COUNTY INSPECTOR, CURB, GUTTER AND SIDEWALK AND/OR REPLACE IN KIND.
- 2 CONTRACTOR TO VERIFY ELEVATION OF EXISTING CURB, AC PVMT OR CONCRETE PVMT TIE-IN LOCATIONS AND MATCH EXISTING. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 3 CONSTRUCT CURB AND GUTTER PER EL DORADO COUNTY STD DTL 104 TYPE 2
- 4 CONSTRUCT 6" BARRIER CURB EL DORADO COUNTY STD DTL 104 TYPE 3.
- 5 CONSTRUCT SIDEWALK PER EL DORADO COUNTY STANDARD DETAILS. DO NOT EXCEED 2% CROSS SLOPE
- 6 CONSTRUCT 7" PCCP REINFORCED SLAB WITH #4 BARS @ 24" CENTERS, 2" BELOW THE SURFACE OF THE CONCRETE OVER 6" AGGREGATE BASE 8" COMPACTED NATIVE SUBGRADE PER GEOTECHNICAL RECOMMENDATIONS FOR TRASH ENCLOSURE AND LANDING PAD.
- 7 CONSTRUCT 3" ASPHALT PAVEMENT OVER 6" AGGREGATE ASPHALT BASE OVER 12" COMPACTED NATIVE SUBGRADE BASE FOR PARKING STALLS PER GEOTECHNICAL RECOMMENDATIONS AND CALTRANS SECTION 26 STANDARD SPECIFICATIONS.
- 8 CONSTRUCT 4" ASPHALT PAVEMENT OVER 8" AGGREGATE ASPHALT BASE OVER 8" COMPACTED NATIVE SUBGRADE BASE FOR DRIVE LANES PER GEOTECHNICAL RECOMMENDATIONS AND CALTRANS SECTION 26 STANDARD SPECIFICATIONS.
- 9 CONSTRUCT ADA PARKING SPACES NOT TO EXCEED 2% IN ANY DIRECTION.
- 10 CONSTRUCT SIDEWALK ACCESS RAMP PER STD DTL, C2. DO NOT EXCEED 2% CROSS SLOPE AND 8.33% LONGITUDINAL SLOPE.
- 11 CONSTRUCT CURB OPENING PER DETAIL SHEET C2.
- 12 TRASH ENCLOSURE. REFER TO ARCHITECTURAL PLANS FOR ALL DETAILS
- 13 SEE ARCHITECTURAL PLANS FOR ALL SITE LIGHTING AND DETAILS. COORDINATE CONDUIT PLACEMENT PRIOR TO PAVING START.
- 14 SEE ARCHITECTURAL PLANS FOR ALL STRIPING AND SIGNAGE. ALL DISABLED ACCESS STRIPING TO COMPLY WITH CURRENT ADA STANDARDS. FIRE LANE MARKING AND SIGNAGE PER ARCHITECTURAL PLANS.
- 15 BIO RETENTION AREA. REFER TO SHEET C2 FOR DETAILS
- 16 INSTALL 6' CMP STORM DRAIN PIPE. SIZE, LENGTH & SLOPE PER PLAN.
- 17 INSTALL HDPE STORM DRAIN PIPE (ADS N12 OR EQUAL) SIZE AND SLOPE PER PLAN
- 18 CONSTRUCT AND INSTALL 2x3 PRECAST CATCH BASIN. HANSON #26 OR APPROVED EQUAL.
- 19 INSTALL HEADWALL PER EL DORADO COUNTY SPECIFICATIONS
- 20 INSTALL RIP-RAP D(50)=6", 12" THICK PER EL DORADO COUNTY STANDARD DETAIL T-504.
- 21 ENGINEERED FILTERED MEDIUM (SOIL) SHALL CONSIST OF 85% SAND, 10% FINES AND 5% ORGANIC MATTER. REFER TO LANDSCAPE PLANS FOR VEGETATION. REFER TO SHEET C8 FOR ADDITIONAL DETAILS.
- 22 LANDSCAPE AREA, REFER TO LANDSCAPE PLANS FOR DETAILS.
- 23 INSTALL CATCH BASIN, NDS 18" SERIES WITH ATRIUM GRATE OPENING NDS PRODUCT NUMBER 1881.
- 24 REINFORCED CONCRETE CAP AND ACCESS RISER SEE DETAIL ON SHEET C8.
- 25 INSTALL CONTECH CDS UNIT (MODEL NO. CD52015-4-C) REFER TO SHEET C9 FOR ADDITIONAL DETAILS
- 26 INSTALL CROSSWALK PER CALIFORNIA MUTCD STANDARDS.
- 27 INSTALL "NO PARKING" SIGN P26K(CA)
- 28 INSTALL HANDRAIL PER EL DORADO COUNTY SPECIFICATIONS.
- 29 INSTALL SIDEWALK CURB RETURN RAMP PER CAL TRANS STD DTL A88A
- 30 CONSTRUCT RETAINING WALL PER DETAIL SHOWN ON S1 WALL, ELEVATIONS SHOWN ON C2.
- 31 INSTALL 30" DRAIN BASIN PER DETAILS ON SHEET C9.
- 32 INSTALL RIP RAP D(50)=12", 27" THICK PER EL DORADO COUNTY STANDARD DETAIL T-504.
- 33 CONTRACTOR TO CONNECT PROPOSED 12" HDPE PIPE TO EXISTING 12" CMP AND EXTEND AS SHOWN.
- 34 CONTRACTOR TO COORDINATE WITH STRUCTURAL ENGINEER FOR WALL OPENING TO ALLOW FOR PIPE PENETRATION.
- 35 INSTALL HANDRAIL PER DETAIL ON C9.
- 36 INSTALL 2' CMP STORM DRAIN PIPE. SIZE, LENGTH & SLOPE PER PLAN.

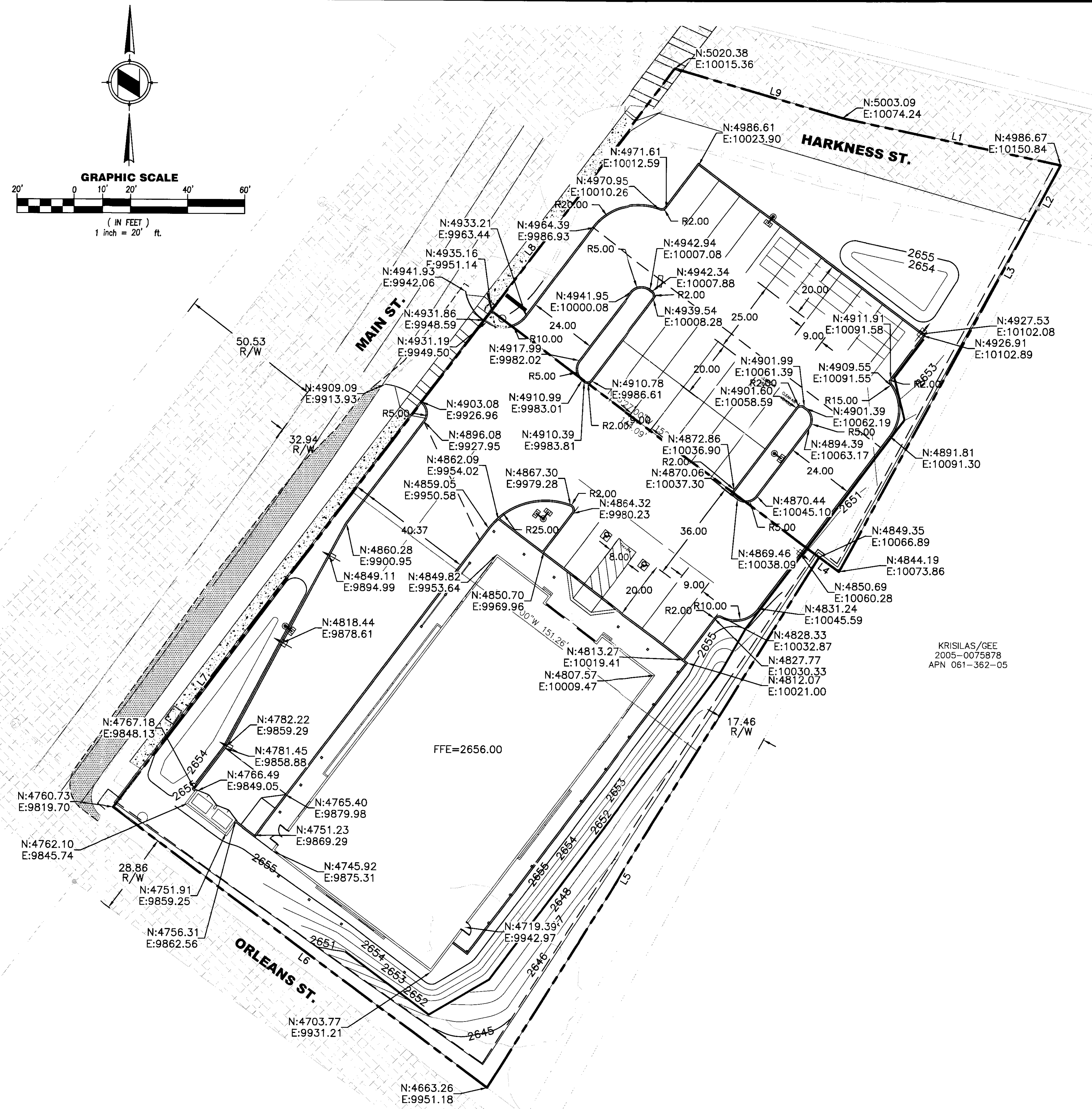
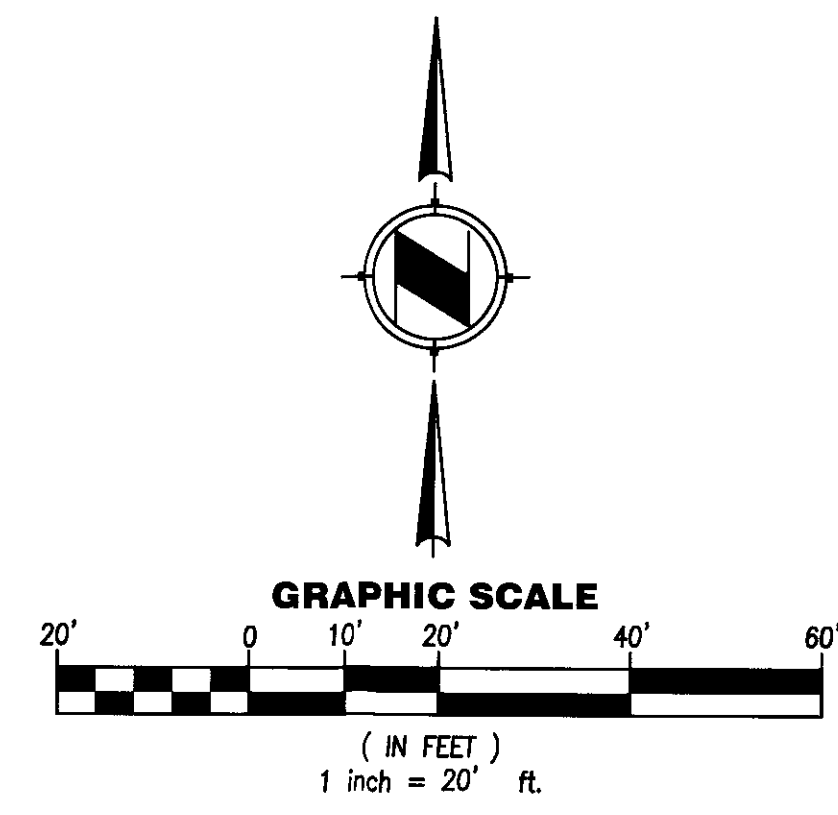


<p>DOLLAR GENERAL GEORGETOWN, CALIFORNIA</p>	<p>GRADING AND PAVING PLAN</p>
<p><b>TTG</b></p>	
<p>Know what's below. Call before you dig.</p>	
<p>RECEIVED PLANNING DEPARTMENT 16:25 AM 11:37 ANDREW S. MIZEREK DATE R.C.E. No. 74456 EXPIRES JUNE 30, 2017</p>	
<p>PREPARED UNDER THE DIRECT SUPERVISION OF:</p>	
<p>JOB NO. 0614023.00 SCALE 1"=20' DATE DECEMBER 2015 SHEETS 3</p>	
<p>C3</p>	



# Exhibit I-4

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KRISILAS/GEE  
2005-0075878  
APN 061-362-05

BOUNDARY LINE TABLE		
LINE #	DIRECTION	LENGTH
L1	S77°54'00"E	78.34'
L2	S28°23'00"W	17.11'
L3	S28°23'00"W	144.84'
L4	N53°27'00"W	8.67'
L5	S31°52'20"W	219.13'
L6	N53°27'00"W	163.68'
L7	N37°00'00"E	218.41'
L8	S37°00'00"W	81.19'
L9	S73°38'00"E	61.37'

**NOTE**  
ALL DIMENSIONS, NORTHING AND EASTING TAKEN FROM THE FACE OF CURB.

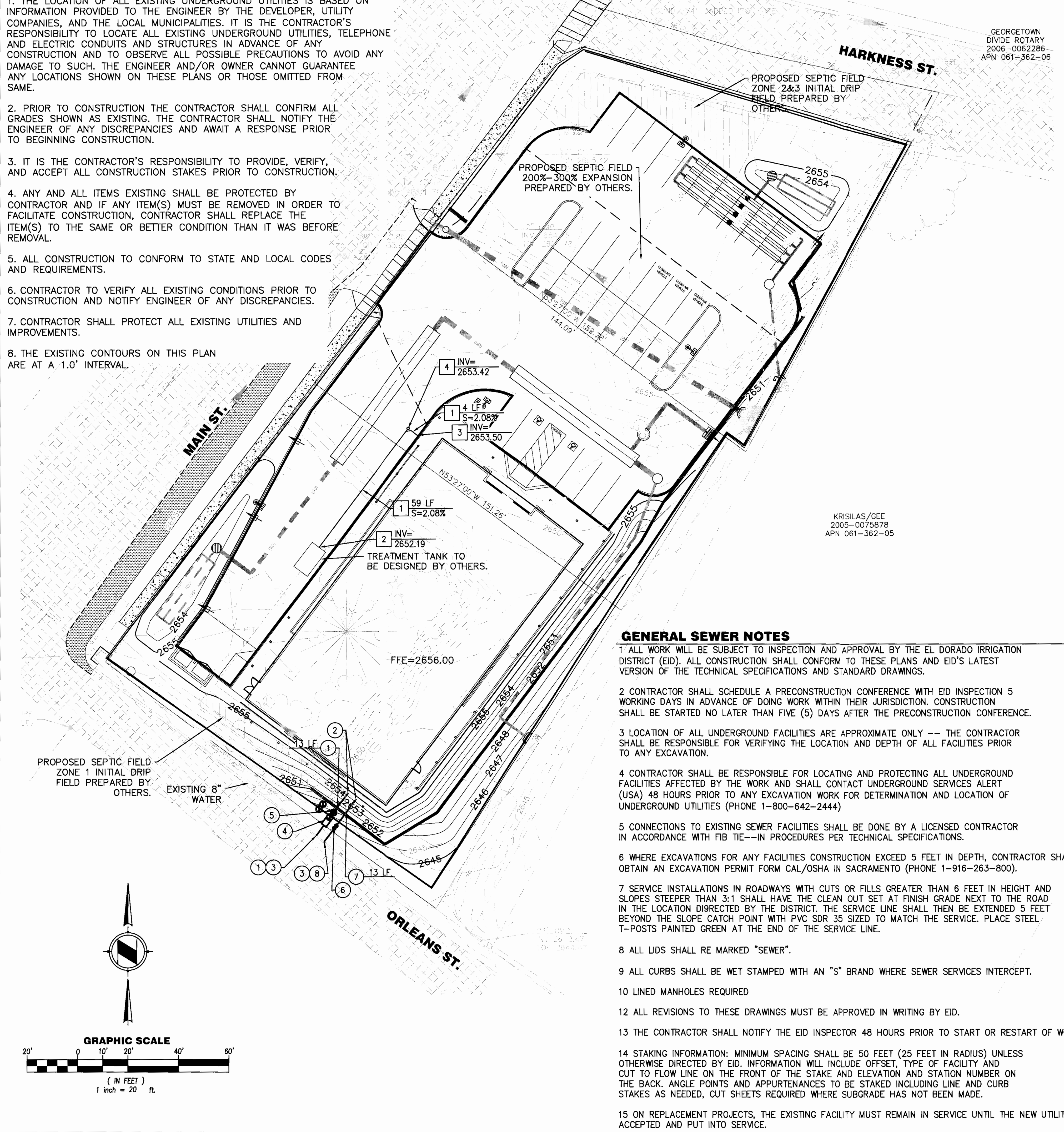
<p>DESIGNED: <b>ASM, MAJ</b></p> <p>CHECKED: <b>ASM, MAJ</b></p> <p>APPROVED: <b>ASM, MAJ</b></p>	<p style="writing-mode: vertical-rl; transform: rotate(180deg);">DOLLAR GENERAL GEORGETOWN, CALIFORNIA</p> <p style="writing-mode: vertical-rl; transform: rotate(180deg);">HORIZONTAL CONTROL PLAN &amp; STORM WATER MANAGEMENT DETAIL</p>
<p><b>TTG</b></p>	
<p>RECEIVED JUN 12 2015 EL DORADO COUNTY PLANNING &amp; COMMUNITY DEVELOPMENT SERVICES DEPT.</p>	
<p>811 Know what's below. Call before you dig.</p>	
<p>PREPARED UNDER THE DIRECT SUPERVISION OF: <i>[Signature]</i> 06-03-15 ANDREW S. MIZEREK DATE R.C.E. No. 74456 EXPIRES JUNE 30, 2015</p>	
<p>JOB NO. 0614023.00 SCALE 1"=20' DATE MARCH 2015 SHEETS SHEET C4</p>	



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### ENGINEERS NOTES

1. THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES IS BASED ON INFORMATION PROVIDED TO THE ENGINEER BY THE DEVELOPER, UTILITY COMPANIES, AND THE LOCAL MUNICIPALITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL EXISTING UNDERGROUND UTILITIES, TELEPHONE AND ELECTRIC CONDUITS AND STRUCTURES IN ADVANCE OF ANY CONSTRUCTION AND TO OBSERVE ALL POSSIBLE PRECAUTIONS TO AVOID ANY DAMAGE TO SUCH. THE ENGINEER AND/OR OWNER CANNOT GUARANTEE ANY LOCATIONS SHOWN ON THESE PLANS OR THOSE OMITTED FROM SAME.
2. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL CONFIRM ALL GRADES SHOWN AS EXISTING. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES AND AWAIT A RESPONSE PRIOR TO BEGINNING CONSTRUCTION.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE, VERIFY, AND ACCEPT ALL CONSTRUCTION STAKES PRIOR TO CONSTRUCTION.
4. ANY AND ALL ITEMS EXISTING SHALL BE PROTECTED BY CONTRACTOR AND IF ANY ITEM(S) MUST BE REMOVED IN ORDER TO FACILITATE CONSTRUCTION, CONTRACTOR SHALL REPLACE THE ITEM(S) TO THE SAME OR BETTER CONDITION THAN IT WAS BEFORE REMOVAL.
5. ALL CONSTRUCTION TO CONFORM TO STATE AND LOCAL CODES AND REQUIREMENTS.
6. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
7. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND IMPROVEMENTS.
8. THE EXISTING CONTOURS ON THIS PLAN ARE AT A 1.0' INTERVAL.



### GENERAL SEWER NOTES

- 1 ALL WORK WILL BE SUBJECT TO INSPECTION AND APPROVAL BY THE EL DORADO IRRIGATION DISTRICT (EID). ALL CONSTRUCTION SHALL CONFORM TO THESE PLANS AND EID'S LATEST VERSION OF THE TECHNICAL SPECIFICATIONS AND STANDARD DRAWINGS.
- 2 CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION CONFERENCE WITH EID INSPECTION 5 WORKING DAYS IN ADVANCE OF DOING WORK WITHIN THEIR JURISDICTION. CONSTRUCTION SHALL BE STARTED NO LATER THAN FIVE (5) DAYS AFTER THE PRECONSTRUCTION CONFERENCE.
- 3 LOCATION OF ALL UNDERGROUND FACILITIES ARE APPROXIMATE ONLY --- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL FACILITIES PRIOR TO ANY EXCAVATION.
- 4 CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL UNDERGROUND FACILITIES AFFECTED BY THE WORK AND SHALL CONTACT UNDERGROUND SERVICES ALERT (USA) 48 HOURS PRIOR TO ANY EXCAVATION WORK FOR DETERMINATION AND LOCATION OF UNDERGROUND UTILITIES (PHONE 1-800-642-2444)
- 5 CONNECTIONS TO EXISTING SEWER FACILITIES SHALL BE DONE BY A LICENSED CONTRACTOR IN ACCORDANCE WITH FIB TIE--IN PROCEDURES PER TECHNICAL SPECIFICATIONS.
- 6 WHERE EXCAVATIONS FOR ANY FACILITIES CONSTRUCTION EXCEED 5 FEET IN DEPTH, CONTRACTOR SHALL OBTAIN AN EXCAVATION PERMIT FORM CAL/OSHA IN SACRAMENTO (PHONE 1-916-263-800).
- 7 SERVICE INSTALLATIONS IN ROADWAYS WITH CUTS OR FILLS GREATER THAN 6 FEET IN HEIGHT AND SLOPES STEEPER THAN 3:1 SHALL HAVE THE CLEAN OUT SET AT FINISH GRADE NEXT TO THE ROAD IN THE LOCATION DIRECTED BY THE DISTRICT. THE SERVICE LINE SHALL THEN BE EXTENDED 5 FEET BEYOND THE SLOPE CATCH POINT WITH PVC SDR 35 SIZED TO MATCH THE SERVICE. PLACE STEEL T--POSTS PAINTED GREEN AT THE END OF THE SERVICE LINE.
- 8 ALL LIDS SHALL RE MARKED "SEWER".
- 9 ALL CURBS SHALL BE WET STAMPED WITH AN "S" BRAND WHERE SEWER SERVICES INTERCEPT.
- 10 LINED MANHOLES REQUIRED
- 12 ALL REVISIONS TO THESE DRAWINGS MUST BE APPROVED IN WRITING BY EID.
- 13 THE CONTRACTOR SHALL NOTIFY THE EID INSPECTOR 48 HOURS PRIOR TO START OR RESTART OF WORK.
- 14 STAKING INFORMATION: MINIMUM SPACING SHALL BE 50 FEET (25 FEET IN RADIUS) UNLESS OTHERWISE DIRECTED BY EID. INFORMATION WILL INCLUDE OFFSET, TYPE OF FACILITY AND CUT TO FLOW LINE ON THE FRONT OF THE STAKE AND ELEVATION AND STATION NUMBER ON THE BACK. ANGLE POINTS AND APPURTENANCES TO BE STAKED INCLUDING LINE AND CURB STAKES AS NEEDED, CUT SHEETS REQUIRED WHERE SUBGRADE HAS NOT BEEN MADE.
- 15 ON REPLACEMENT PROJECTS, THE EXISTING FACILITY MUST REMAIN IN SERVICE UNTIL THE NEW UTILITY IS ACCEPTED AND PUT INTO SERVICE.

### WATER KEYNOTES

- 1 CONSTRUCT NEW 3/4" COPPER "TYPE K" PIPE WATER SERVICE TO CONFIRM WITH ASTM B-42 PER EID STANDARDS AND SPECIFICATIONS. LENGTH PER PLAN. TRENCH PER EID STD DTL W10
- 2 TERMINATE DOMESTIC WATER/FIRE LINE AT BUILDING. SEE PLUMBING PLANS FOR CONTINUATION OF WATER SERVICE INSIDE BUILDING.
- 3 CONNECT TO EXISTING WATERLINE. CONTRACTOR TO VERIFY VERTICAL AND HORIZONTAL LOCATION PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES. EID SHALL MAKE ALL SYSTEM TAP CONNECTIONS.
- 4 INSTALL 3/4" METER PER EID STD DTL STD DTL W-20.
- 5 INSTALL 3/4" REDUCED PRESSURE BACKFLOW PREVENTER PER EID STD DTL W22 WITH INSULATION PER EID AND COUNTY GUIDELINES.
- 6 INSTALL 6" REDUCED PRESSURE PRINCIPLE DETECTOR ASSEMBLY PER EID STD DTL W24 WITH INSULATION PER EID AND COUNTY GUIDELINES.
- 7 INSTALL 6" DIP CLASS 350 D.I.P. CLASS 350 FIRE LINE.
- 8 INSTALL 8"X6" TAPPING SLEEVE AND VALVE. CONTRACTOR TO VERIFY VERTICAL AND HORIZONTAL LOCATION PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ALL DISCREPANCIES. INSTALL THRUST BLOCKS PER EID STD DTL W11.

### SEWER KEYNOTES

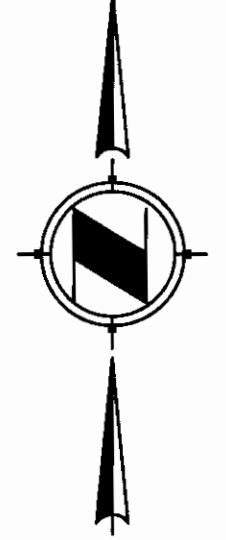
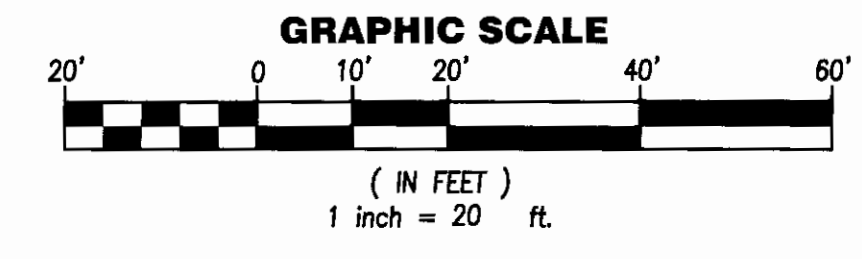
- 1 INSTALL 4" PVC SEWER PIPE PER EID STD DTL S08. LENGTH AND SLOPE PER PLAN. SEWER TRENCH PER EID STD DTL 507
- 2 CONNECT TO PROPOSED SEPTIC SYSTEM (BY OTHERS). SEE SEPTIC SYSTEM PLANS FOR ADDITIONAL INFORMATION.
- 3 TERMINATE SEWER SERVICE 5' FROM BUILDING. SEE PLUMBING PLANS. CONTINUATION OF SEWER SERVICE INSIDE BUILDING.
- 4 CONSTRUCT CLEANOUT PER UPC, EID STD DTL 508 & EID GUIDELINES.

### GENERAL WATER NOTES

- 1 WORK SHALL BE ACCOMPLISHED UNDER THE APPROVAL, INSPECTION AND TO THE SATISFACTION OF THE EL DORADO IRRIGATION DISTRICT (EID). CONSTRUCTION SHALL CONFORM TO THESE PLANS AND EID'S LATEST VERSION OF THE TECHNICAL SPECIFICATIONS AND STANDARD DRAWINGS.
- 2 CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION CONFERENCE WITH EID INSPECTION 5 WORKING DAYS IN ADVANCE OF DOING WORK WITHIN THEIR JURISDICTION. CONSTRUCTION SHALL BE STARTED NO LATER THAN FIVE(5) DAYS AFTER THE PRECONSTRUCTION CONFERENCE.
- 3 LOCATION OF ALL UNDERGROUND FACILITIES ARE APPROXIMATE ONLY --- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL FACILITIES PRIOR TO ANY EXCAVATION.
- 4 CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL UNDERGROUND FACILITIES AFFECTED BY THE WORK AND SHALL CONTACT UNDERGROUND SERVICES ALERT (USA) 48 HOURS PRIOR TO ANY EXCAVATION WORK FOR DETERMINATION AND LOCATION OF UNDERGROUND UTILITIES (PHONE 1-800-642-2444)
- 5 CONNECTIONS TO EXISTING WATER FACILITY SHALL BE DONE BY A LICENSED CONTRACTOR IN ACCORDANCE WITH EID TIE--IN PROCEDURES PER TECHNICAL SPECIFICATION.
- 6 WHERE EXCAVATIONS FOR ANY FACILITIES CONSTRUCTION EXCEED 5 FEET IN DEPTH, CONTRACTOR SHALL OBTAIN AN EXCAVATION PERMIT FORM CAL/OSHA IN SACRAMENTO (PHONE 1-916-263-2800) POST PERMIT AT THE CONSTRUCTION SITE AND COMPLY WITH ALL REQUIREMENTS.
- 7 THE CONTRACTOR SHALL NOTIFY EID INSPECTION 48 HOURS PRIOR TO START OR RESTART OF WORK.
- 8 ONLY EID PERSONNEL SHALL OPERATE ANY VALVES ON EXISTING WATER SYSTEM.
- 9 THE TOTAL SITE REQUIRED FIRE FLOW IS GPM AT 20 PSIG RESIDUAL.
- 10 BASED UPON A HYDRAULIC GRADE LINE OF F7 AT STATIC CONDITIONS AND \_FT DURING FIRE FLOW AND MAXIMUM DAY DEMANDS, THE MAXIMUM AND MINIMUM PRESSURES ARE CALCULATED TO BE PSI AND PSI RESPECTIVELY.
- 11 PIPELINES SHALL BE DISINFECTED, FLUSHED AND HYDROSTATICALLY TESTED IN ACCORDANCE WITH EID'S TECHNICAL SPECIFICATION.
- 12 SERVICE INSTALLATIONS IN ROADWAYS WITH CUTS OR FILLS GREATER THAN 6 FEET IN HEIGHT AND SLOPES STEEPER THAN 3:1 SHALL HAVE THE METER BOX SET AT FINISH GRADE NEXT TO THE ROAD IN THE LOCATION DIRECTED BY EID. THE SERVICE LINE SHALL THEN BE EXTENDED 5 FEET BEYOND THE SLOPE CATCH POINT WITH PVC SCHEDULE 40 SIZED TO MATCH THE SERVICE. PLACE STEEL T--POSTS PAINTED BLUE AT THE END OF THIS SERVICE LINE.
- 13 LIDS SHALL BE MARKED "WATER".
- 14 CURBS SHALL BE WET STAMPED WITH A "W" BRAND WHERE WATER SERVICES INTERCEPT.
- 15 CONTRACTOR SHALL HAVE A COPY OF EID'S CONSTRUCTION STANDARDS ON THE JOB.
- 16 REVISIONS TO THE DRAWINGS MUST BE APPROVED IN WRITING BY EID.
- 17 STAKING INFORMATION: MINIMUM SPACING SHALL BE 50 FEET (25 FEET IN RADIUS) UNLESS OTHERWISE DIRECTED BY EID. INFORMATION WILL INCLUDE OFFSET, TYPE OF FACILITY AND CUT TO FLOW LINE ON THE FRONT OF THE STAKE AND ELEVATION AND STATION NUMBER ON THE BACK. ANGLE POINTS AND APPURTENANCES TO BE STAKED INCLUDING LINE AND CURB STAKES AS NEEDED, CUT SHEETS REQUIRED WHERE SURGRADE HAS NOT BEEN MADE.

### SEPARATION NOTES:

1. CONTRACTOR TO MAINTAIN A MINIMUM OF 6' HORIZONTAL SEPARATION BETWEEN THE PROPOSED WATERLINE AND EXISTING SEWERLINE. IF MINIMUM SEPARATION CANNOT BE MAINTAINED EXTRA PROTECTION SHOULD BE UTILIZED.
2. CONTRACTOR TO MAINTAIN A MINIMUM OF 2' VERTICAL SEPARATION BETWEEN THE PROPOSED WATERLINE AND EXISTING/PROPOSED SEWERLINE. IF MINIMUM SEPARATION CANNOT BE MAINTAINED EXTRA PROTECTION SHOULD BE UTILIZED.



GEORGETOWN  
DIVIDE ROTARY  
2006-0062286  
APN 061-362-06

KRISILAS/GEE  
2005-0075878  
APN 061-362-05

<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><th>NO.</th><th>DATE</th><th>DESCRIPTION</th></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </table>	NO.	DATE	DESCRIPTION										<p>DESIGNED: <b>ASM, MAJ</b></p> <p>CHECKED: <b>ASM, MAJ</b></p> <p>APPROVED: <b>ASM, MAJ</b></p> <hr/> <p style="writing-mode: vertical-rl; transform: rotate(180deg);">DOLLAR GENERAL GEORGETOWN, CALIFORNIA</p> <p style="writing-mode: vertical-rl; transform: rotate(180deg);">UTILITY PLAN</p>
NO.	DATE	DESCRIPTION											
<p>JOB NO. 0614023.00</p> <p>SCALE 1"=20'</p> <p>DATE MARCH 2015</p> <p>SHEETS SHEET</p>													
<p>PREPARED UNDER THE DIRECT SUPERVISION OF:</p> <p><i>Andrew S. Mizerek</i> 06-03-15</p> <p>ANDREW S. MIZEREK DATE R.C.E. No. 74456 EXPIRES JUNE 30, 2015</p>													
<p>RECEIVED JUN 12 2015</p> <p>EL DORADO COUNTY DEVELOPMENT SERVICES DEPT</p> <p>811 Know what's below. Call before you dig.</p> <p>REGISTERED PROFESSIONAL ENGINEER ANDREW S. MIZEREK No. 74456 Exp. 06/30/2015 STATE OF CALIFORNIA</p>													
<p>C5</p>													



# STORM WATER SOIL LOSS PREVENTION PLAN

FOR  
**DOLLAR GENERAL**  
 MAIN ST. AND HARKNESS ST.  
 GEORGETOWN, CA 95634

**CIVIL ENGINEER**

TTG ENGINEERS  
 4300 N. MILLER ROAD, SUITE 122  
 SCOTTSDALE, AZ 85251  
 PHONE: 602-371-1333  
 FAX: 602-371-0675  
 CONTACT: MIKE JACKSON, PE

**OWNER**

SIMON CRE ABBIE, LLC  
 5111 N. SCOTTSDALE RD. SUITE 200  
 SCOTTSDALE, AZ 85250  
 PHONE: 480-745-1956  
 FAX: 480-588-4150  
 CONTACT: JOSHUA SIMON

**ARCHITECT**

MPA ARCHITECTS INC.  
 3578 30TH STREET  
 SAN DIEGO, CA 92104  
 V: 619.236.0595  
 F: 619.236.0557  
 CONTACT: LEONARDO DALE  
**DISTURBED AREA**  
 52,539± SF

**BEST MANAGEMENT PRACTICES (BMP'S) NOTES:**

- BEST MANAGEMENT PRACTICES (BMP'S) CONTAINED HEREIN REFLECT MINIMUM REQUIREMENTS. ALTERNATE METHODS PROVIDING EQUAL OR GREATER PROTECTION MAY BE UTILIZED. FOR ADDITIONAL BMP'S REFER TO CALIFORNIA STORMWATER BMP HANDBOOKS, AVAILABLE AT WWW.CABMPHANDBOOKS.COM.
- IN THE EVENT THAT THE DISTURBED AREA EXCEEDS 1.0 ACRES, A FULL SWPPP WILL BE REQUIRED.
- NON-STORMWATER DISCHARGES ARE PROHIBITED FROM ENTERING ANY STORM DRAIN SYSTEM AND/OR STREET.
- POLLUTANTS SHALL BE REMOVED FROM STORMWATER DISCHARGES TO THE MAXIMUM EXTENT PRACTICABLE (MEP) THROUGH DESIGN & IMPLEMENTATION OF THE SWPPP.
- A STANDBY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (NOV. 1 TO APR. 15). NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES OR DAMAGED EROSION CONTROL MEASURES OR SEDIMENT CONTROL MEASURES WHEN RAIN IS IMMINENT.
- PORTABLE SANITARY FACILITIES SHALL BE LOCATED ON RELATIVELY LEVEL GROUND AWAY FROM TRAFFIC AREAS, DRAINAGE COURSES, AND STORM DRAIN INLETS.
- EMPLOYEES, SUBCONTRACTORS AND SUPPLIERS SHALL BE EDUCATED ON ALL BMP'S INCLUDING CONCRETE WASTE STORAGE AND DISPOSAL PROCEDURES.
- SEDIMENT CONTROL PRACTICES SHALL EFFECTIVELY PREVENT A NET INCREASE OF SEDIMENT LOAD IN STORMWATER DISCHARGE.

**CONSTRUCTION NOTES:**

- INSTALL SANDBAG BERM PROTECTION PER EL DORADO COUNTY DEVELOPMENT STANDARD PLATE NO. BMP A. SEE SHEET C7 FOR DETAILS.
- CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE PER EL DORADO COUNTY DEVELOPMENT STANDARD PLATE NO. BMP C. SEE SHEET C7 FOR DETAILS.
- PROVIDE EROSION CONTROL AS NECESSARY PER EL DORADO COUNTY DEVELOPMENT STANDARD PLATE NO. BMP D. SEE SHEET C7 FOR DETAILS.
- PROVIDE A CONCRETE WASTE DISPOSAL AREA PER EL DORADO COUNTY DEVELOPMENT STANDARD PLATE NO. BMP F. EXACT LOCATION OF THE EQUIPMENT MAINTENANCE AREA TO BE DETERMINED BY CONTRACTOR. SEE SHEET C7 FOR DETAILS.
- CONSTRUCT A SILT FENCE PER EL DORADO COUNTY DEVELOPMENT STANDARD PLATE NO. BMP H. SEE SHEET C7 FOR DETAILS.

**BERM PROTECTION NOTE:**

- CONTRACTOR TO INSTALL SANDBAG BERM PROTECTION IN THESE AREAS IMMEDIATELY AFTER THE CONSTRUCTION OF THE PROPOSED CURB, GUTTER AND CURB OPENING.

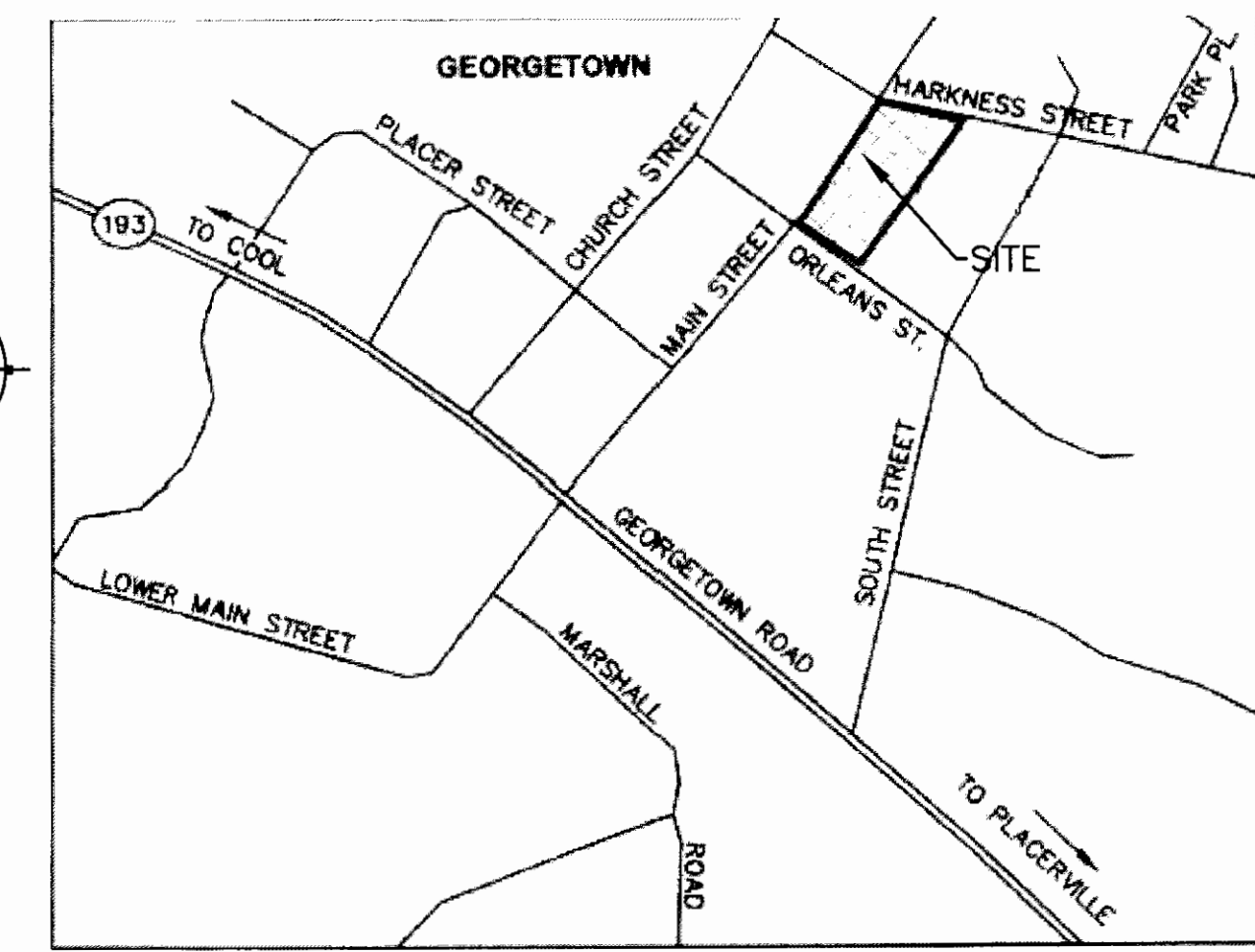
RECEIVED  
 JUN 12 2015  
 EL DORADO COUNTY  
 DEVELOPMENT SERVICES DEPT



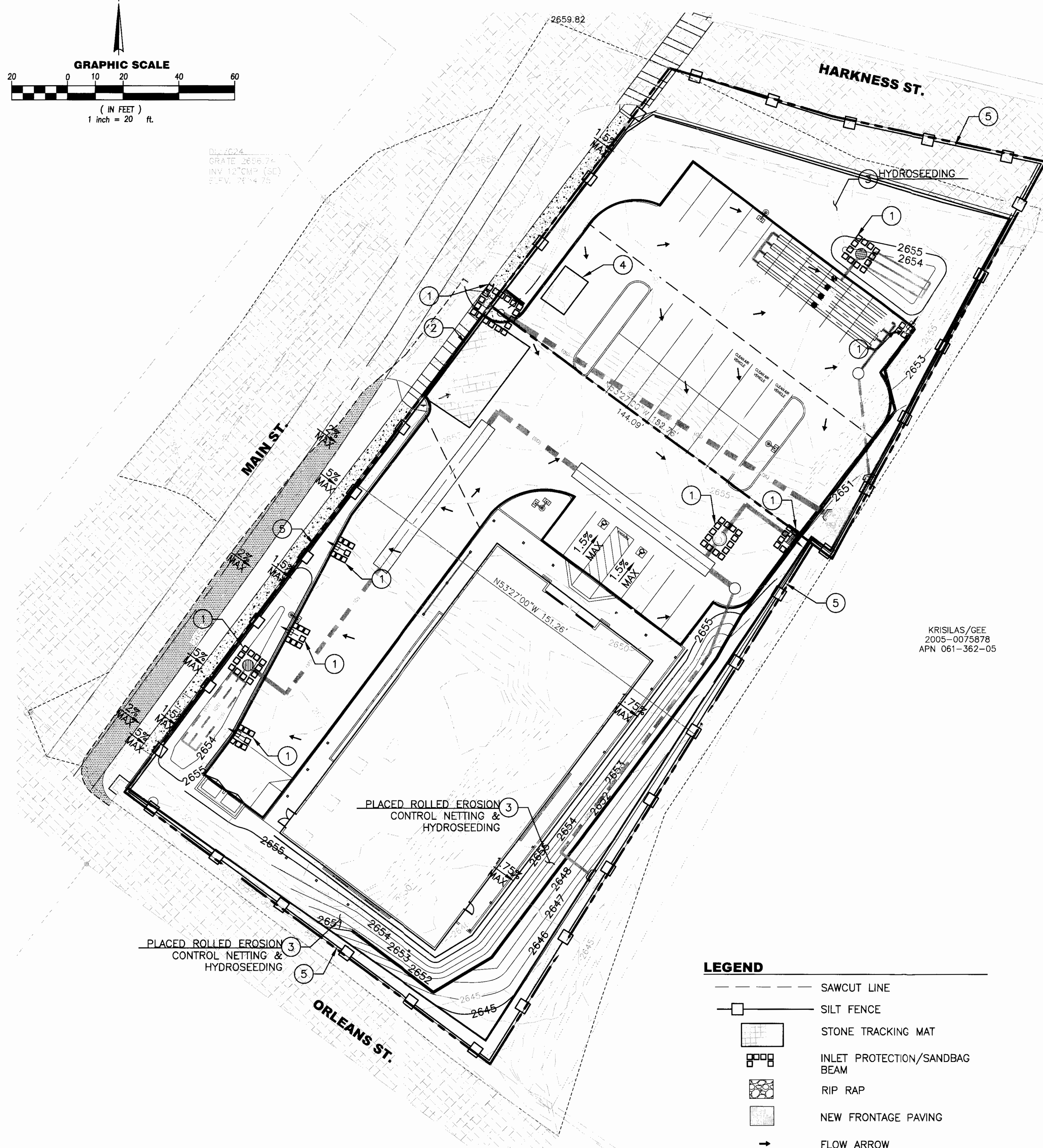
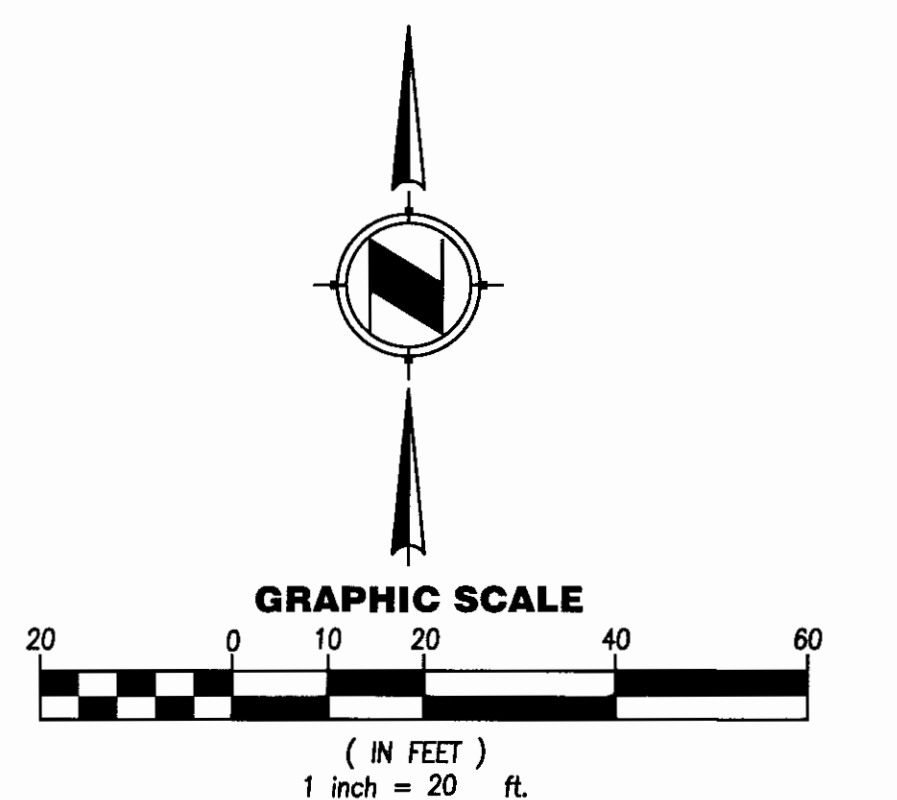
PREPARED UNDER THE DIRECT SUPERVISION OF:  
 Andrew S. Mizerek  
 R.C.E. No. 74456  
 EXPIRES JUNE 30, 2015



JOB NO.	0614023.00
SCALE	1"=20'
DATE	MARCH 2015
SHEETS	C6



**VICINITY MAP**  
 NTS

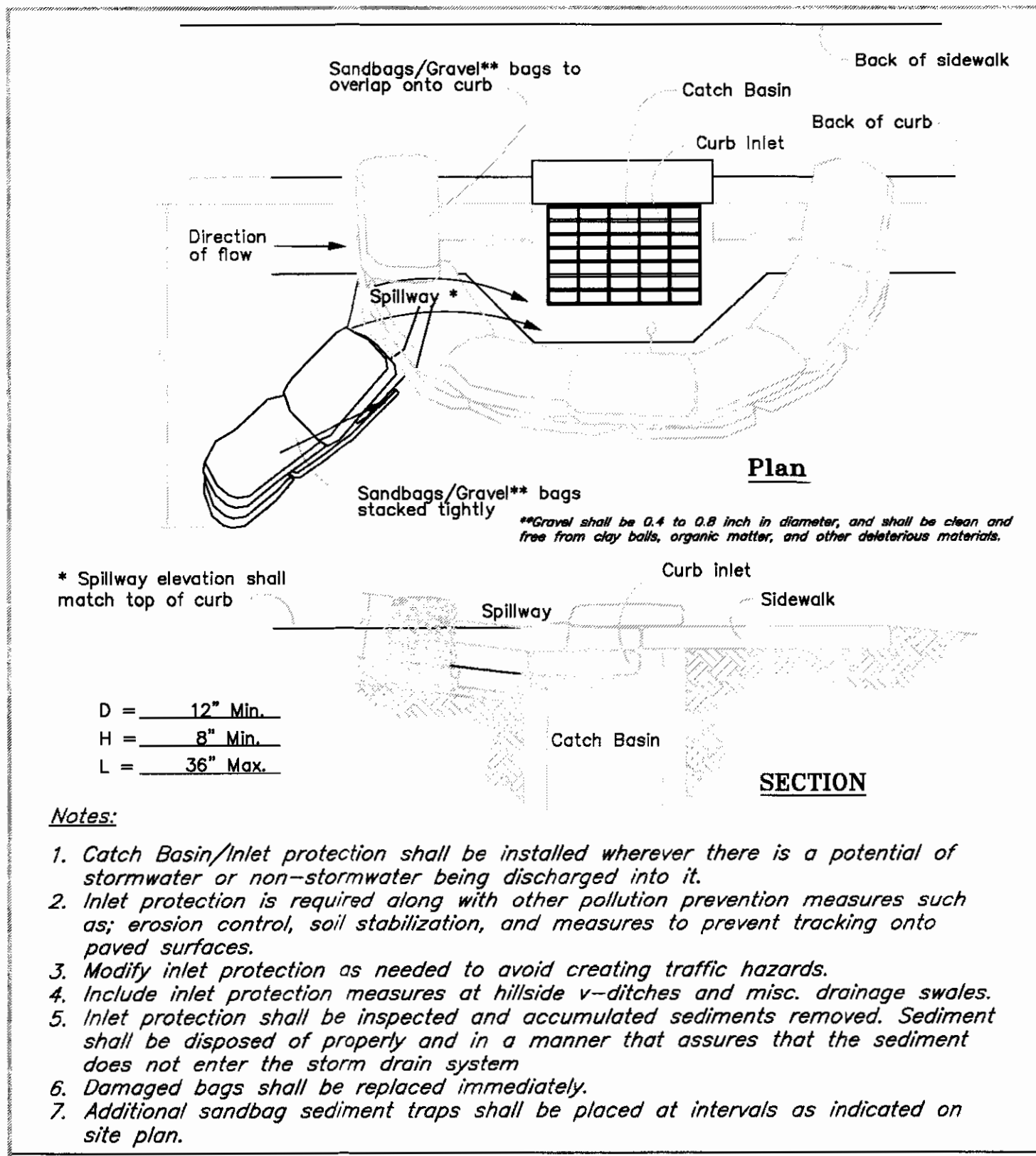


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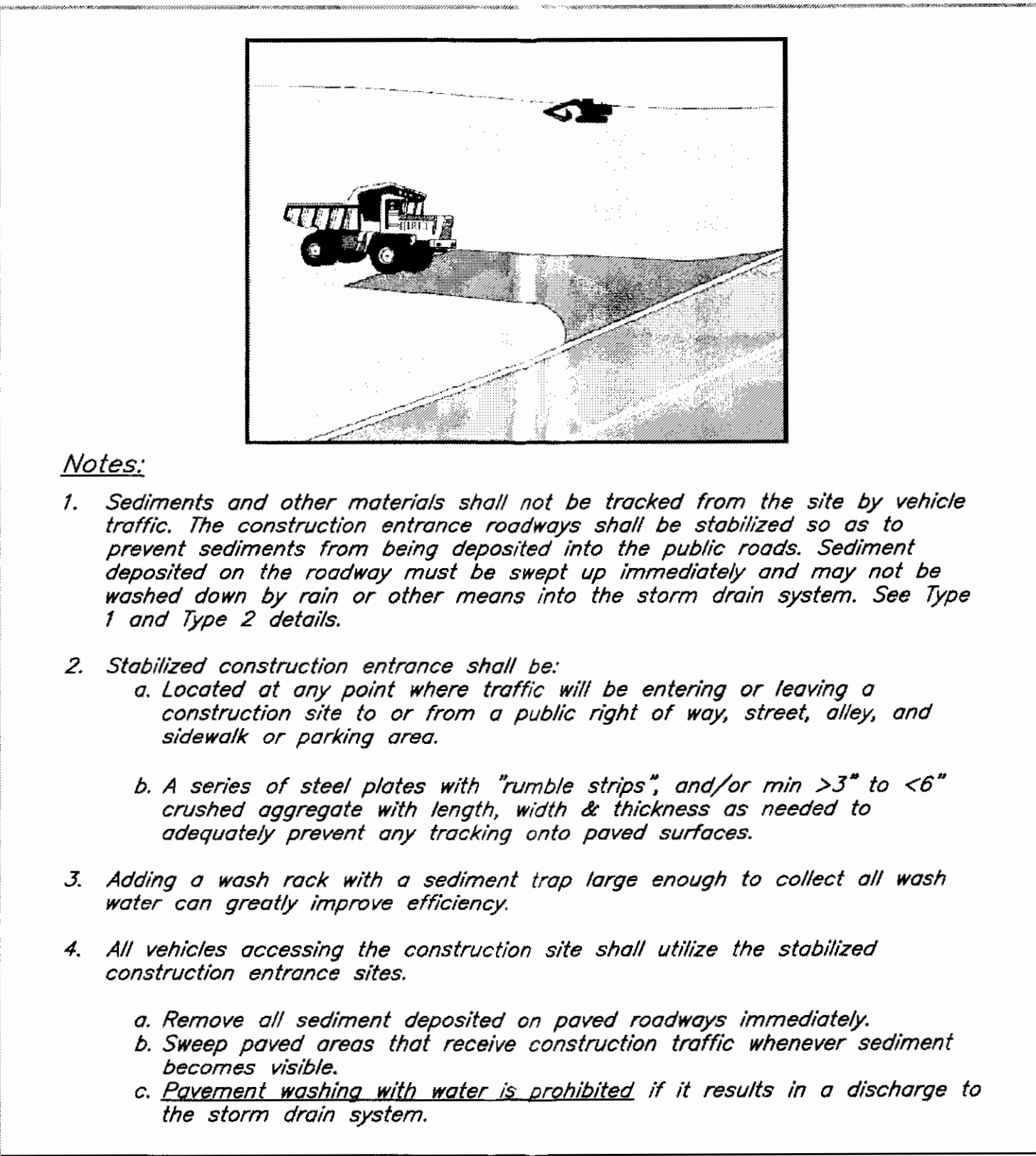
	SAWCUT LINE
	SILT FENCE
	STONE TRACKING MAT
	INLET PROTECTION/SANDBAG BEAM
	RIP RAP
	NEW FRONTAGE PAVING
	FLOW ARROW

KRISILAS/GEE  
 2005-0075878  
 APN 061-362-05

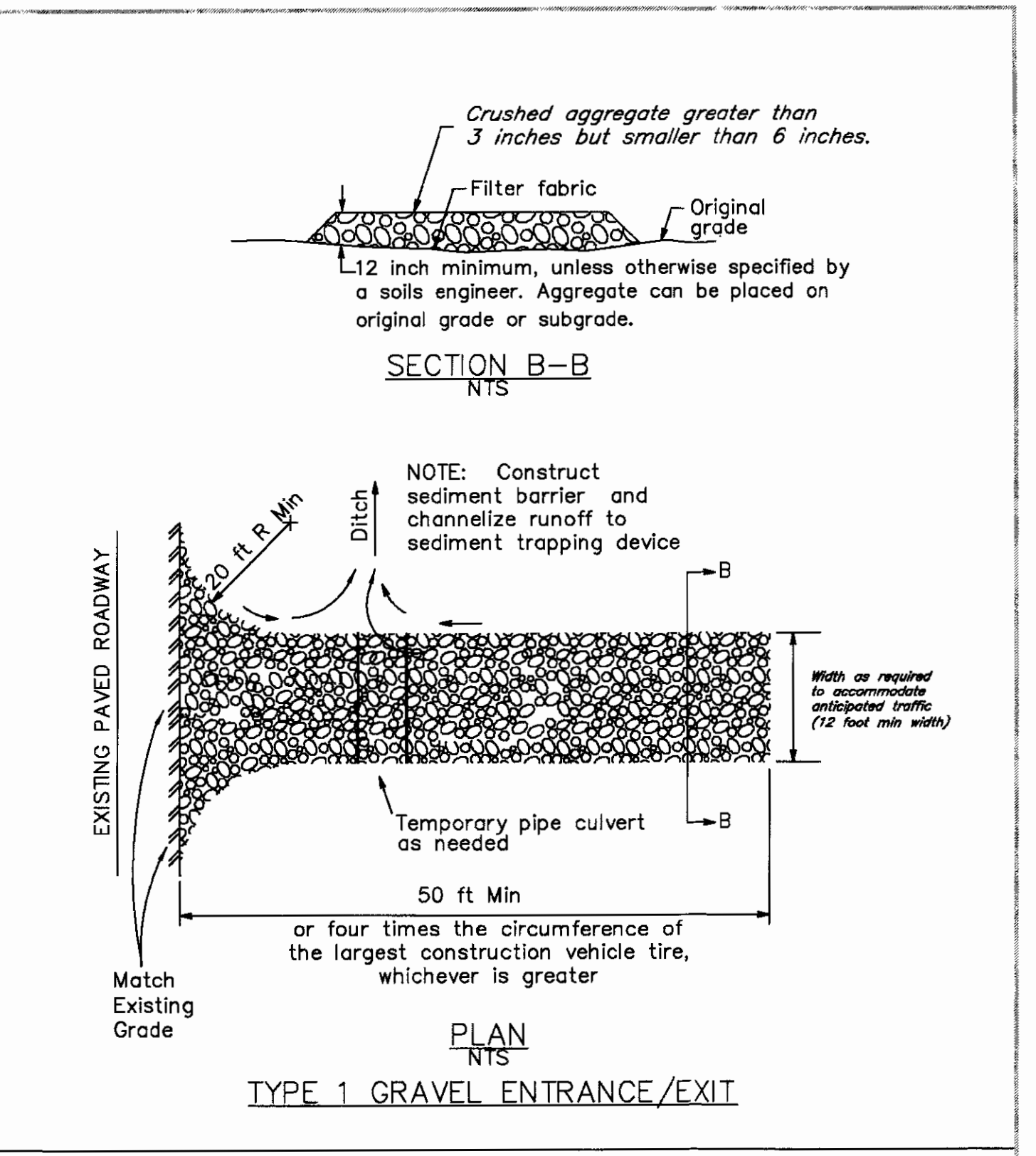




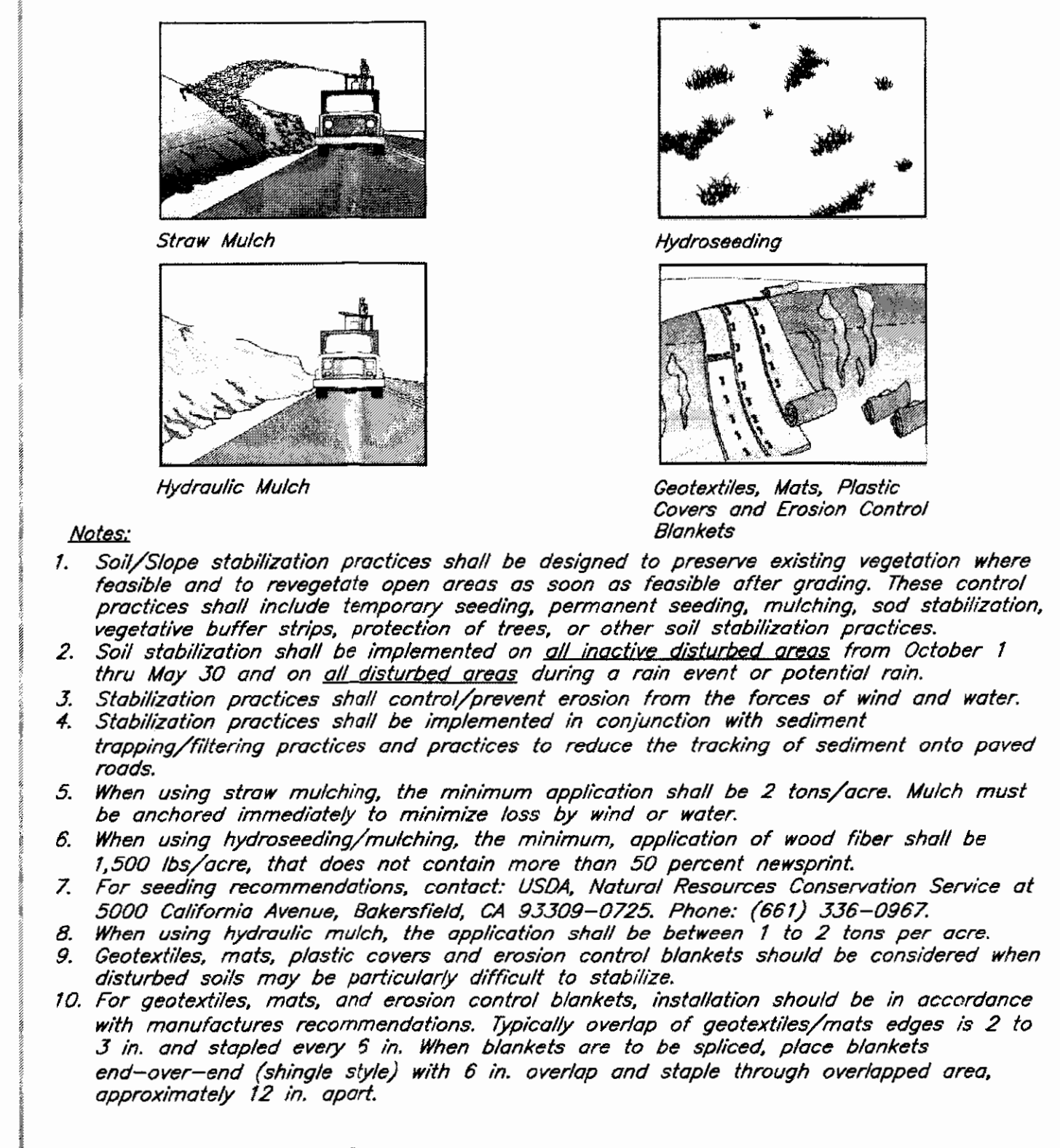
<b>A CATCH BASIN/INLET PROTECTION</b>			
Revisions	DATE	STATE OF CALIFORNIA	NPDES BMP
DATE	DESIGNED BY	DEVELOPMENT	SEDIMENT AND EROSION CONTROL
DATE	DRAWN BY	STANDARD	BMP A
DATE	CHECKED BY		



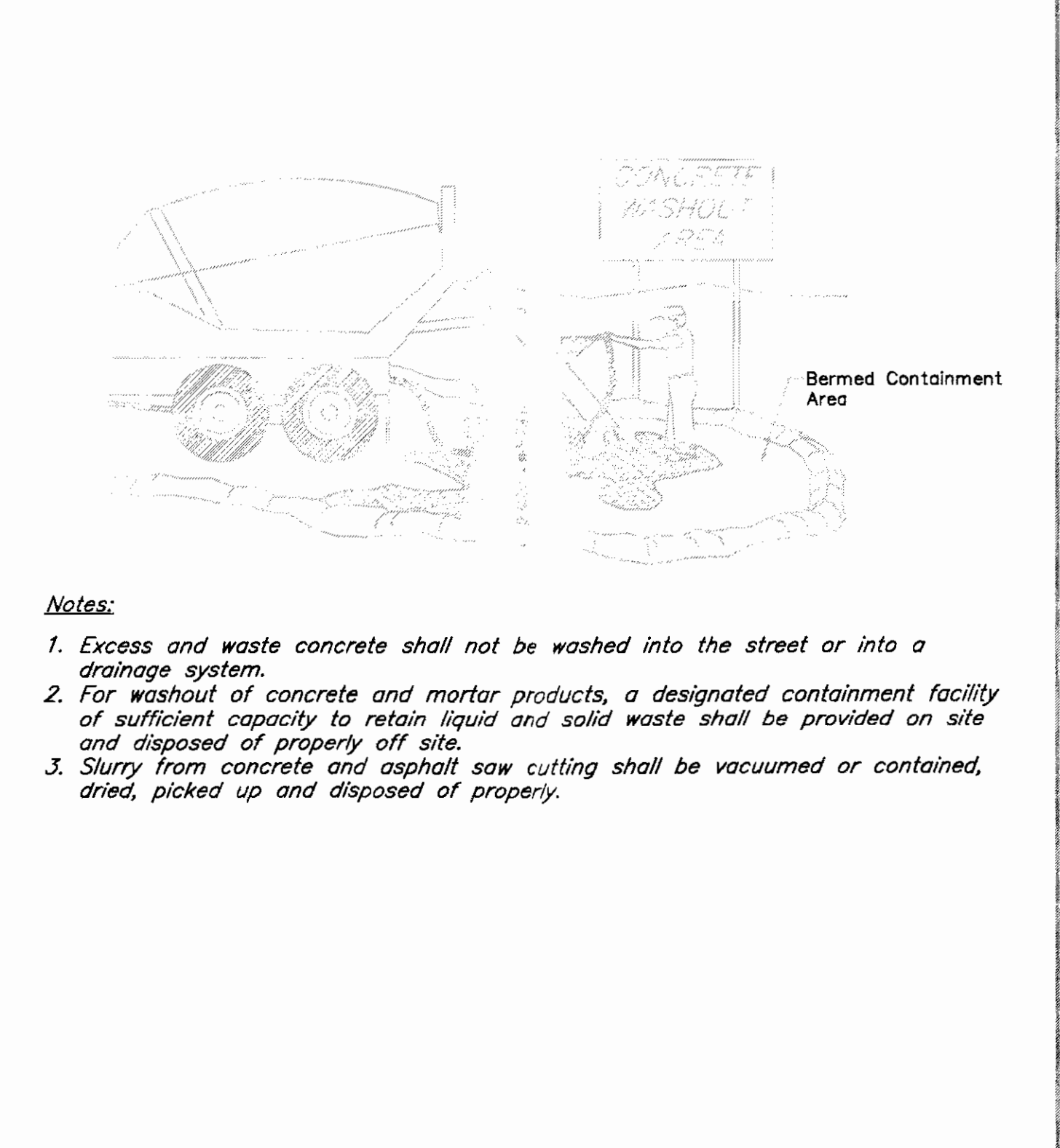
<b>C STABILIZED CONSTRUCTION ENTRANCE/EXIT</b>			
Revisions	DATE	STATE OF CALIFORNIA	NPDES BMP
DATE	DESIGNED BY	DEVELOPMENT	SEDIMENT AND EROSION CONTROL
DATE	DRAWN BY	STANDARD	BMP C
DATE	CHECKED BY		



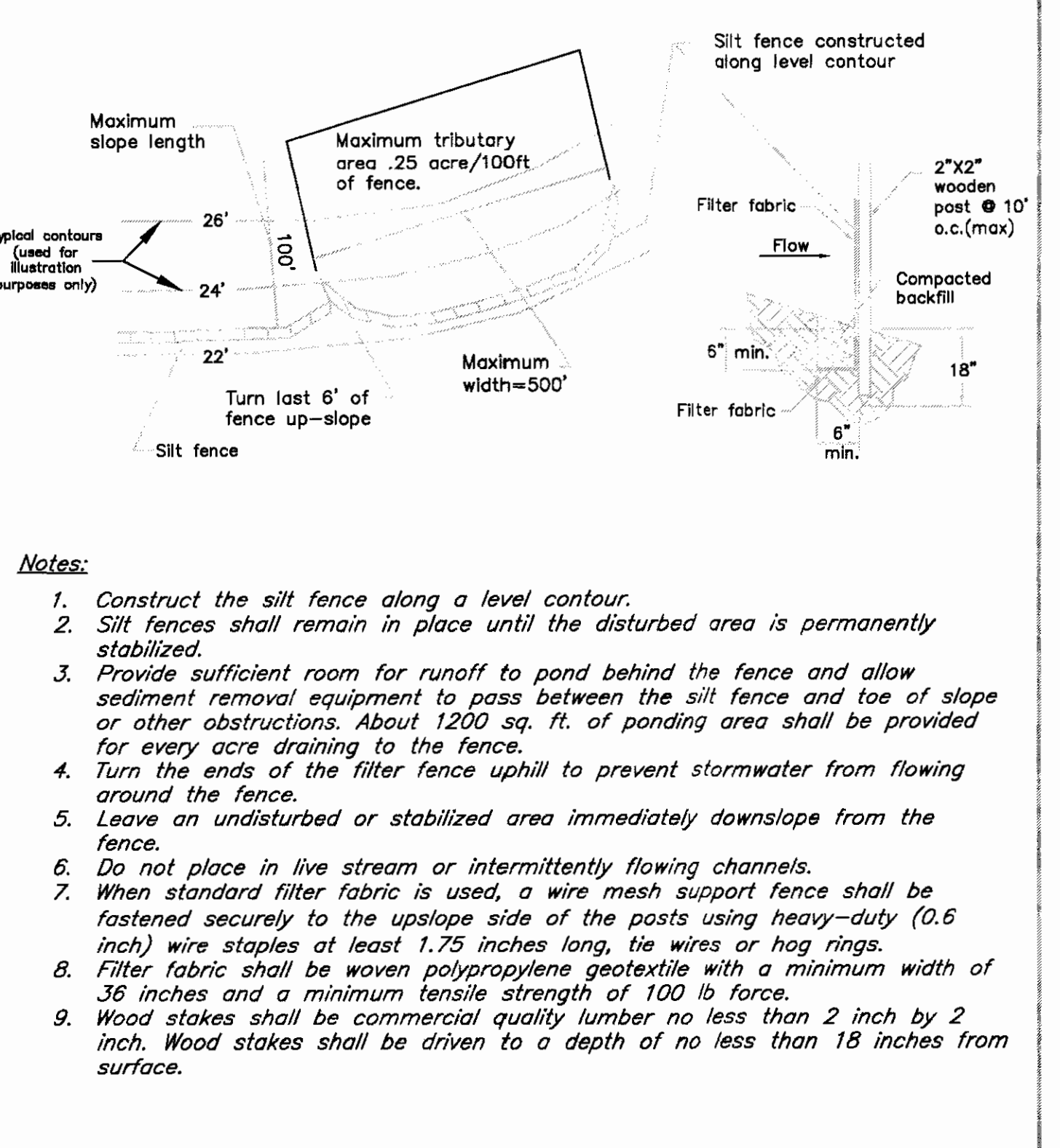
<b>C-1 STABILIZED CONSTRUCTION ENTRANCE/EXIT</b>			
Revisions	DATE	STATE OF CALIFORNIA	NPDES BMP
DATE	DESIGNED BY	DEVELOPMENT	SEDIMENT AND EROSION CONTROL
DATE	DRAWN BY	STANDARD	BMP C-1
DATE	CHECKED BY		



<b>D EROSION CONTROL</b>			
Revisions	DATE	STATE OF CALIFORNIA	NPDES BMP
DATE	DESIGNED BY	DEVELOPMENT	SEDIMENT AND EROSION CONTROL
DATE	DRAWN BY	STANDARD	BMP D
DATE	CHECKED BY		



<b>F CONCRETE WASHOUT MANAGEMENT</b>			
Revisions	DATE	STATE OF CALIFORNIA	NPDES BMP
DATE	DESIGNED BY	DEVELOPMENT	SEDIMENT AND EROSION CONTROL
DATE	DRAWN BY	STANDARD	BMP F
DATE	CHECKED BY		



<b>H SILT FENCE</b>			
Revisions	DATE	STATE OF CALIFORNIA	NPDES BMP
DATE	DESIGNED BY	DEVELOPMENT	SEDIMENT AND EROSION CONTROL
DATE	DRAWN BY	STANDARD	BMP H
DATE	CHECKED BY		

DOLLAR GENERAL  
GEORGETOWN, CALIFORNIA  
STORMWATER SOIL LOSS PREVENTION PLAN DETAILS

RECEIVED  
JUN 12 2015  
EL DORADO COUNTY  
DEVELOPMENT SERVICES DEPT

811  
Know what's below.  
Call before you dig.

TTG

PREPARED UNDER THE DIRECT SUPERVISION OF:  
*[Signature]*  
06-03-15  
ANDREW S. MIZEREK DATE  
R.C.E. No. 74456  
EXPIRES JUNE 30, 2015

REGISTERED PROFESSIONAL ENGINEER  
ANDREW S. MIZEREK  
No. 74456  
Exp. 06/30/2015  
STATE OF CALIFORNIA  
CIVIL

JOB NO.	0614023.00
SCALE	
DATE	MARCH 2015
SHEETS	C7







Path: F:\6604\TTG Projects\2014\0614023.00 - DG Georgetown\Improvement Plans\0614023.00-C9.dwg plotted: 6/3/2015 11:08 AM saved: 6/2/2015 11:27:54 AM

- GENERAL NOTES**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
  - DIMENSIONS MARKED WITH ( ) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
  - FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. [www.ContechES.com](http://www.ContechES.com)
  - CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
  - STRUCTURE SHALL MEET AASHTO HS20 AND CASTINGS SHALL MEET HS20 (AASHTO M 306) LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
  - PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.

- INSTALLATION NOTES**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
  - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
  - CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
  - CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
  - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

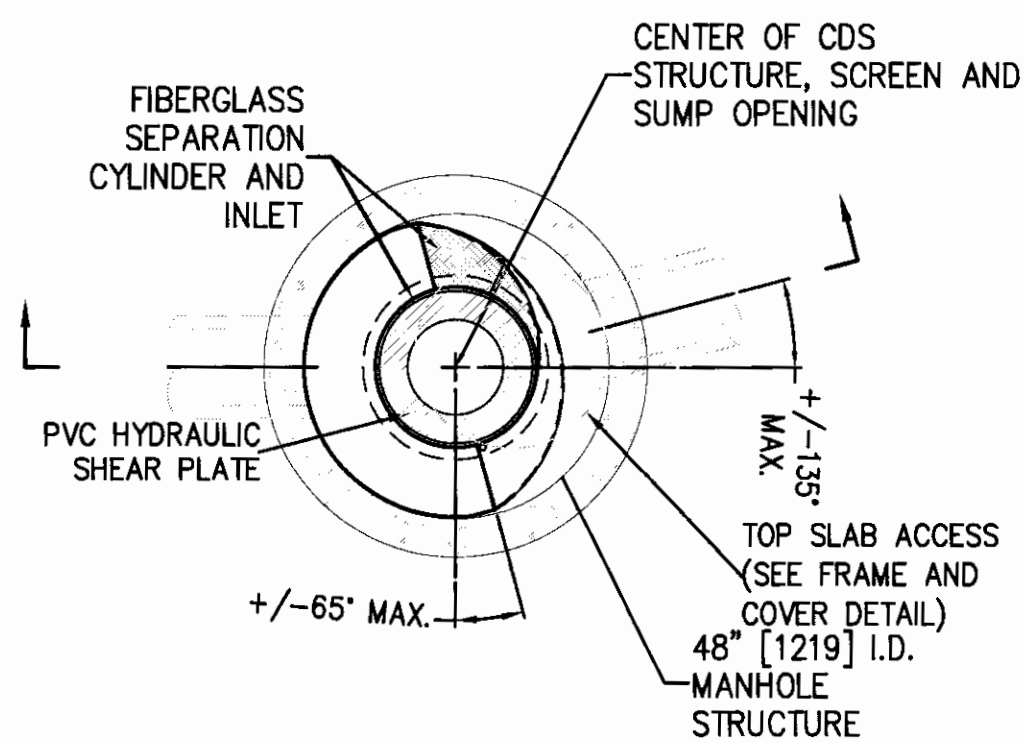
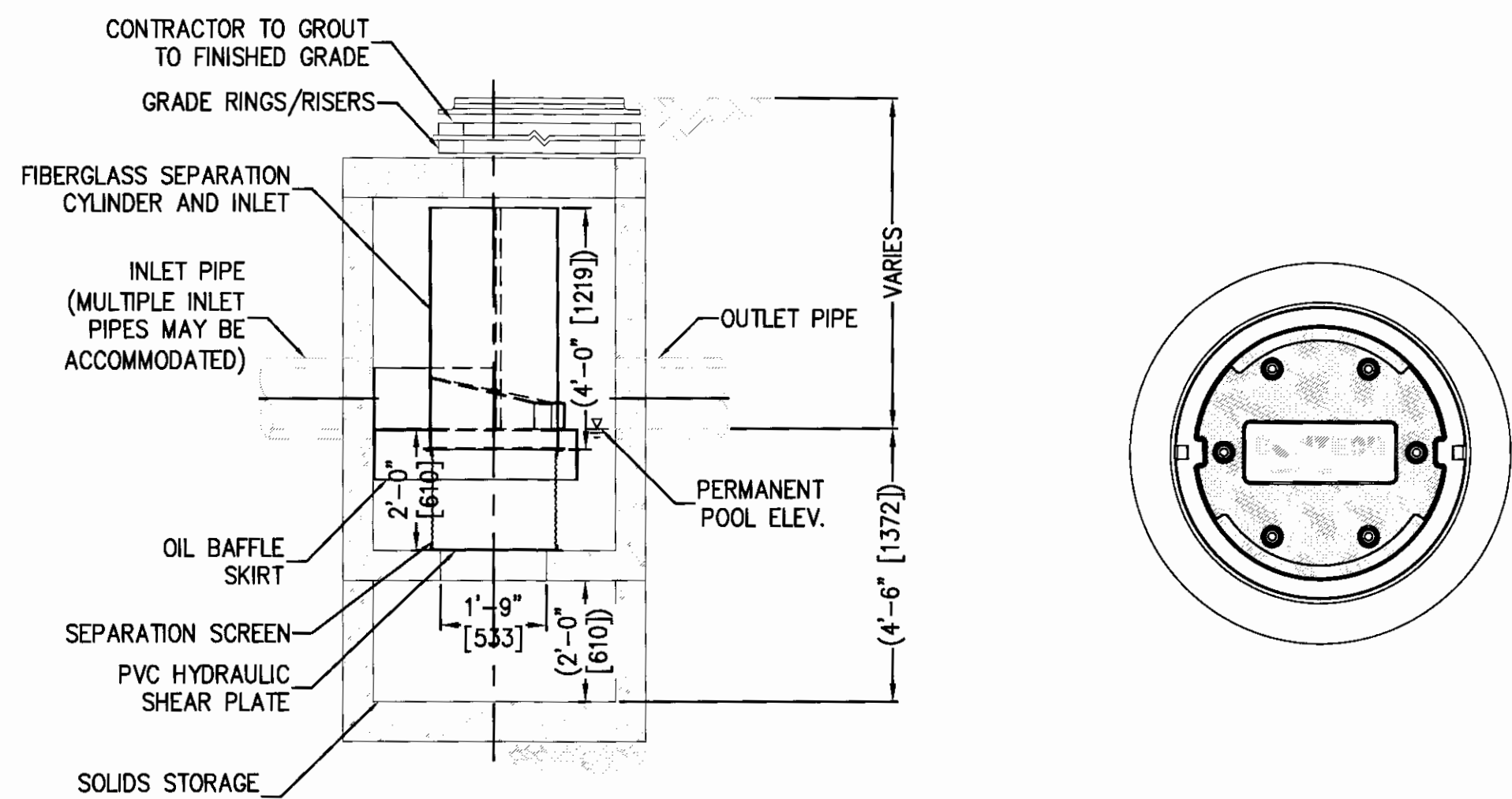
**CDS2015-4-C DESIGN NOTES**

CDS2015-4-C RATED TREATMENT CAPACITY OF 0.7 CFS [19.8 L/S] OR PER LOCAL REGULATIONS. MAXIMUM HYDRAULIC INTERNAL BYPASS CAPACITY IS 10.0 CFS [283 L/S] IF THE SITE CONDITIONS EXCEED 10.0 [283 L/S] CFS. AN UPSTREAM BYPASS STRUCTURE IS REQUIRED.

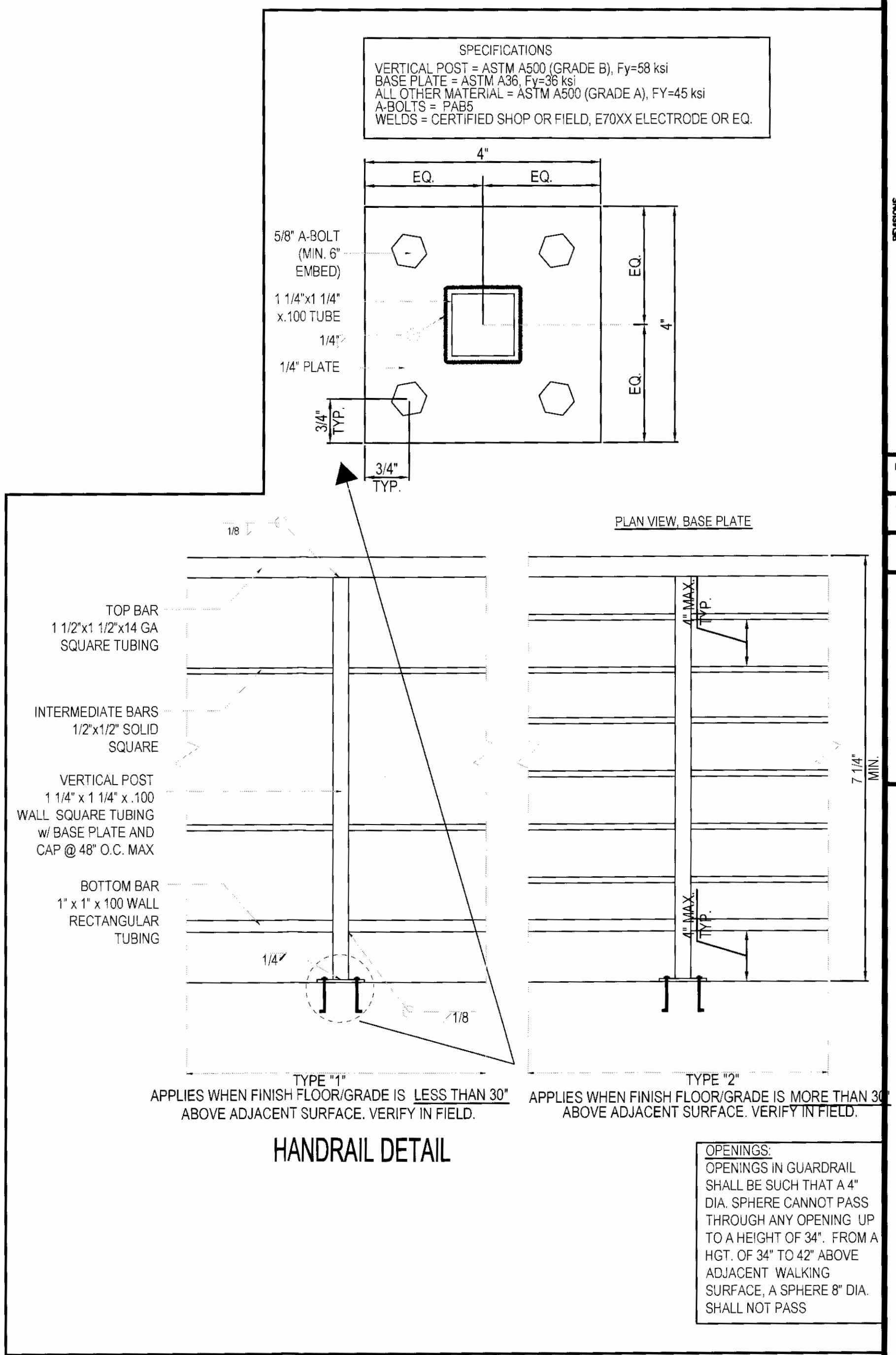
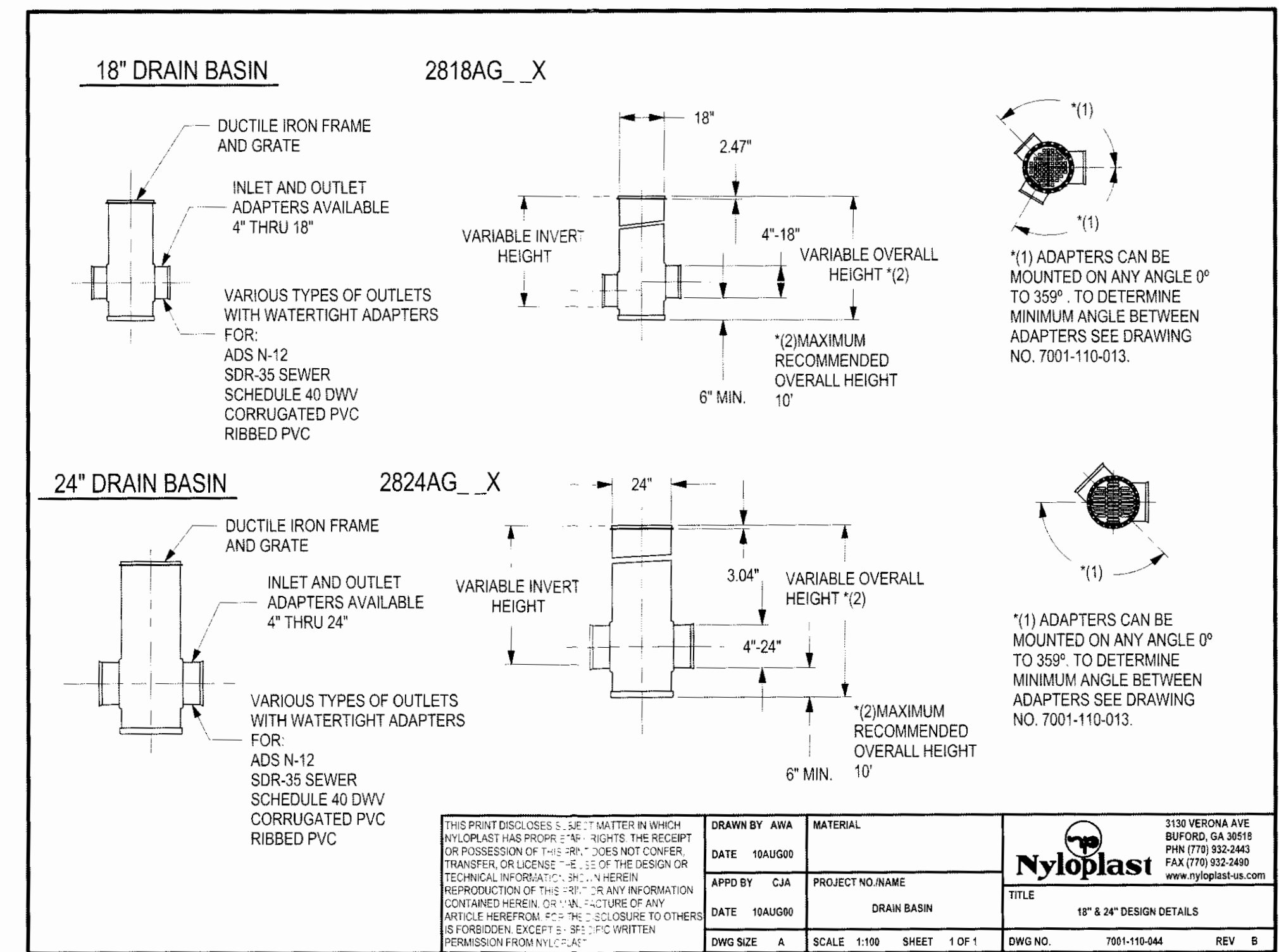
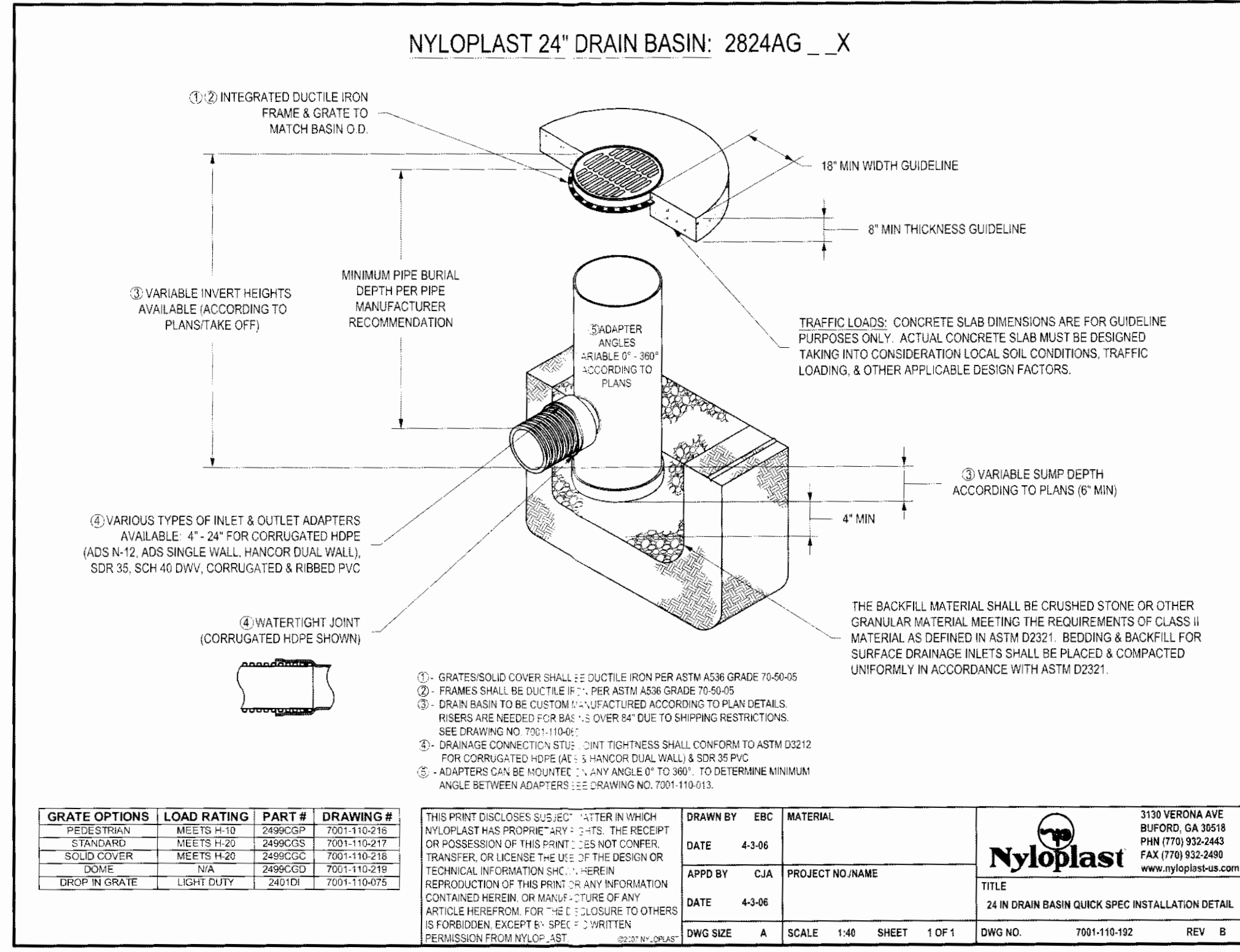
THE STANDARD CDS2015-4-C CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

**CONFIGURATION DESCRIPTION**

- GRATED INLET ONLY (NO INLET PIPE)
- GRATED INLET WITH INLET PIPE OR PIPES
- CURB INLET ONLY (NO INLET PIPE)
- CURB INLET WITH INLET PIPE OR PIPES
- SEPARATE OIL BAFFLE (SINGLE INLET PIPE REQUIRED FOR THIS CONFIGURATION)
- SEDIMENT WEIR FOR NJDEP / NJCAT CONFORMING UNITS



CONTECH UNIT  
CDS2015-4-C



RECEIVED  
JUN 12 2015  
BL COUNTY  
DEVELOPMENT SERVICES DEPT



PREPARED UNDER THE DIRECT SUPERVISION OF:  
 ANDREW S. MIZEREK DATE 06-03-15  
 R.C.E. No. 74456  
 EXPIRES JUNE 30, 2015



DESCRIPTION	
DATE	
BY	
DESIGNED	ASM, MAJ
CHECKED	ASM, MAJ
APPROVED	ASM, MAJ
DOLLAR GENERAL GEORGETOWN, CALIFORNIA	
DETAILS	
JOB NO.	0614023.00
SCALE	
DATE	MARCH 2015
SHEETS	C9









**EXHIBIT 'D'**

**Lot Merger**

All that certain piece or parcel of land situate in the West Half of the Northwest Quarter of Section 11, Township 12 North, Range 10 East, M.D.B. & M., in the County of El Dorado, State of California, being a portion of the tract of land know as Block 1 of the Town site of Georgetown and the Parcel map recorded in Book 6 of Parcel Maps, at Page 113, recorded on October 4, 1974, El Dorado County Records, being more particularly described as follows:

BEGINNING at the southwest corner of parcel 2 of said Parcel Map and the north Right of Way line of Orleans Street;  
thence North 31°52'20" East along the westerly line of said parcel 2, a distance of 219.13 feet to the southerly line of parcel 1 of said parcel map;  
thence along said southerly line South 53°27'00" East a distance of 8.67 feet to the easterly line of said parcel 1;  
thence along said easterly line North 28°23'00" East a distance of 161.95 feet to the northerly line of said parcel 1 and the centerline of Harkness Street;  
thence along said northerly North 77°54'00" West a distance of 78.34 feet to an angle point;  
thence continuing along said northerly line North 73°38'00" West a distance of 61.37 feet to the westerly line of said parcel 1 and the east Right of Way line of Main Street;  
thence along said westerly line and east Right of Way line South 37°00'00" West a distance of 106.71 feet;  
thence leaving said westerly line of parcel 1 and continuing along said east Right of Way line South 37°00'00" West a distance of 218.41 feet to the southwest corner of said Block 1 and the north Right of Way line of Orleans Street;  
thence along said north line South 53°27'00" East a distance of 163.68 feet to the Point of Beginning.

**Affects portions of APN 061-362-01, 061-362-02 & 061-362-04.**

Containing an area of 1.21 acres, more or less.

The basis of bearings is identical to Book 6 of Parcel maps at Page 113, El Dorado County Records.

The above-described parcel is shown on Exhibit 'D1' attached hereto and made a part hereof.



APPROVED  
EL DORADO COUNTY  
PLANNING COMMISSION  
*Board of Supervisors*  
DATE April 5, 2016

BY Roger Trout/cont  
EXECUTIVE SECRETARY

\_\_\_\_\_  
Benjamin James Bardakjian      Date  
Licensed Land Surveyor

December 18, 2014

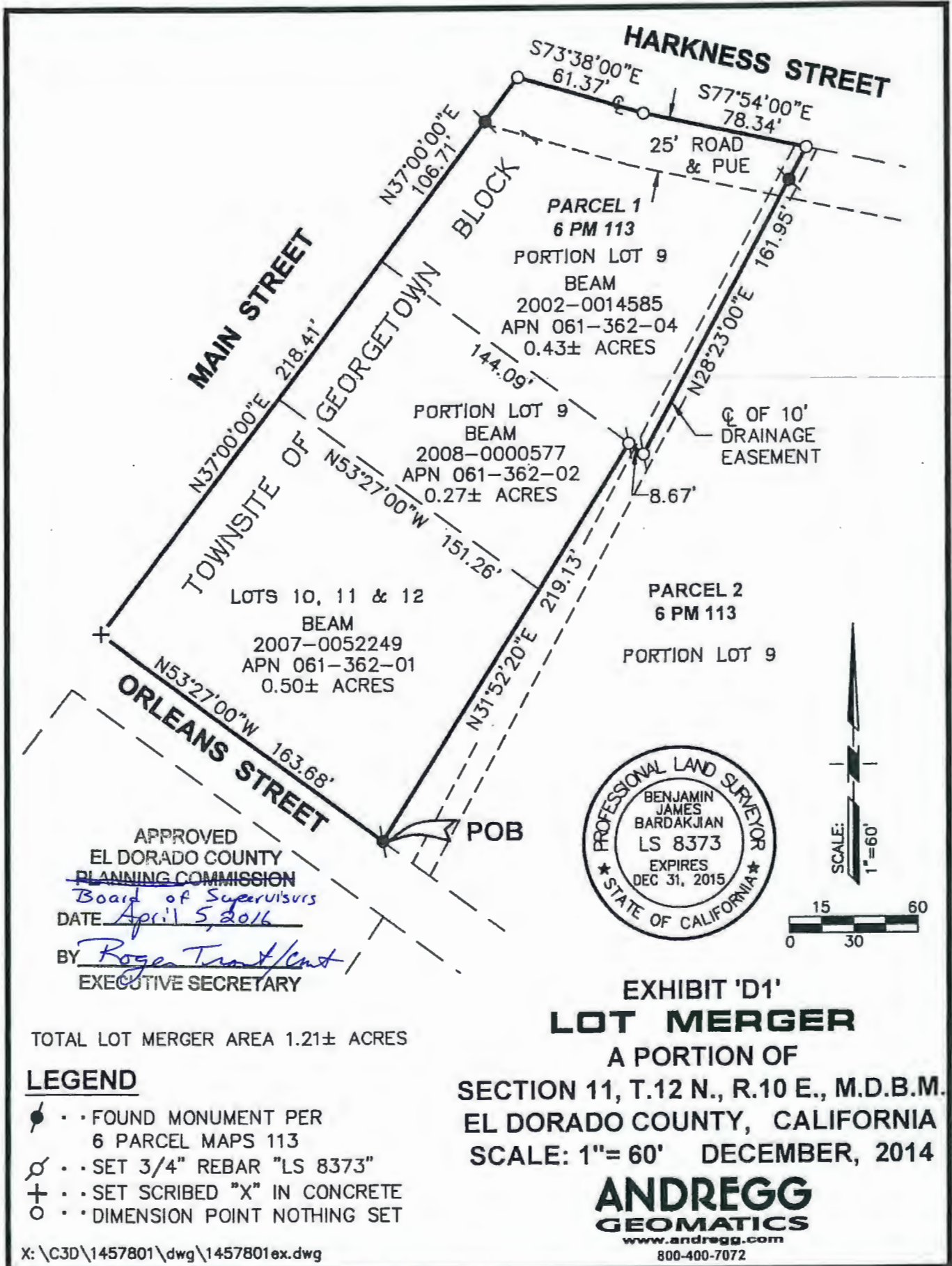
Page 1 of 1

X:\C3D\1457801 docs\Georgetown-Block 1 Lot Merger.doc

**Exhibit J-1**

15-1409 F 23 of 52





APPROVED  
 EL DORADO COUNTY  
 PLANNING COMMISSION  
 Board of Supervisors  
 DATE April 5, 2016  
 BY Roger Trout/Cmt  
 EXECUTIVE SECRETARY



**EXHIBIT 'D1'**  
**LOT MERGER**

A PORTION OF  
 SECTION 11, T.12 N., R.10 E., M.D.B.M.  
 EL DORADO COUNTY, CALIFORNIA  
 SCALE: 1"= 60' DECEMBER, 2014

**ANDREGG**  
**GEOMATICS**  
 www.andregg.com  
 800-400-7072

TOTAL LOT MERGER AREA 1.21± ACRES


**LEGEND**

- • FOUND MONUMENT PER 6 PARCEL MAPS 113
- ⊗ • • SET 3/4" REBAR "LS 8373"
- + • • SET SCRIBED "X" IN CONCRETE
- • • DIMENSION POINT NOTHING SET

X:\C3D\1457801\dwg\1457801ex.dwg



# PROPOSED DOLLAR GENERAL DOMESTIC WASTE WATER DISPOSAL SYSTEM

PREPARED BY:  
  
 4729 W. JACQUELINE BLVD  
 FRESNO, CA 93722

PROPOSED DOLLAR GENERAL  
 SWC MAIN STREET &  
 HARKNESS STREET  
 GEORGETOWN, CA

Exhibit K-1

1. GENERAL
  - A. ALL SEPTIC TANKS MUST BE ACCEPTED BY IAPMO AS MEETING STANDARD PS-1.
  - B. ALL SEPTIC TANKS SHALL BE OF MINIMUM TWO COMPARTMENT CONSTRUCTION. THE FIRST SHALL BE TWICE THE CAPACITY OF THE SECOND AND SEPARATED BY A BAFFLE.
  - C. TANKS MUST HAVE A STRENGTH CAPABLE OF WITHSTANDING ANTICIPATED LOADS.
2. MATERIALS
  - A. THE ENGINEER ASSUMES CONCRETE SEPTIC PUMP & HOOT TANKS IN THESE CALCULATIONS. IF THE CONTRACTOR DESIRES TO USE A TANK MATERIAL OTHER THAN CONCRETE, THEN THE CONTRACTOR MUST SUPPLY TO THE ENGINEER THE SPECIFICATIONS FOR ANCHORING AND BALLASTING.
  - B. METAL OR WOODEN TANKS ARE PROHIBITED.
  - C. IF SEPTIC OR PUMP TANKS ARE MADE FROM HIGH DENSITY POLYETHYLENE (HDPE) OR FIBERGLASS, THEN TANKS MUST BE ANCHORED TO PREVENT HEAVING OR BUOYANT FORCES.
  - D. IF SEPTIC OR SUMP TANKS ARE MADE FROM HDPE OR FIBERGLASS, THEN PROPER SIDEWALL PROTECTION MUST BE INSTALLED TO PREVENT SIDEWALL FAILURE. SUFFICIENT PROTECTION MUST BE INSTALLED TO PREVENT VEHICLES FROM CROSSING OVER THE TOP OF THE HDPE OR FIBERGLASS TANKS.
  - E. ALL SEPTIC AND PUMP TANKS SHALL BE WATER TIGHT. CONCRETE TANKS SHALL BE A MONOLITHIC CASTING OR JOINTS SEALED WITH THOROPLUS OR OTHER APPROVED SEALANTS. CONCRETE SUMPS SHALL BE PROTECTED WITH "XYPEX", "THOROSEAL" OR "ULTRA-BLOC" (OR EQUIVALENT) ON THE INSIDE. ASPHALT EMULSION OR TAR SHALL NOT BE USED AS JOINT SEALANTS.
3. SUBMITTAL TO ENGINEER
  - A. IF TANKS ARE MADE FROM HDPE OR FIBERGLASS, THEN PROPER SIDEWALL PROTECTION MUST BE INSTALLED TO PREVENT SIDEWALL FAILURE. SUFFICIENT PROTECTION MUST BE INSTALLED TO PREVENT VEHICLES FROM CROSSING OVER THE TOP OF THE HDPE OR FIBERGLASS TANKS.
  - B. ALL TANKS SHALL BE WATER TIGHT. CONCRETE TANKS SHALL BE A MONOLITHIC CASTING OR JOINTS SEALED WITH THOROPLUS OR OTHER APPROVED SEALANTS. CONCRETE SUMPS SHALL BE PROTECTED WITH "XYPEX", "THOROSEAL" OR "ULTRA-BLOC" ON THE INSIDE. ASPHALT EMULSION OR TAR SHALL NOT BE USED AS JOINT SEALANTS.
4. PLACEMENT
  - A. SEPTIC PUMP & HOOT TANKS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATION.
  - B. THE TANK SHALL BE INSTALLED ON A SOLID LEVEL BED.
  - C. SOIL AROUND THE TANK MUST BE COMPACTED; SAND MUST BE JETTED.
5. ACCESS RISERS
  - A. ACCESS TO EACH TANK COMPARTMENT MUST BE PROVIDED BY A MANHOLE AT LEAST TWENTY INCHES IN DIAMETER AND HAVING A DURABLE HANDLE TO FACILITATE REMOVAL TO ALLOW ACCESS FOR INSPECTION AND MAINTENANCE OF THE TANK AND OF SUFFICIENT SIZE FOR REMOVAL OF THE MANHOLE COVER.
  - B. A RISER MUST EXTEND FROM EACH MANHOLE COVER TO OR ABOVE THE SURFACE OF THE GROUND. THE RISER MUST BE OF A SIZE LARGER THAN THE MANHOLE COVER, BE BOTH GAS AND WATERTIGHT, AND BE CONSTRUCTED OF DURABLE MATERIAL AND SHALL BE CAPABLE OF WITHSTANDING ANTICIPATED LOADS FROM SOIL BACKFILL.
  - C. CONCRETE RISERS SHALL BE SEALED WITH XYPEX OR APPROVED EQUAL.
  - D. ALL RISERS SHALL BE FITTED WITH AIRTIGHT DURABLE LIDS THAT HAVE A LOCKING MECHANISM TO PREVENT UNWANTED ENTRY AND PREVENT INSECT/RODENT ACCESS.
6. SEPTIC TANK CONNECTIONS
  - A. ALL CONNECTIONS FROM BUILDINGS TO TANKS SHALL BE MADE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE UNIFORM PLUMBING CODE.
  - B. GRAVITY LINES FOR SEWAGE DISPOSAL SYSTEMS MUST BE FOUR INCHES IN DIAMETER.
  - C. FOR ALL GRAVITY LINES, INSTALL CLEANOUTS ON ALL ELLS AND EVERY 100 FEET ON STRAIGHT RUNS.
  - D. ALL SOLID PIPE JOINTS AND CONNECTIONS MUST BE GLUED, CEMENTED, OR MADE WITH AN ELASTOMERIC SEAL SO AS TO BE WATERTIGHT.
  - E. WHERE ENTERING THE TANK, A MINIMUM OF 4 INCH DIAMETER PVC SCHEDULE 40 STUB SHALL BE CAST IN PLACE OR SEALED WITH THOROPLUS OR OTHER WATERPROOF MATERIAL.
  - F. BRASS TYPE FITTINGS, VALVES, AND PIPING ARE PROHIBITED IN SEPTIC AND SUMP TANKS.
  - G. EFFLUENT FILTERS ARE TO BE USED IN ALL SEPTIC TANKS AND SHALL HAVE A FILTRATION OF NO GREATER THEN 1/8", OR AS SPECIFIED ON THE PLANS.
7. ELECTRICAL CONNECTIONS
  - A. ALL ELECTRICAL CONDUITS AND FITTINGS ENTERING THE SUMP SHALL BE GAS TIGHT AND WATER TIGHT PVC, METALLIC GAS TIGHT FITTINGS ARE NOT ALLOWED.
  - B. ALL WIRES SHALL BE INDIVIDUALLY SEALED AT THE JUNCTION BOX OR ALARM/CONTROL PANEL AS APPROPRIATE. GROUT OR ASPHALT EMULSION IS NOT AN ACCEPTABLE SEALANT.
  - C. THE PUMP POWER LEAD AND THE NODE CONTROL WIRES SHALL NOT BE RUN IN A COMMON CONDUIT.
  - H. NODE CONTROLS FOR THE PUMP SHALL BE MOUNTED TO A SCHEDULE 40 PVC POLE MOUNTED INSIDE THE PUMP CHAMBER THAT CAN BE REMOVED FOR MAINTENANCE.
  - I. CONTROL PANEL REQUIRES 110 VOLT, SINGLE PHASE ELECTRICAL CONNECTION.
8. CONTROL PANEL
  - A. ALL CONTROL PANELS SHALL BE EQUIPPED WITH A VISUAL AND AUDIBLE ALARM.
  - B. CONTROL PANEL, AND VISUAL AND AUDIBLE ALARMS SHALL BE LOCATED NO GREATER THAN 25' FROM THE RESIDENCE/BUSINESS SERVED BY THE SYSTEM.

- SEPTIC SYSTEM-ADVANCED TREATMENT UNIT (ATU)  
 INSTALLATION, OPERATION, AND MAINTENANCE REQUIREMENTS
1. OWNERS/OPERATORS OF ADVANCED TREATMENT UNITS (ATUS) ARE REQUIRED TO MAINTAIN AN ANNUAL MAINTANENCE CONTRACT WITH AN APPROVED ATU SERVICE PROVIDER. ALL REQUIRED OPERATING, MAINTENANCE AND MONITORING OF THE ATU IS THE RESPONSIBILITY OF THE PROPERTY OWNER/LESSEE. CONTACT THE ENVIRONMENTAL HEALTH DEPARTMENT FOR INFORMATION ANY OTHER CONDITIONS REGARDING OPERATIONS OF THE ATU.
  2. ALL INSTALLERS OF THE ATU MUST HAVE AN ACTIVE CALIFORNIA CLASS A GENERAL ENGINEERING CONTRACTOR, CLASS C-42 SANITATION SYSTEM CONTRACTOR, OR CLASS C-36 PLUMBING CONTRACTOR LICENSE.
  3. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, ALL INSPECTIONS SHALL BE COMPLETED (SEE SEPARATE INSPECTION SCHEDULE) AND THE OWNER OF THE PROPERTY SHALL SUBMIT A COPY OF THE SIGNED SERVICE PROVIDER MAINTENANCE CONTRACT.
  6. THE ATU IS REQUIRED TO UNDERGO ONGOING INSPECTION AND MONITORING BY AN APPROVED SERVICE PROVIDER REGISTERED WITH THE ENVIRONMENTAL HEALTH DEPARTMENT AT A FREQUENCY OF AT LEAST ONCE DURING EVERY SIX (6) MONTH PERIOD. EACH SIX MONTH PERIOD IS DENOTED AS "WINTER SEASON" (NOVEMBER 1ST TO APRIL 30TH) AND "SUMMER SEASON" (MAY 1ST TO OCTOBER 31ST). THE TWO INSPECTIONS SHALL BE PERFORMED A MINIMUM OF NINETY (90) DAYS APART.
  7. CONTACT THE ENVIRONMENTAL HEALTH DEPARTMENT FOR CURRENT INSPECTION REQUIREMENTS. THE INSPECTION, AT A MINIMUM, SHOULD EVALUATE THE FOLLOWING ITEMS AS APPLICABLE TO THIS ATU.
    - A. CONDITION AND OPERATION OF SEPTIC AND PUMP TANKS INCLUDING CHECKING SLUDGE, GREASE, AND SCUM LEVELS AND CONDITION OF ALL EFFLUENT FILTERS.
    - B. CONDITION AND OPERATION OF ANY PRE-TREATMENT SYSTEM.
    - C. CONDITION AND OPERATION OF PURGE VALVES, BALANCING VALVES, DISTRIBUTION VALVES, AND ALL OTHER CONTROL VALVES.
    - D. CONDITION OF THE DISPERSAL FIELD GROUND COVER.
    - E. CONDITION MOVEMENT, AND STABILITY OF ANY FILL IN THE DISPERSAL FIELD AREA.
    - F. CONDITION OF EROSION CONTROL MEASURES.
    - G. FLOW METER AND/OR PUMP COUNTER MEASUREMENTS AND COMPARISON TO DESIGN CAPACITY.
    - H. FULL OPERATIONAL PERFORMANCE TEST OF ALL INSTALLED COMPONENTS (PUMPS, CONTROL PANELS, VALVES, ETC.)

- SEWAGE TREATMENT SYSTEM CONSTRUCTION NOTES
1. THE SYSTEM LAYOUT SHALL CONFORM TO THIS PLAN. IF THE FIELD CONDITIONS DO NOT ALLOW FOR THIS CONDITION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IN ORDER TO MAKE A DESIGN ADJUSTMENT.
  2. THE CONTRACTOR SHALL OBTAIN CERTIFICATIONS FROM THE SUPPLIER FOR THE MATERIALS, STATING THAT THEY MEET THE SPECIFIED CRITERIA ON THE PLANS.
  3. EQUIPMENT SUSCEPTIBLE TO FREEZING MUST BE ADEQUATELY PROTECTED TO PREVENT FREEZING.
  4. COMPLETE PROPER DRAINAGE WORK AND EROSION CONTROL MEASURES BEFORE FINAL INSPECTION.

STAGES TO BE INSPECTED BY THE DESIGNER

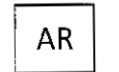
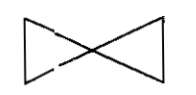
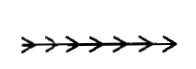
CONTRACTOR IS REQUIRED TO HAVE ENGINEER AND EL DORADO COUNTY ENVIRONMENTAL HEALTH DEPARTMENT INSPECT THE CONSTRUCTION AT THE FOLLOWING STAGES. FAILURE TO REQUEST THESE INSPECTIONS WILL RESULT IN THE CONTRACTOR HAVING TO UN-EARTH AND RE-DO THE WORK. THE CONTRACTOR SHALL GIVE 48-HOUR ADVANCE NOTICE TO THE ENGINEER FOR ANY OF THESE INSPECTIONS:

1. CHECK LAYOUT OF ALL TANKS BEFORE EXCAVATION.
2. WATERTIGHT TEST OF ALL TANKS BEFORE BACKFILL.
3. HYDRAULIC TEST OF PRESSURE AND DEPERALS LINES IN TRENCH BEFORE COVER.
4. FINAL INSPECTION AND STRTUP AFTER PERMANENT POWER HOOK-UP.

SHEET INDEX

1.	SS1.0	COVER SHEET
2.	SS2.0	SEPTIC SYSTEM LAYOUT PLAN
3.	SS3.0	DETAILS

SYMBOL LEGEND

	AIR RELEASE VALVE
	CHECK VALVE
	SUPPLY OR RETURN LINE

PROJECT INFO:

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DRAWN BY:	FVM
CHECKED BY:	BM
DATE:	03/03/2015

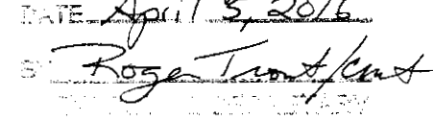
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DATE	DESC.
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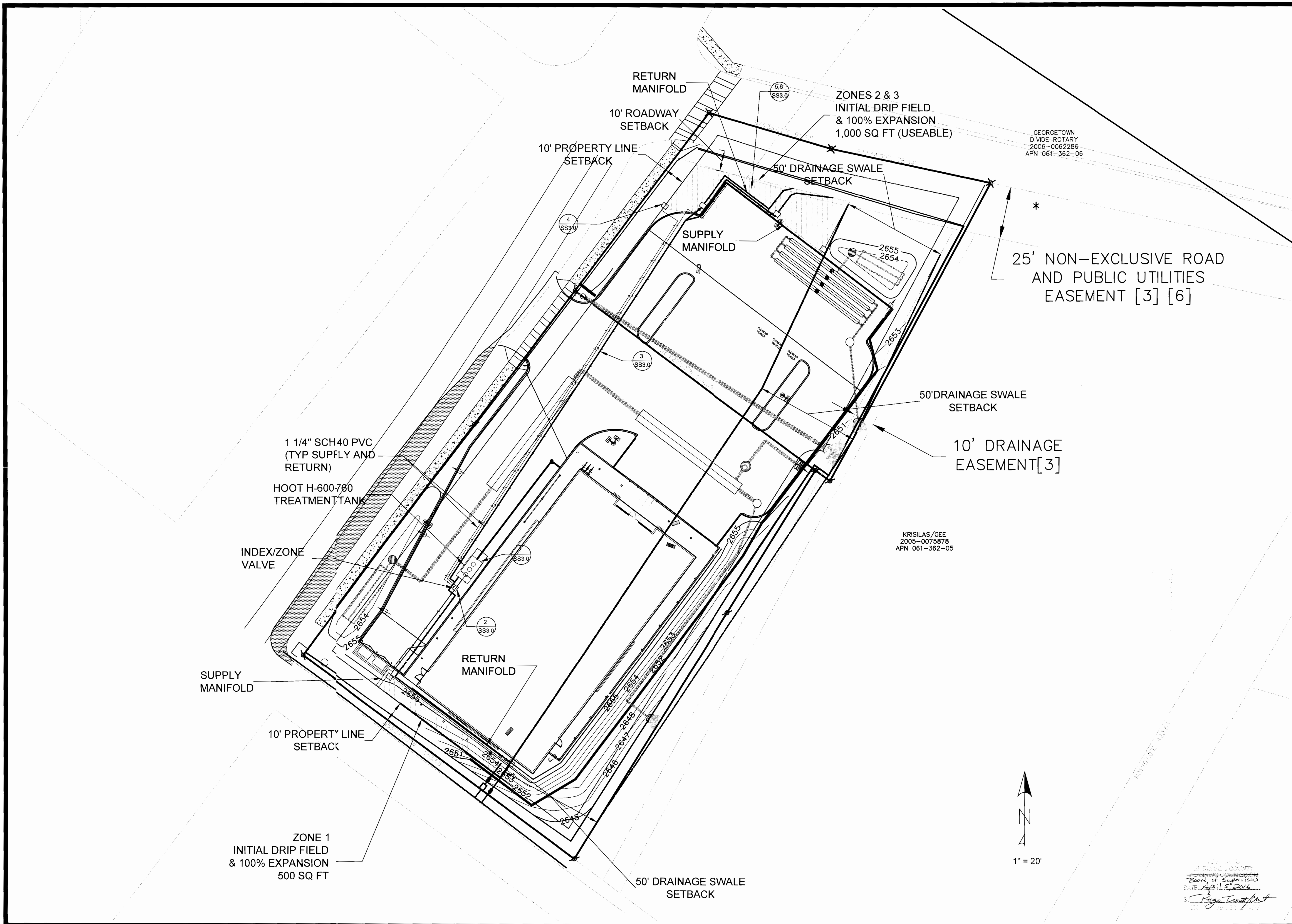
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 COVER SHEET

SS1.0

1 of 3

EL DORADO COUNTY  
 Board of Supervisors  
 DATE: April 5, 2016  
  
 Roger Landolt  
 Environmental Health Department





PREPARED BY:  
  
 4729 W. JACQUELYN AVE  
 FRESNO CA 93722

PROPOSED DOLLAR GENERAL  
 SWC MAIN STREET &  
 HARKNESS STREET  
 GEORGETOWN, CA

PROJECT INFO:

PROJECT NO.	4-214-0831
DRAWN BY:	FVM
CHECKED BY:	BM
DATE:	03/03/2015

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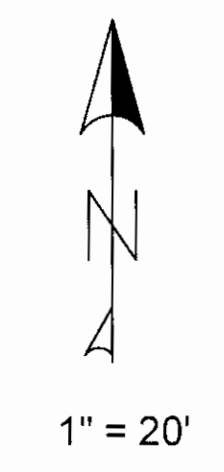
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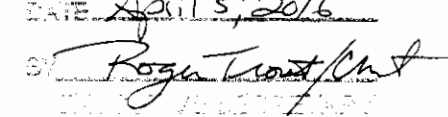
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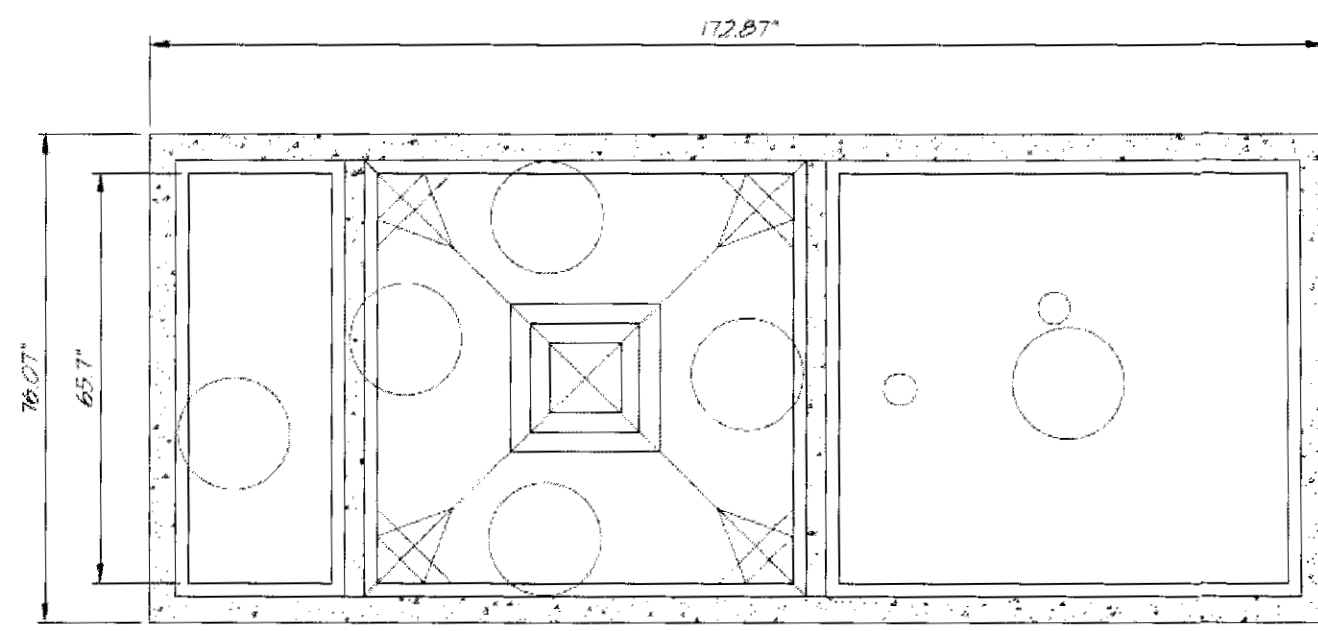
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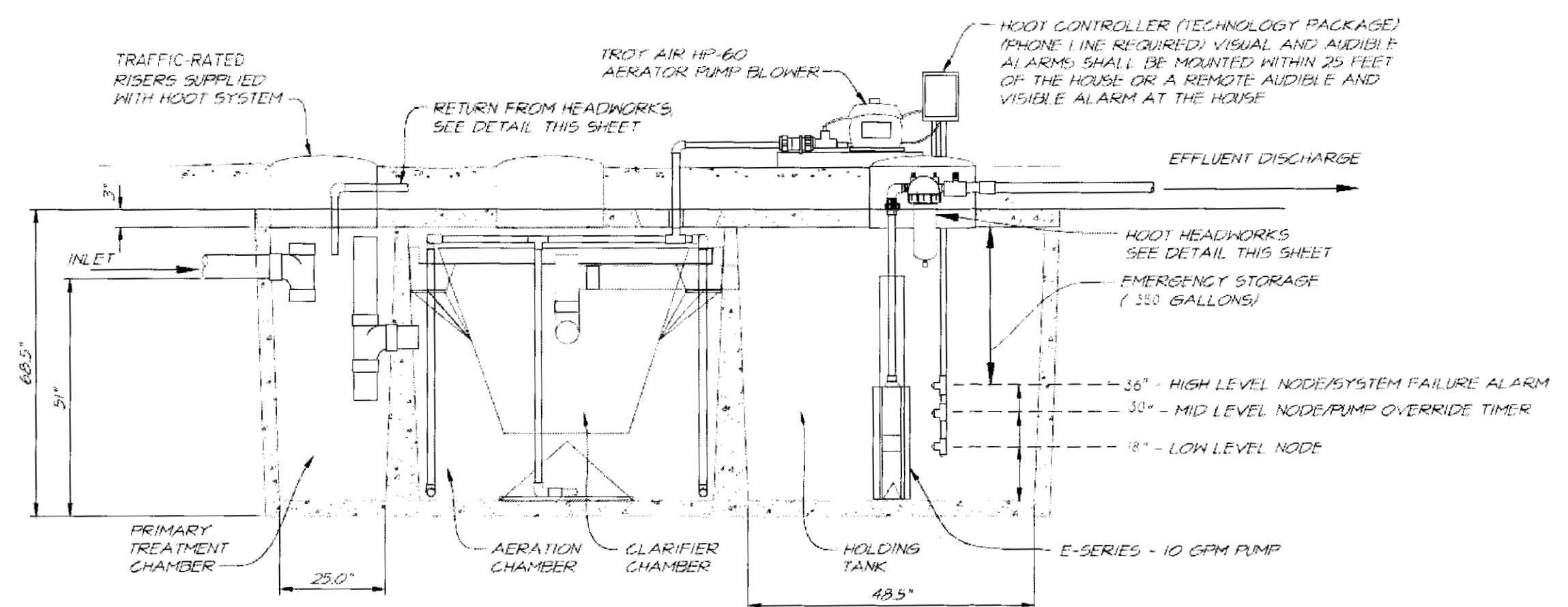


Board of Supervisors  
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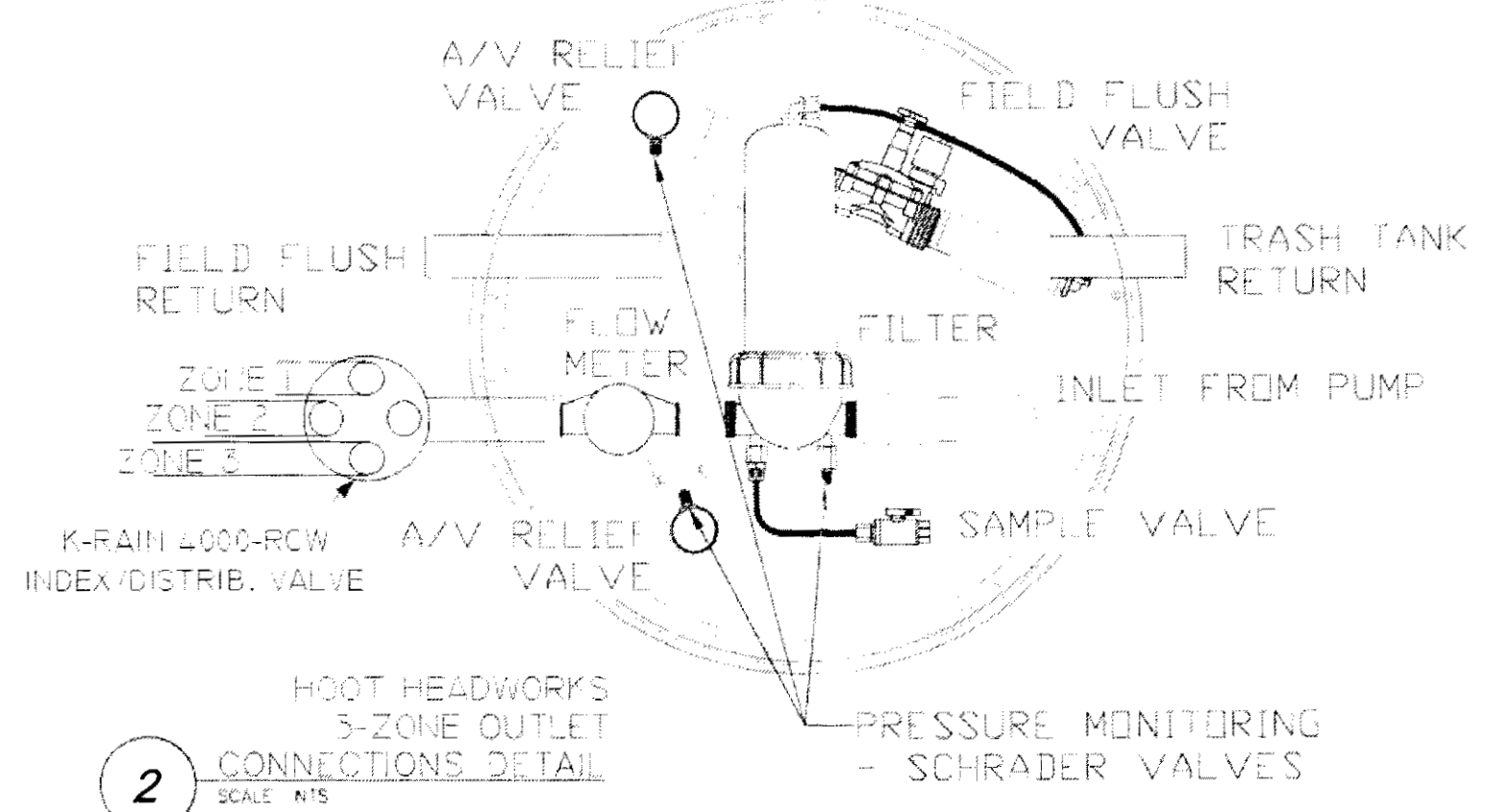


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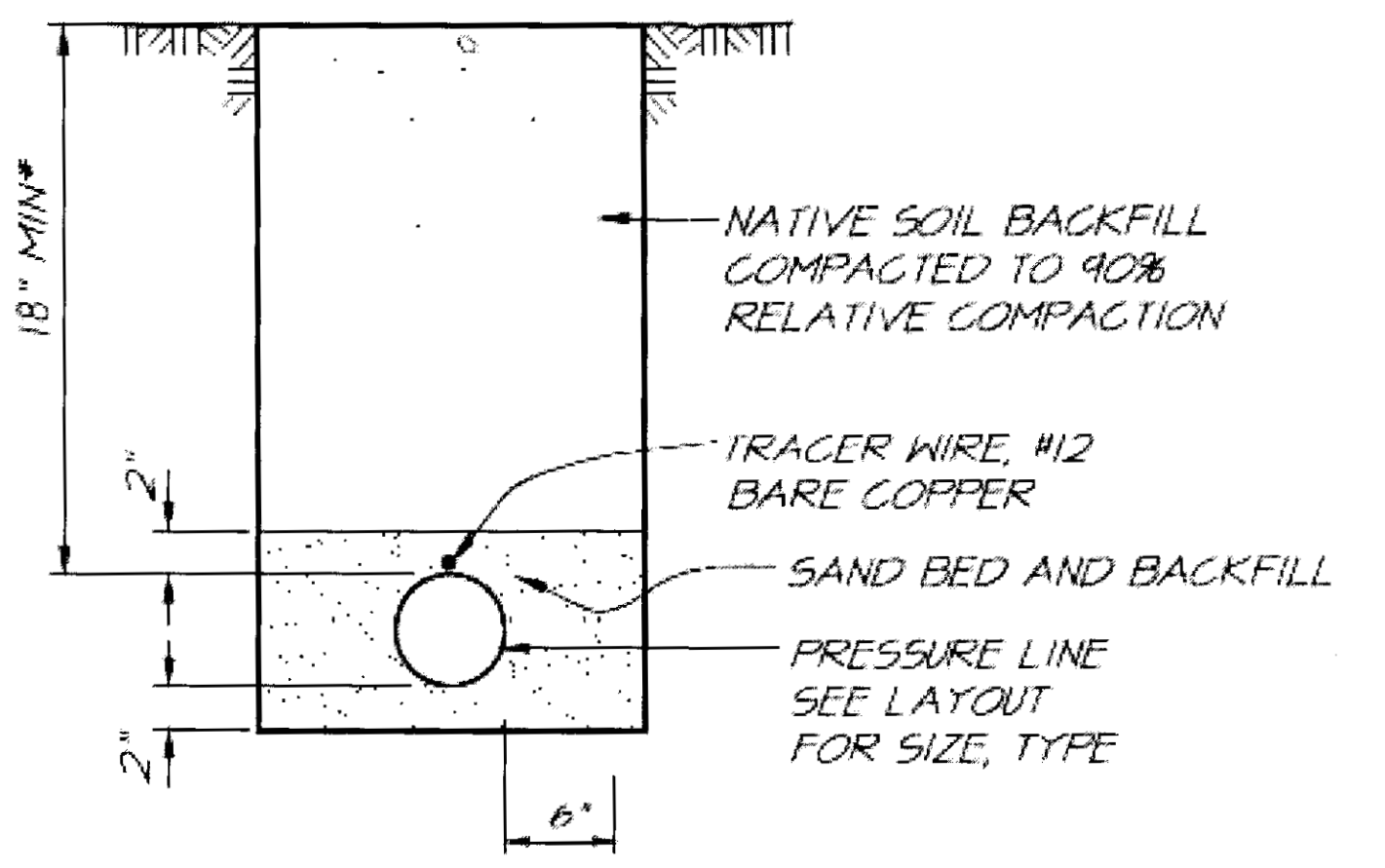


**NOTE:**  
FOR COMPLETE DESIGN AND PRODUCT INFORMATION CONTACT HOOT SYSTEMS, LLC. <http://www.hootsystems.com>

**1 600 GALLON HOOT AEROBIC TANK (H-600-760)**

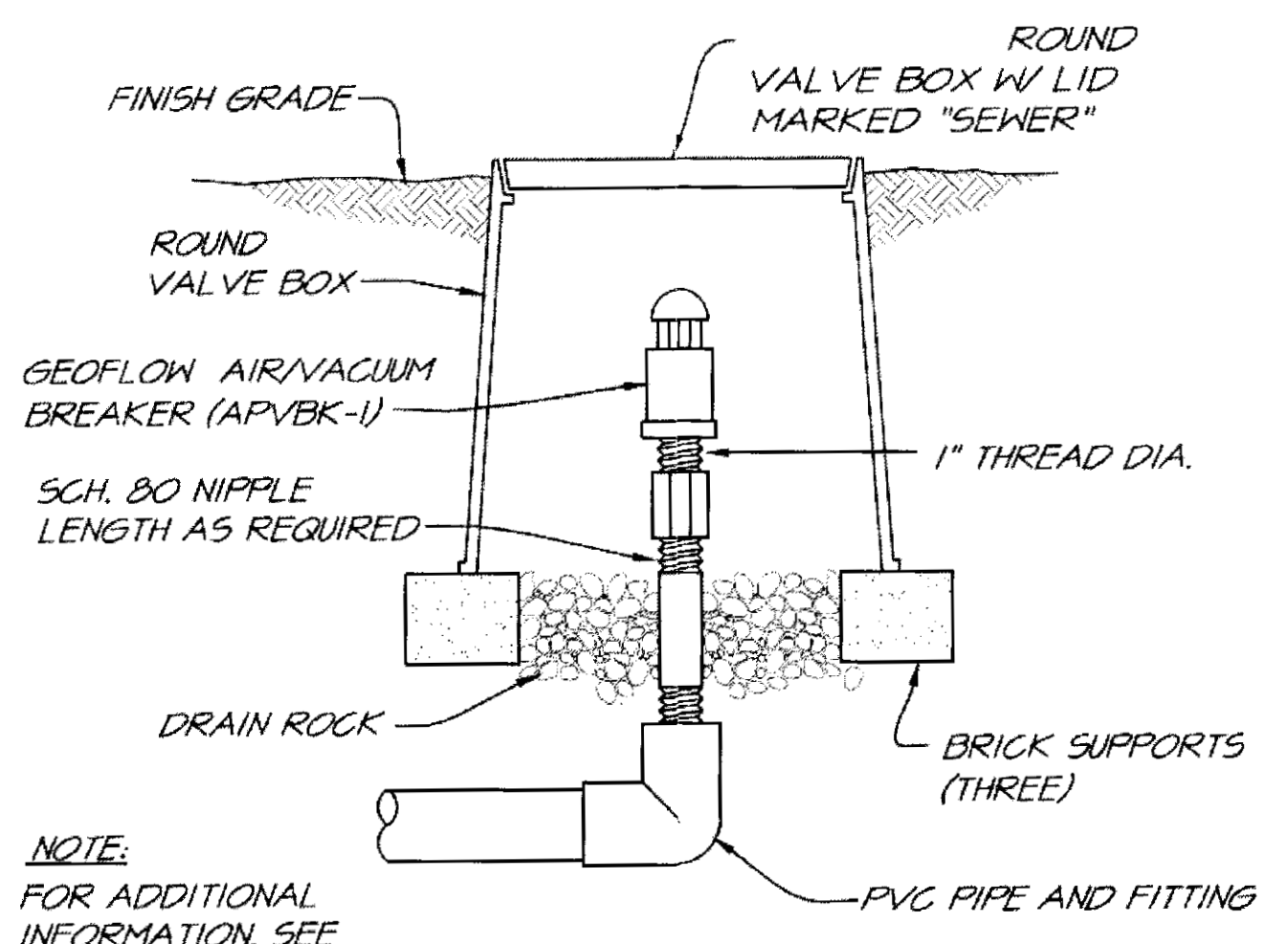


**2 HOOT HEADWORKS S-ZONE OUTLET CONNECTIONS DETAIL**  
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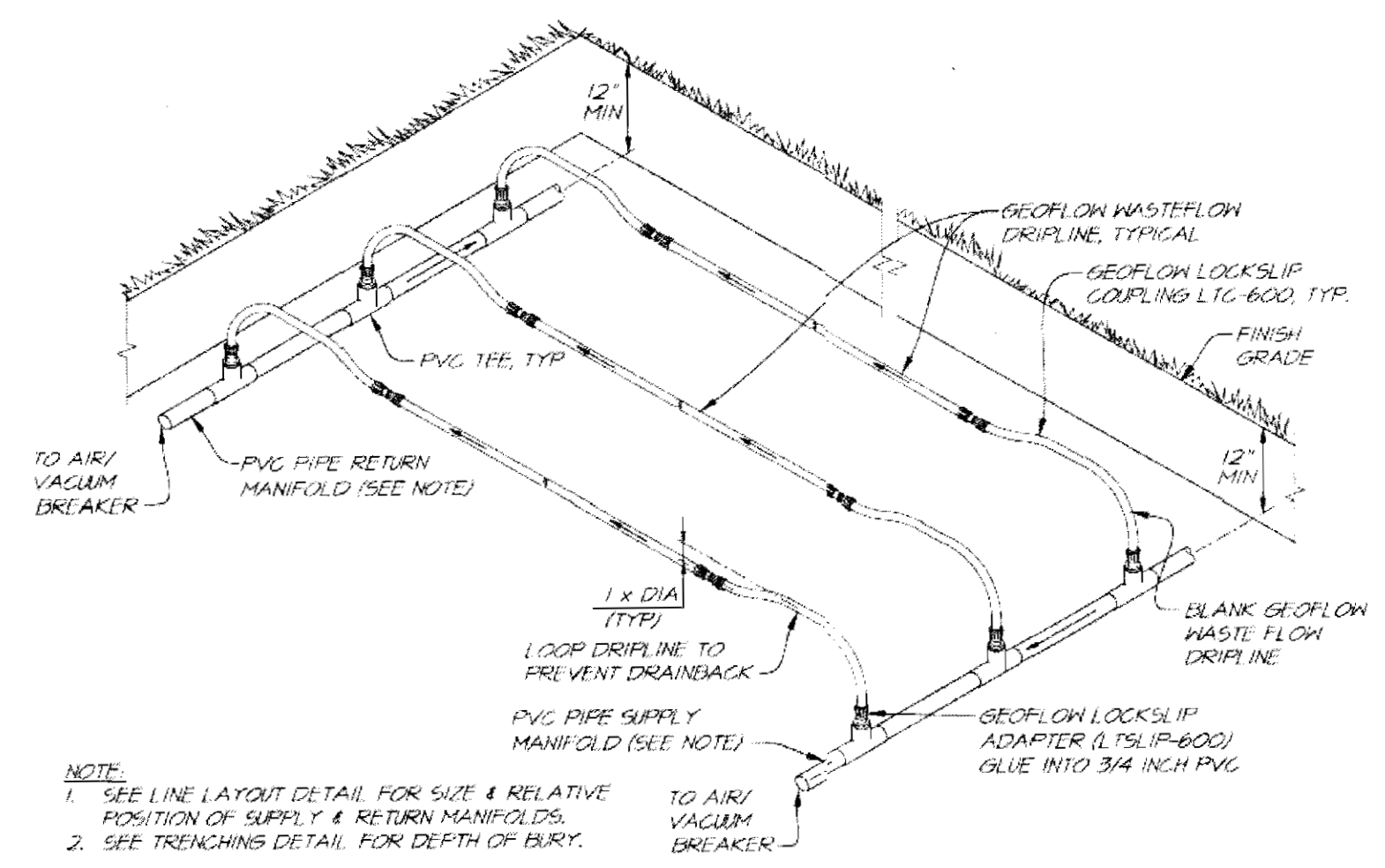
\* EXCEPT AS NECESSARY TO REACH SYSTEM COMPONENTS SUCH AS METERS, VALVES AND DISTRIBUTION MANIFOLD

**3 PRESSURIZED TRANSMISSION LINE DETAIL**  
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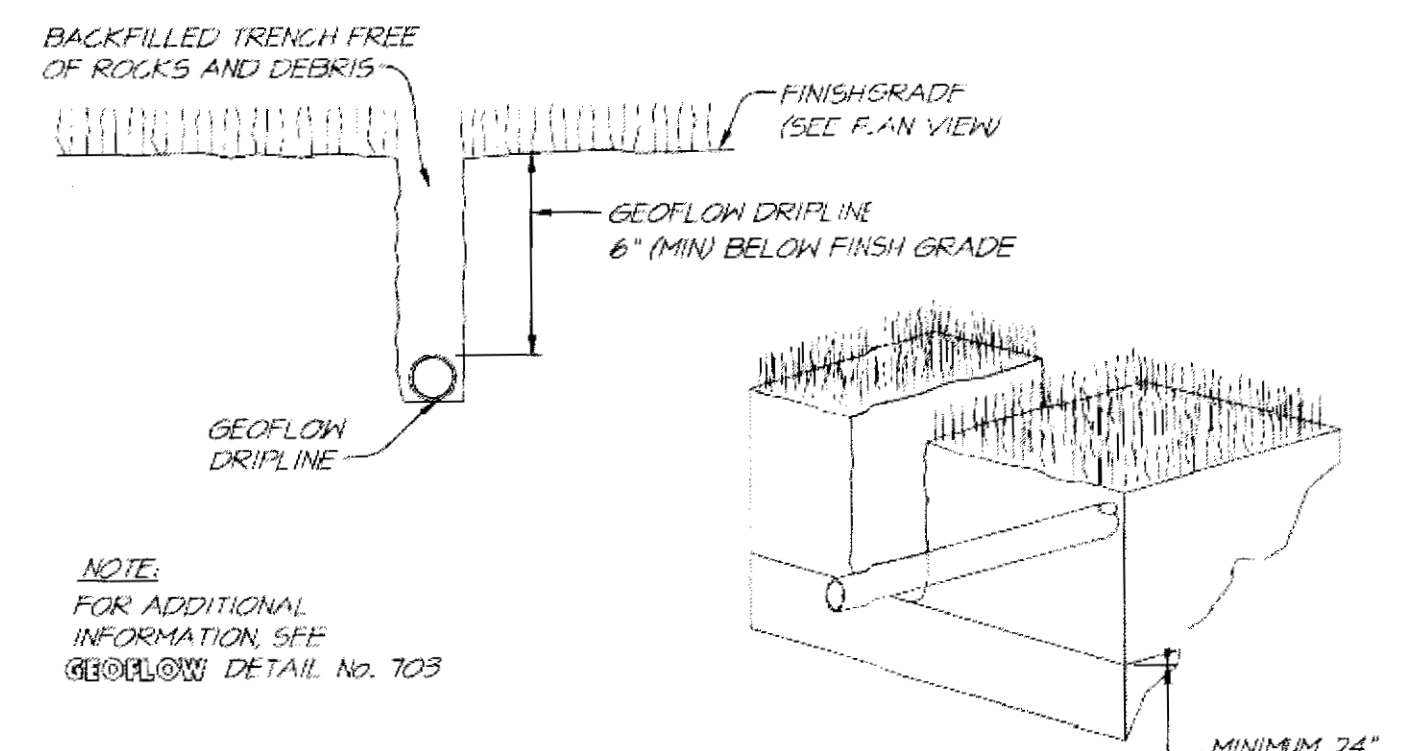
**NOTE:**  
FOR ADDITIONAL INFORMATION, SEE GEOTECH DETAIL No. 522

**4 1" AIR/VACUUM BREAKER DETAIL**  
NOT TO SCALE



**NOTE:**  
1. SEE LINE LAYOUT DETAIL FOR SIZE & RELATIVE POSITION OF SUPPLY & RETURN MANIFOLDS.  
2. SEE TRENCHING DETAIL FOR DEPTH OF BURY.

**5 SUPPLY AND RETURN MANIFOLDS DETAIL**  
NOT TO SCALE



**NOTE:**  
FOR ADDITIONAL INFORMATION, SEE GEOTECH DETAIL No. 703

**6 GEOFLOW TRENCHING DETAIL**  
NOT TO SCALE

PREPARED BY:  
**DALEEM**  
4729 W. JACQUELINE AVE  
FRESNO CA 93722

PROPOSED DOLLAR GENERAL  
SWC MAIN STREET &  
HARKNESS STREET  
GEORGETOWN, CA

**PROJECT INFO:**

PROJECT NO.	4-214-0831
DRAWN BY:	FVM
CHECKED BY:	BM
DATE:	03/11/2015

**REVISIONS:**

DATE	DESC.

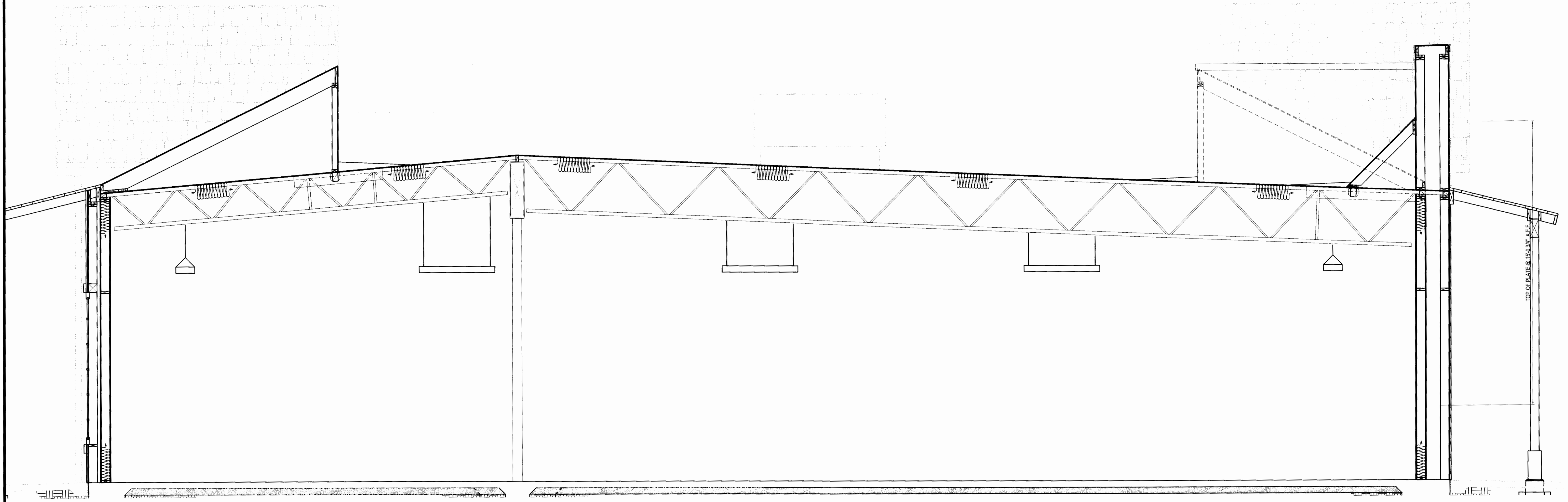
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COVER SHEET

**SS3.0**  
**3 of 3**

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Rogay Ibrahimi



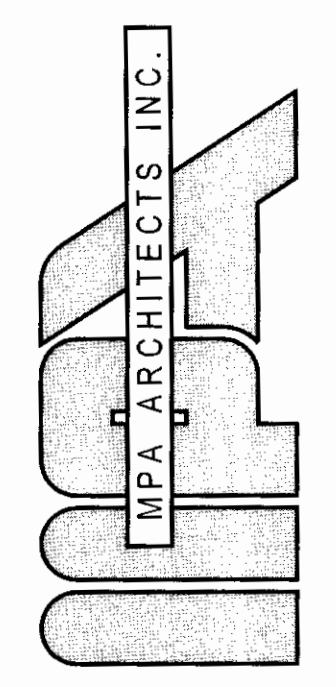
Exhibit P



BUILDING SECTION A

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Board of Supervisors  
 April 5, 2016  
 Roger Troutman



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 F. 619.236.0557  
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MEMBER  
 AMERICAN INSTITUTE OF ARCHITECTS

CLIENT

**Simon CRE**  
 5111 N. SCOTTSDALE ROAD  
 SUITE 200,  
 SCOTTSDALE, AZ. 85250  
 Contact: Joshua Simon  
 joshua@simoncre.com  
 (480) 745-1956 office  
 (480) 588-4150 fax

PROJECT

A PROPOSED COMMERCIAL DEVELOPMENT FOR:

**DOLLAR GENERAL**  
 SEC MAIN ST. & HARKNESS ST.  
 GEORGETOWN, CA 95634

REVISIONS

NO.	DESCRIPTION	DATE

SHEET TITLE

BUILDING SECTION

DATE	02-04-16	SCALE	AS NOTED
DRAWN BY	L. DALE	CHECKED BY	
PROJECT NO.	14381	SHEET NUMBER	A4.0

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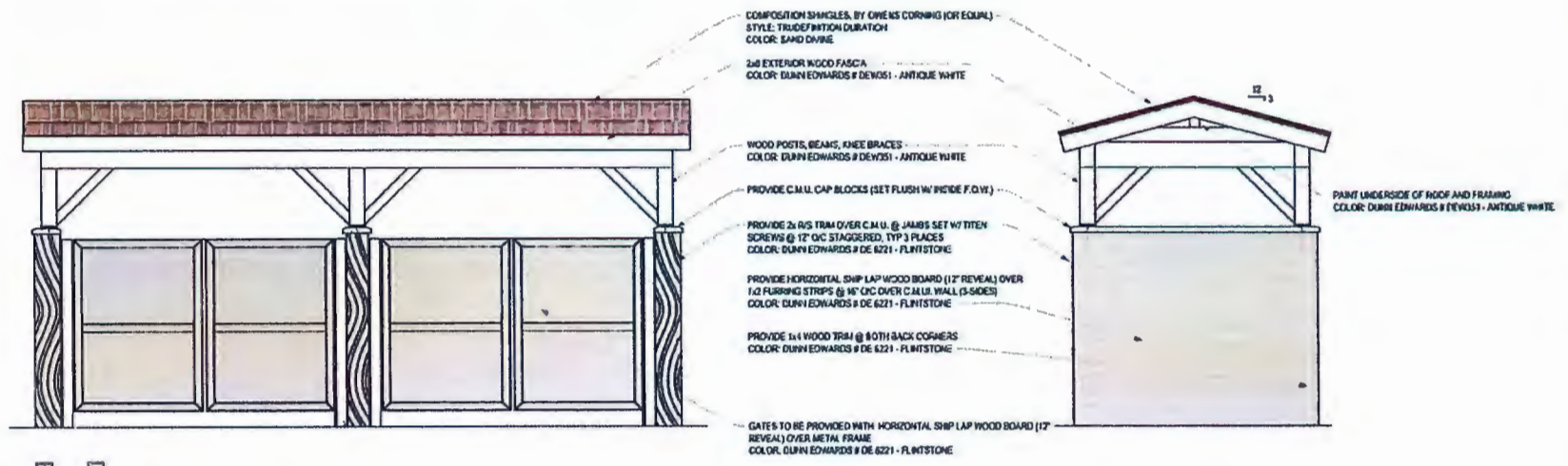
CLIENT  
 SIMON CRE ABBA LLC  
 1111 R. SCOTTSDALE ROAD  
 SUITE 202  
 SCOTTSDALE, AZ 85258  
 Contact: David Abbar  
 480.750.1111  
 david.abbar@simonabba.com  
 1000 100th Ave  
 1000 100th Ave

PROJECT  
 A PROPOSED COMMERCIAL DEVELOPMENT FOR:  
**DOLLAR GENERAL**  
 SEC 144N ST. & HARRISS ST.  
 GEORGETOWN, CA 94920

REVISIONS



SHEET TITLE  
 SITE DETAILS  
 10/17/15 11/20/15  
 A12



1 FRONT ELEVATION

2 RIGHT SIDE ELEVATION

APPROVED  
 EL DORADO COUNTY  
 PLANNING COMMISSION  
 Board of Supervisors  
 DATE April 5<sup>th</sup> 2016  
 BY Roger T. [Signature]  
 EXECUTIVE SECRETARY

Exhibit Q-1



16 JAN -5 PM 3:25  
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Small text block containing company details and address information.

**DOLLAR GENERAL**  
3901 W. 10th Street, Suite 100  
Georgetown, CA 95028



Site Labels  
A1.2

APPROVED  
PLANNING COMMISSION  
GRADDO COUNTY  
Board of Supervisors

DATE April 5, 2014

BY Rogea Trout  
EXECUTIVE SECRETARY

Exhibit Q-2