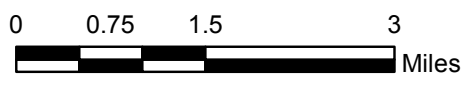
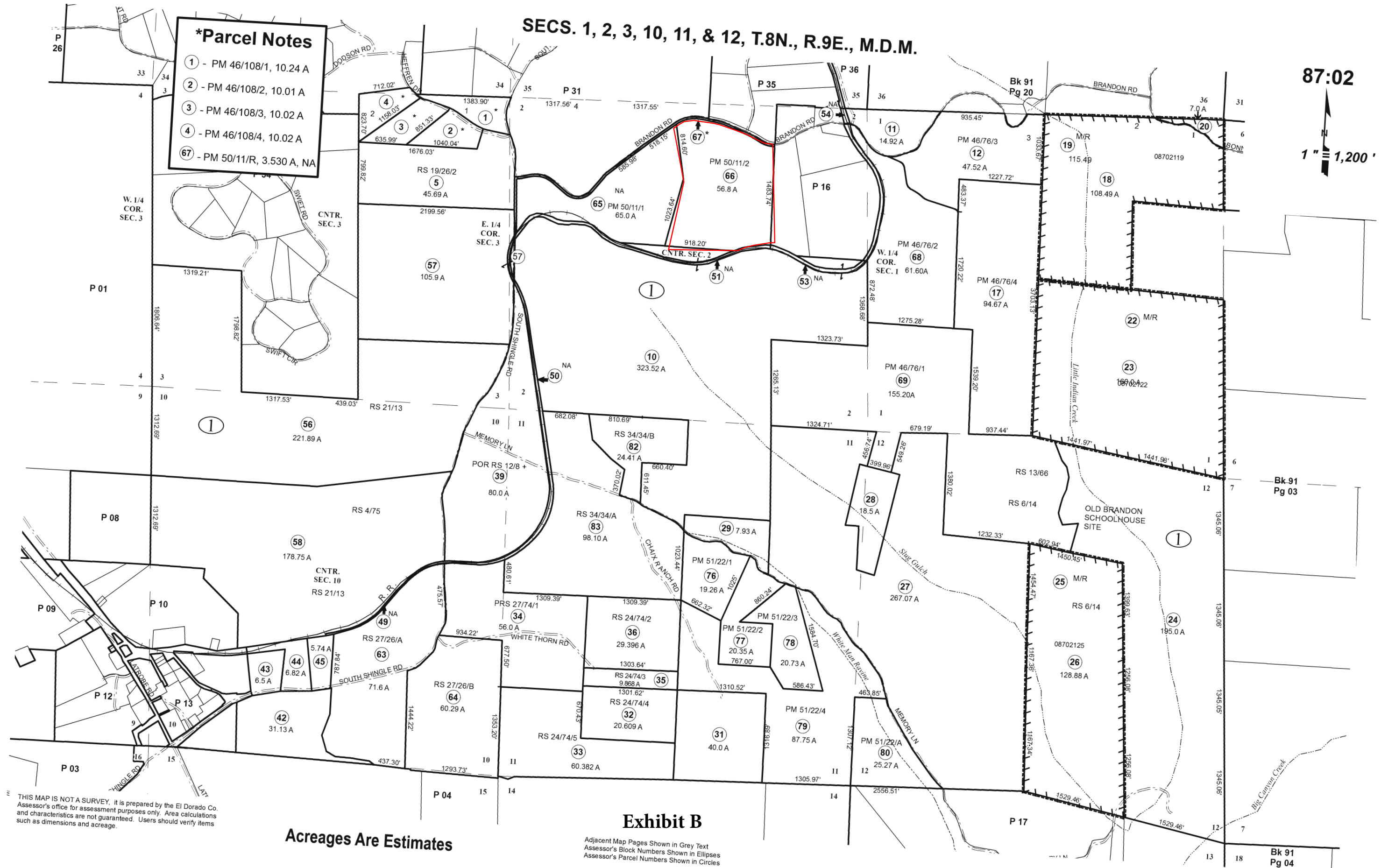


S16-0005/4 Directions Farm
 Location Map
 Exhibit A



SECS. 1, 2, 3, 10, 11, & 12, T.8N., R.9E., M.D.M.

- *Parcel Notes**
- ① - PM 46/108/1, 10.24 A
 - ② - PM 46/108/2, 10.01 A
 - ③ - PM 46/108/3, 10.02 A
 - ④ - PM 46/108/4, 10.02 A
 - ⑥⑦ - PM 50/11/R, 3.530 A, NA



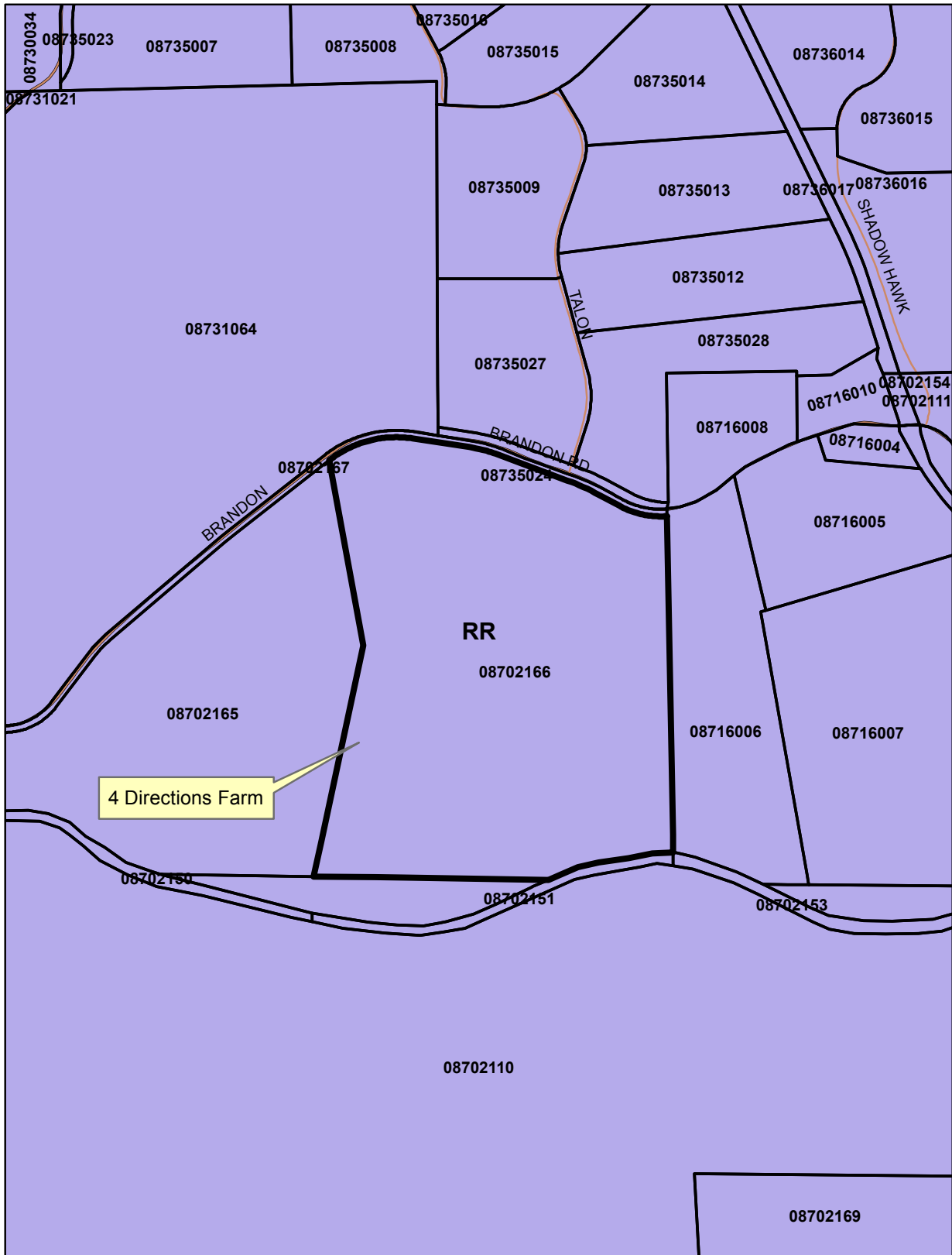
THIS MAP IS NOT A SURVEY, it is prepared by the El Dorado Co. Assessor's office for assessment purposes only. Area calculations and characteristics are not guaranteed. Users should verify items such as dimensions and acreage.

Acreages Are Estimates

Exhibit B

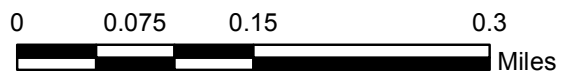
Adjacent Map Pages Shown in Grey Text
 Assessor's Block Numbers Shown in Ellipses
 Assessor's Parcel Numbers Shown in Circles

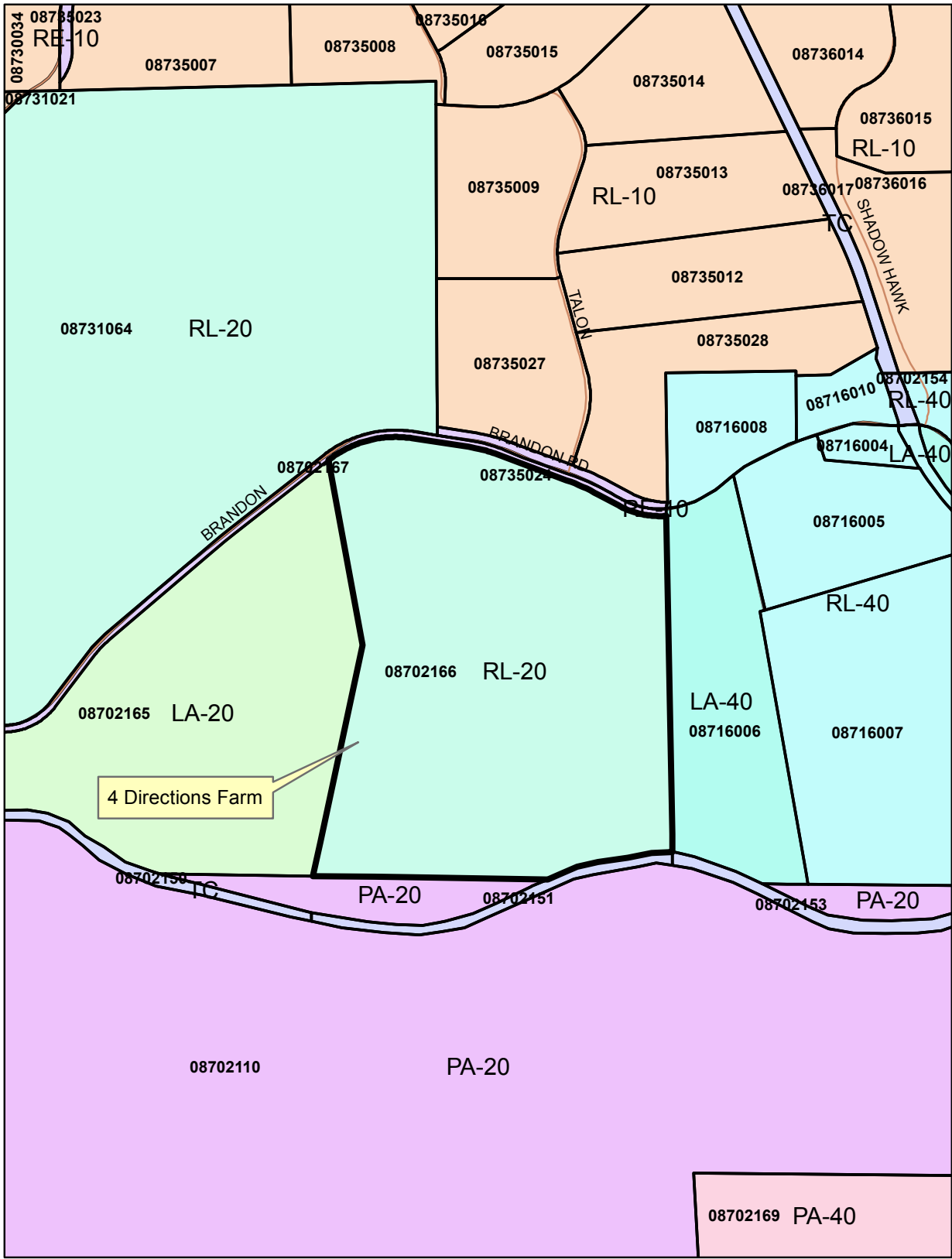
Rev. JUL 11, 2014



S16-0005/4 Directions Farm
 Land Use Designation Map
 Exhibit C

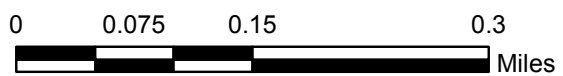
RR





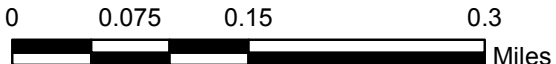
- LA-20
- LA-40
- PA-20
- PA-40
- RE-10
- RL-10
- RL-20
- RL-40
- TC

S16-0005/4 Directions Farm
 Zoning Designation Map
 Exhibit D





S16-0005/4 Directions Farm
Aerial Map
Exhibit E



4 DIRECTIONS FARM

7388 Brandon Road Latrobe, CA 95682

MASTER PLAN

SPECIAL USE PERMIT #S 16 0005 - PLANNING REVIEW

BASIC CODE SUMMARY

ACCESSOR'S PARCEL NUMBER:	087-021-66-100
ZONING / DEVELOPMENT SUBDIVISION:	CURRENT AE, NEW RL
PROPERTY AREA:	56.8 ACRES / ±2,474,208 SF
SETBACK REQUIREMENTS FOR SOUTH PROPERTY LINE: (PER SUP & ZONING CODE)	30'-0" FROM BRANDON ROAD, 200' AG SIDEYARDS
BUILDING CODE:	2013 CBC, CMC, CPC, CEC, CFC, CEC ENERGY, CRC 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE
OCCUPANCY GROUP & USE: (PER CBC CHAPTER 3)	BLDG 1: M 309: MARKET, DISPLAY & SALES B 304: TRAINING & SKILL DEVELOPMENT NOT WITHIN A SCHOOL B 303.1: KITCHEN FOOD PREP & CONSUMPTION 10 > 50 OCCUPANTS BLDG 2: B 304: TRAINING & SKILL DEVELOPMENT NOT WITHIN A SCHOOL BLDG 3: B 304: TRAINING & SKILL DEVELOPMENT NOT WITHIN A SCHOOL BLDG 4: R-3 310.5: RESIDENTIAL CARETAKER BLDG 5: U 312: AGRICULTURAL GREENHOUSE
CONSTRUCTION TYPE: (PER CBC TABLE 601)	TYPE V-B TYPICAL
MAXIMUM HEIGHT OF BUILDING: (PER CBC TABLE 503)	+40'; B 2-STORY; M 1-STORY; R-3 3 STORY; U 1-STORY
PROPOSED HEIGHT OF BUILDING:	1-STORY, ±PENDING EXTERIOR DESIGN
BASIC ALLOWABLE FLOOR AREA PER BLDG: (TABULAR AREAS PER CBC TABLE 503)	B OCC: 9,000 SF M OCC: 9,000 SF R-3 OCC: UNLIMITED AREA U OCC: 5,500 SF
OCCUPANCY SEPARATION REQUIREMENTS: (PER CBC TABLE 508.4)	NO SEPARATION REQUIREMENTS
AUTOMATIC FIRE PROTECTION FACTOR: (PER CBC SECTION 903)	B OCC: KITCHEN HOOD & DUCT (CBC 904.2.1) M OCC: 100% FIRE SPRINKLED > 3,600 SF (EDHFD LOCAL ORDINANCE) R-3 OCC: 100% FIRE SPRINKLED (CBC 903.2.8.1) U OCC: NOT REQUIRED
MANUAL FIRE ALARM SYSTEM: (PER CBC SECTION 907.1 & 907.2)	B OCC: MANUAL ALARM REQUIRED M OCC: NOT REQUIRED (CBC 907.2.7) R-3 OCC: SMOKE DETECTORS (CBC 907.2.11.2) U OCC: NOT REQUIRED
INTERIOR WALL & CEILING FINISHES: (PER CBC SECTION 803.1 & TABLE 803.9)	CLASS C: FLAME SPREAD INDEX 76-200 SMOKE DEVELOPED INDEX 0-450
PROPOSED OCCUPIED BUILDING GROSS FLOOR AREAS:	BLDG 1: INDOOR MARKET & TRAINING; COVERED STORAGE & EAVES: ±2,000 SF ±1,726 SF TOTAL: ±3,726 SF BLDG 2: OPEN GAZEBO: ±707 SF BLDG 3: TRAINING ROOM; COMMON AREA; EAVES: ±747 SF ±480 SF ±344 SF TOTAL: ±1,571 SF BLDG 4: OPEN GREAT ROOM; BATH; LAUNDRY; CLOSET; COVERED PATIO & EAVES: ±707 SF ±346 SF ±511 SF TOTAL: ±1,594 SF GRAND TOTAL OCCUPIED GROSS FLOOR AREA: ±7,598 SF GREENHOUSE 1: ±2,880 SF TOTAL STRUCTURE COVERAGE AREA: ±10,478 SF
LOT COVERAGE:	±10,478 SF / ±2,474,208 SF = 0.42%
TYPE V-B FIRE RESISTIVE REQUIREMENTS (PER CBC TABLE 601 & 602, U.O.N.)	EXTERIOR BEARING WALLS: NO-HOUR>10' INTERIOR BEARING WALLS: NO-HOUR EXTERIOR NON-BEARING WALLS: NO-HOUR>10' PRIMARY STRUCTURAL FRAME: NO-HOUR INTERIOR NON-BEARING WALLS: NO-HOUR ROOFS-CEILINGS & SECONDARY MEMBERS: NO-HOUR EXTERIOR DOORS & WINDOWS: NO-HOUR

DRAWING INDEX

COVER SHEET	A1.1 OVERALL SITE PLAN WITH PROPOSED IMPROVEMENTS, DRAWING INDEX, BASIC CODE SUMMARY, PROJECT DESCRIPTION, DIRECTORY, VICINITY MAP, PARKING CALCULATIONS
CIVIL	C-1 COVER SHEET C-2 GENERAL NOTES C-3 GRADING & DRAINAGE PLAN C-4 EROSION CONTROL PLAN
ARCHITECTURAL	A1.2 DETAIL SITE PLAN A2.1 FLOOR PLANS A2.2 ROOF PLANS A3.1 BUILDING 1 & 2 EXTERIOR ELEVATIONS A3.2 BUILDING 3 EXTERIOR ELEVATIONS; DRIVEWAY GATE & MONUMENT SIGNAGE ELEVATIONS A3.3 BUILDING 4 EXTERIOR ELEVATIONS

PROJECT DESCRIPTION

THE EXISTING 56-ACRE SITE IS COVERED IN NATURAL GRASS WITH CLUSTERS OF OAK TREES ON SLOPING TERRAIN. THE NEW SITE DESIGN PRESERVES ALL TREES TO REMAIN. SOME UP-LANDSING WILL BE DONE TO OPTIMIZE ON-SITE VIEWS AND FOR FIRE SAFETY. GRADING & ROADWAY PAVING INTENDS TO BE COMPLETED IN ONE PHASE FOR ALL STRUCTURES AND SITEWORK. THE BUILDINGS MAY BE PHASED AT THE OWNER'S DISCRETION. ULTIMATE IMPROVEMENTS MAY DISTURB 2-3 ACRES OR 3.5-5.3% OF THE PROPERTY; ALL ELSE REMAINS AS OPEN SPACE AND AGRICULTURAL USE. THIS PROJECT IS LOCATED IN A WILDLAND-URBAN INTERFACE FIRE AREA & IS SUBJECT TO PROVISIONS OF 2013 CBC CHAPTER 7A ACCORDINGLY.

THE MASTER PLAN SCOPE OF WORK COMPRISES OF SITEWORK FOR FIVE NEW SINGLE-STORY STRUCTURES, ALSO AS INDICATED ON THE BASIC CODE SUMMARY. BUILDING 1 PRIMARY USE WILL BE FOR DISPLAY, MARKETING AND SALES OF CRAFT, PLANTS AND PRODUCE GROWN ON-SITE. THE PRIMARY USE OF BUILDING 2 & 3 WILL BE FOR TRAINING & VOCATIONAL SKILL DEVELOPMENT FOR FARM WORKERS. BUILDING 4 WILL BE A CARETAKERS RESIDENCE AND BUILDING 5 WILL BE A GREENHOUSE. FOR DETAILED USE DESCRIPTION, REFER TO OWNER'S BUSINESS PLAN.

THE EXTERIOR FACADE WILL COMPRISE OF NON-COMBUSTIBLE FINISH SYSTEMS COMMISERATE OF MODERN BARN STYLE STRUCTURES OF PRE-FINISHED STANDING SEAM ROOFS & METAL SIDING, PAINTED & PRE-FINISHED FIBER CEMENT PLANK & PANELS IN WOOD GRAIN TEXTURES, STAINED WOOD & PRE-FINISHED METAL CLAD DOOR AND WINDOW SYSTEMS. SOLAR ELECTRIC PANELS ARE INTENDED TO BE INTEGRATED WITH THE ROOF DESIGNS.

AN EXISTING GRAVEL DRIVEWAY OFF OF BRANDON ROAD WILL BE EXTENDED, WIDENED, CONTOURED, UPGRADED TO AN APPROVED PAVED TRAFFIC INDEX, TO MEET NAVIGABLE AND ACCESSIBLE REQUIREMENTS TO THE NEW FACILITIES. A NEW DRIVEWAY LOOP FOR PARKING AND FIRE ACCESS WILL BE PROVIDED. CODE-COMPLIANT ACCESSIBLE PARKING AND EXTERIOR ROUTES OF TRAVEL ARE PLANNED TO / FROM EACH OF THE STRUCTURES. THE PROPERTY OFFERS GENEROUS AREA FOR OVERFLOW PARKING WHEN REQUIRED FOR SEASONAL EVENTS.

ONE ON-SITE WATER WELL EXISTS AND PROVISIONS FOR A NEW WATER WELL ARE BEING EXPLORED TO SUPPORT THE PROJECT. THE ON-SITE WATER SOURCES INTEND TO SERVE EACH OF THE NEW STRUCTURES POTABLE DOMESTIC, SITE FIRE WATER, BUILDING SPRINKLER SYSTEMS, NEW PLANTINGS AND CROP FARMING IRRIGATION. FIRE WATER STORAGE TANKS WITH BOOSTER PUMP AND EMERGENCY POWER IS REQUIRED. COORDINATION WITH THE FIRE MARSHAL WILL BE DONE TO DETERMINE CONNECTION AND MINIMUM FLOW REQUIREMENTS AS WILL BE DEMONSTRATED IN COMPLETE FIRE PROTECTION DESIGNS AND SUPPORTING CALCULATIONS.

NEW UTILITIES:
A NEW ON-SITE SEPTIC & LEACH SYSTEM DESIGNED BY A GEOLOGIST, WILL BE CONSTRUCTED WHERE SHOWN ON THE SITE PLAN. NEW UNDERGROUND PROPANE TANKS ARE PLANNED IN LOCATIONS SHOWN ON THE SITE PLAN.
ELECTRICAL SERVICE; EXISTING PG&E POWER LINES / POLES RUN THRU THE SITE WITH ONE SERVICE PANEL LOCATION. NEW ON-SITE SERVICE PROVISIONS WILL BE COORDINATED WITH PG&E.

LANDSCAPING:
THERE ARE NO LANDSCAPE PLANTING IMPROVEMENTS INCLUDED IN THIS PROJECT. NEW PARKING AND ROADWAY IMPROVEMENTS WILL BE AMONG THE SHADE OF EXISTING OAK TREE CANOPIES. THE OWNER PLANS TO PROVIDE ALL NEW AGRICULTURAL PLANTINGS IN NEW PLANTER AREAS SHOWN AND THROUGHOUT VARIOUS FARMING ZONES AS LEARNING PROJECTS FOR THE YOUTH. IRRIGATION MAIN RUNS EXIST AS PART OF THE WORKING FARM. IRRIGATION MODIFICATIONS WILL BE DONE BY STAFF AND YOUTH AS PART OF THE SKILL DEVELOPMENT PROGRAM. INTENDED PLANTINGS AND CROPS ARE LISTED IN THE OWNER'S BUSINESS PLAN.

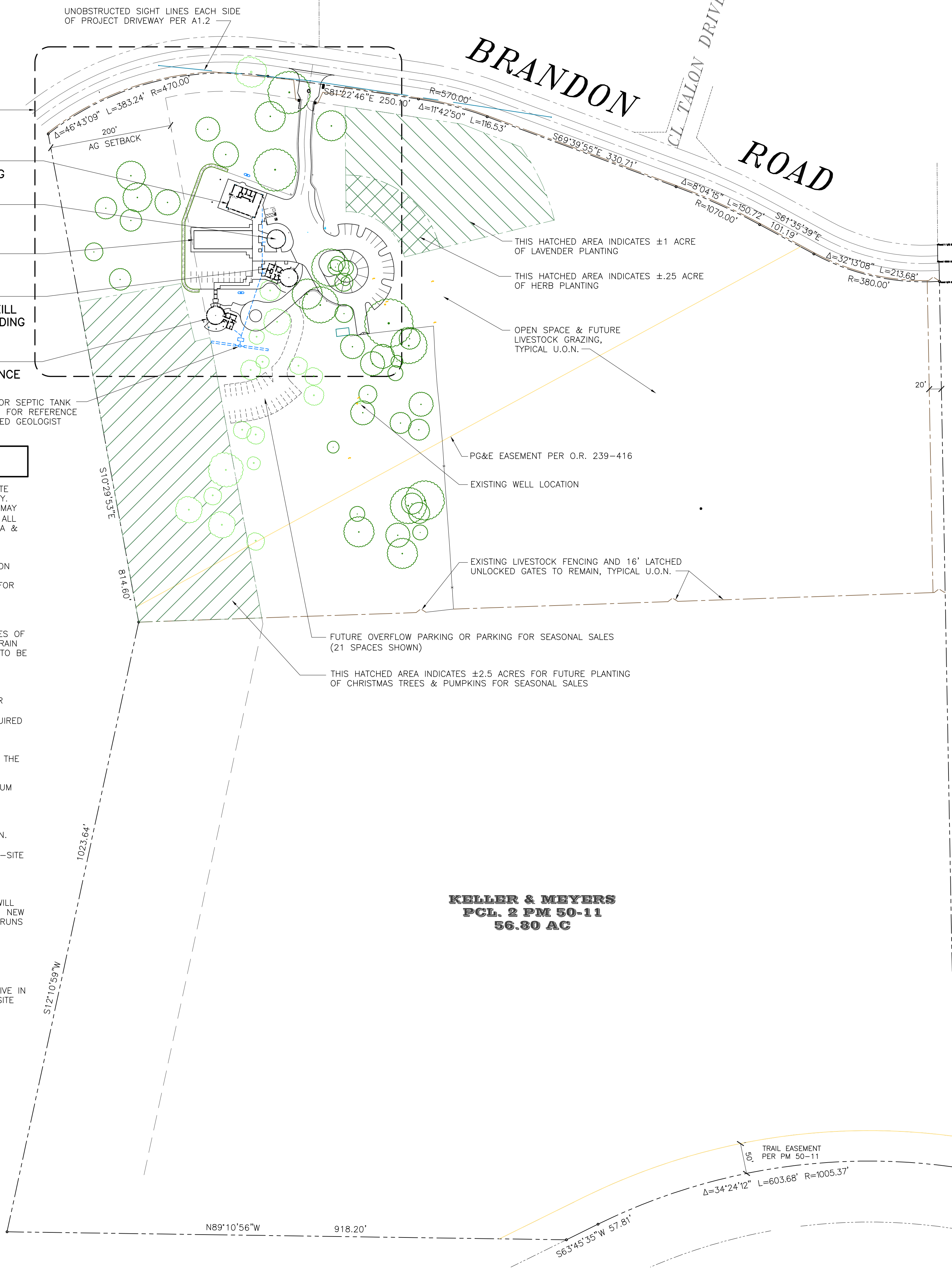
TRAFFIC:
PER THE OWNER'S BUSINESS PLAN OF 25-40 SEASONAL FARM WORKERS, TRAFFIC LOAD OF STAFF, YOUTH AND FARM WORKERS INTENDS TO BE MITIGATED PRIMARILY BY VAN SHUTTLE TO AND FROM GUIDING HANDS SCHOOL, LOCATED AT 4900 WIND PLAY DRIVE IN EL DORADO HILLS. AN ON-SITE TRANSPORTATION REVIEW HAS BEEN DONE FOLLOWED BY A PROPOSED BRANDON ROAD TO ON-SITE DRIVEWAY SIGHTLINE DESIGN EXCEPTION IN ACCORDANCE WITH THE TRANSPORTATION DEPARTMENT REQUESTS. THE RESULTING RECOMMENDATION TO MITIGATE TRAFFIC SPEED AND SIGHT DISTANCE TO THE DRIVEWAY LOCATION, WAS PROPOSED TO BE ACCOMMODATED BY AN INTERSECTION WARNING SIGN AS INDICATED ON SHEET A1.2 KEYNOTE 3. REFER TO THE OSTR AND THE SUBJECT EXCEPTION TO MANDATORY DESIGN FOR ALL ELSE. MINIMUM SIGHTLINES ARE SHOWN ON A1.1 & A1.2 SITE PLANS.

PARKING CALCULATIONS

PARKING PER EDC TITLE 17 ZONING CODE OFF-STREET VEHICLE PARKING REQUIREMENTS:	
NEW BUILDING PARKING:	
BLDG 1: INDOOR MARKET & TRAINING:	±2,000 SF / 250 GFA = 8 STALLS REQUIRED
BLDG 2: OPEN GAZEBO:	±707 SF / 300 = 3 STALLS REQUIRED
BLDG 3: TRAINING ROOM:	±747 SF / 250 = 3 STALLS REQUIRED
BLDG 5: AGRICULTURAL GREENHOUSE & FIELD WORKER:	±2,880 SF / 500 = 6 STALLS REQUIRED
TOTAL NON-RESIDENTIAL PARKING REQUIRED:	20 STALLS
TOTAL NON-RESIDENTIAL PARKING PROVIDED:	24 STD + 1 ACCESSIBLE = 25 STALLS
BLDG 4: CARETAKER RESIDENCE:	1 STALL - ACCESSIBLE SPACE
TOTAL NEW PARKING PROVIDED:	26 STALLS (+6 OVER) NOT INCLUDING OVERFLOW
OVERFLOW PARKING SHOWN FOR PHASE 1:	11 STALLS PER A1.1 & A1.2
OVERFLOW PARKING SHOWN FOR FUTURE PHASE:	21 STALLS PER A1.1 FOR FUTURE SEASONAL SALES

DIRECTORY

ARCHITECT	GSB ARCHITECTURE, INC. GREG S. BALDERREE, AIA 5110 GARLEDA DRIVE EL DORADO HILLS, CA 95762 PHONE: (916) 933-8033
CIVIL	TSD ENGINEERING, INC. 31 NATOMA STREET, SUITE 160 FOLSOM, CA 95630 PHONE: (916) 608-0707



KELLER & MBEYERS
PCL. 2 PM 50-11
56.80 AC

VICINITY MAP

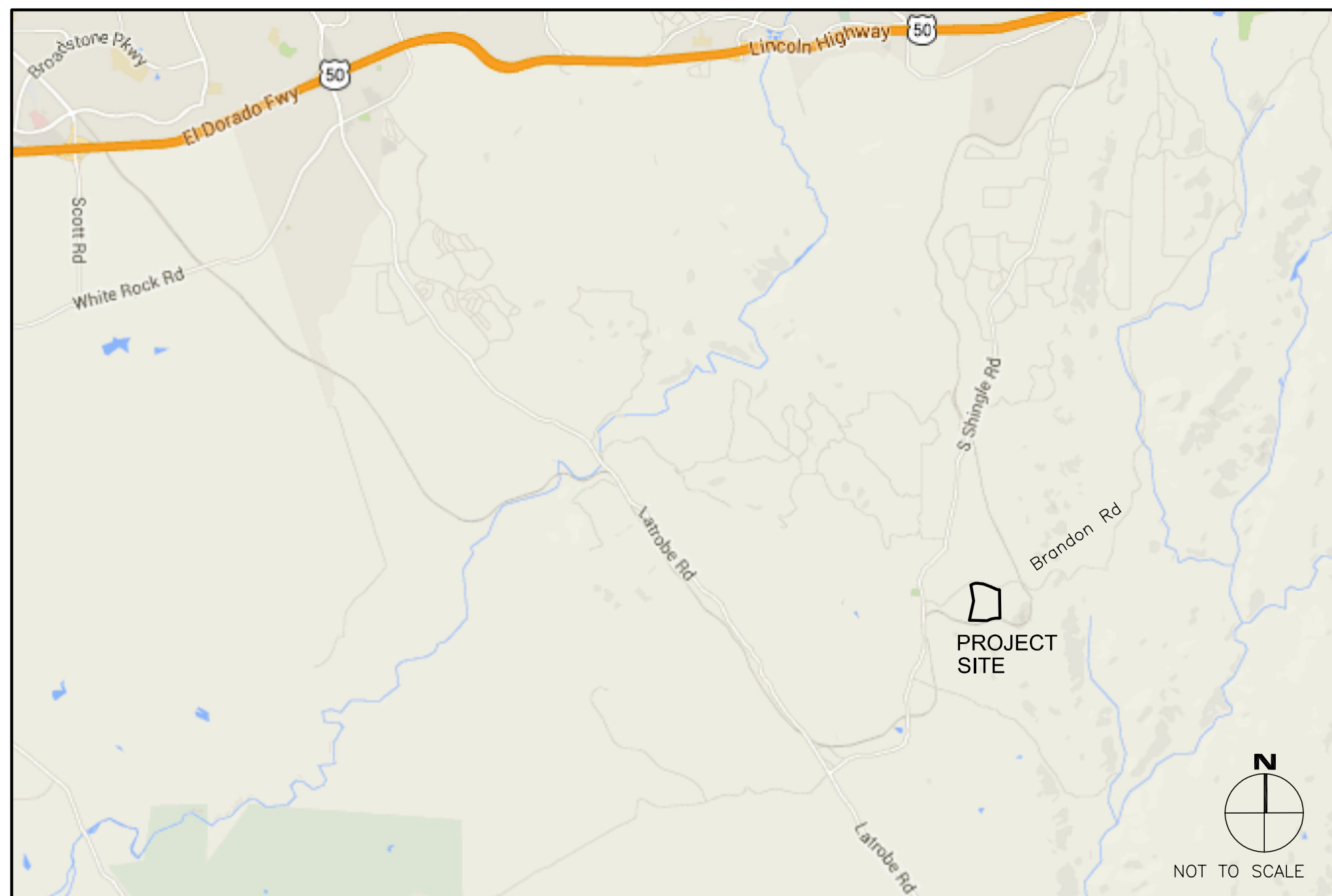


Exhibit F

OVERALL SITE PLAN WITH PROPOSED IMPROVEMENTS

1" = 100'-0"

GSB ARCHITECTURE
Architecture • Interiors • Planning
Greg S. Balderree, AIA
Architect / CGBP / LEED AP
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El Dorado Hills, CA 95762
(916) 933-8033
GSB-Arch@comcast.net
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Designed By: GSB
Drawn By: GSB
Checked By: GSB

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Consultant



MASTER PLAN

7388 BRANDON ROAD
LATROBE
CALIFORNIA 95682
APN: 087-021-66-100

Project Title
Cindy Keller & Starranne Meyers
DBA Guiding Hands School, Inc.
4900 Wind Play Drive
El Dorado Hills, CA
95762
(916) 939-0553

Client / Owner

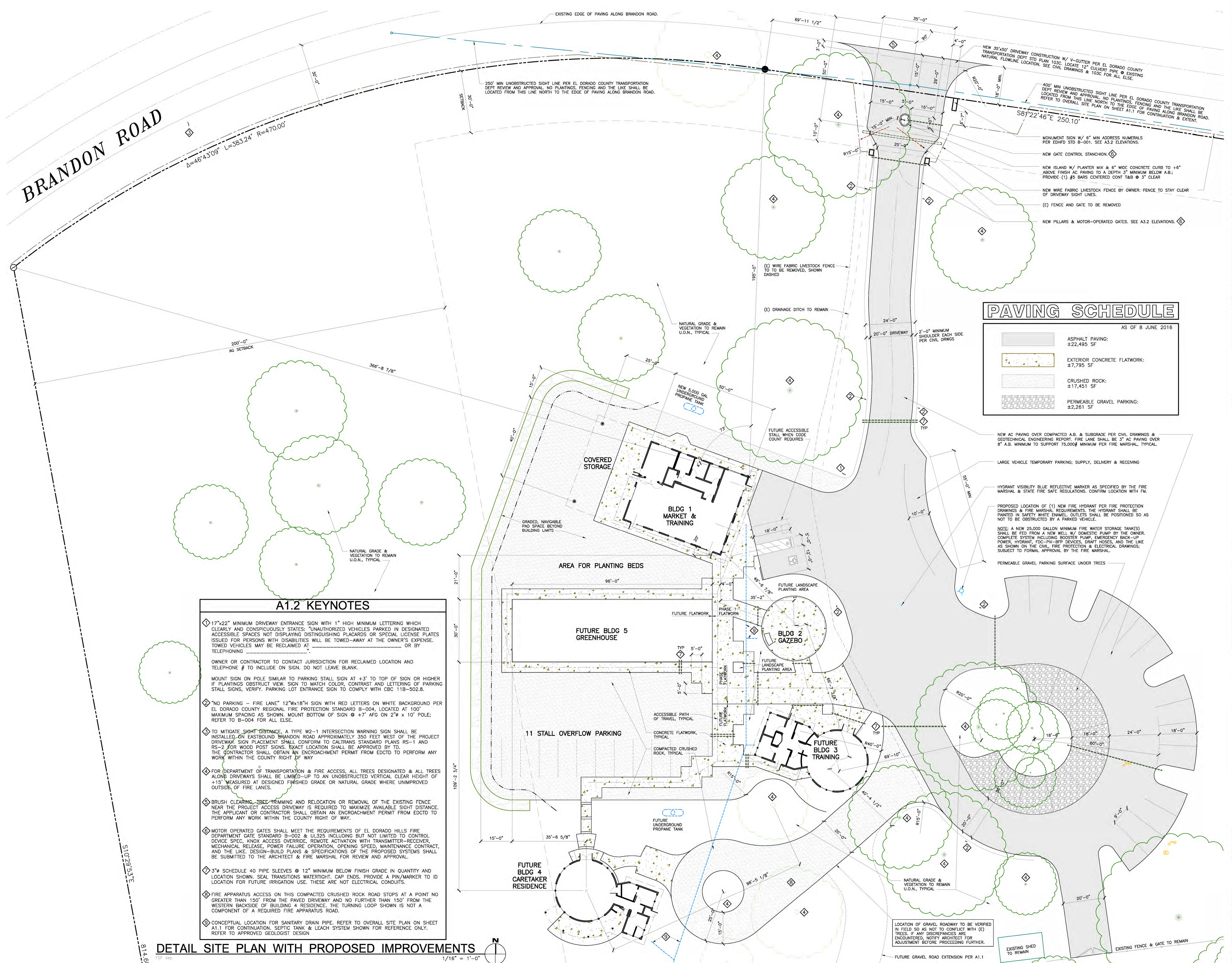
OVERALL SITE PLAN WITH PROPOSED IMPROVEMENT
BASIC CODE SUMMARY
PARKING CALCULATIONS
PROJECT DESCRIPTION
DRAWING INDEX
VICINITY MAP
DIRECTORY

SCHEMATIC PHASE

Sheet Title

PROGRESS PRINT
14 OCTOBER 2016
NOT FOR CONSTRUCTION

Revisions
Project No. GSB14-08
Date: IN PROGRESS
A1.1 of



PAVING SCHEDULE

AS OF 8 JUNE 2016

	ASPHALT PAVING: ±22,495 SF
	EXTERIOR CONCRETE FLATWORK: ±7,795 SF
	CRUSHED ROCK: ±17,451 SF
	PERMEABLE GRAVEL PARKING: ±2,261 SF

NEW AC PAVING OVER COMPACTED A.B. & SUBGRADE PER CIVIL DRAWINGS & GEOTECHNICAL ENGINEERING REPORT. FIRE LANE SHALL BE 3" AC PAVING OVER 8" A.B. MINIMUM TO SUPPORT 75,000# MINIMUM PER FIRE MARSHAL, TYPICAL.

LARGE VEHICLE TEMPORARY PARKING, SUPPLY, DELIVERY & RECEIVING

HYDRANT VISIBILITY BLUE REFLECTIVE MARKER AS SPECIFIED BY THE FIRE MARSHAL & STATE FIRE SAFE REGULATIONS. CONFIRM LOCATION WITH FM.

PROPOSED LOCATION OF (1) NEW FIRE HYDRANT PER FIRE PROTECTION DRAWINGS & FIRE MARSHAL REQUIREMENTS. THE HYDRANT SHALL BE PAINTED IN SAFETY WHITE ENAMEL. OUTLETS SHALL BE POSITIONED SO AS NOT TO BE OBSTRUCTED BY A PARKED VEHICLE.

NOTE: A NEW 25,000 GALLON MINIMUM FIRE WATER STORAGE TANK(S) SHALL BE FED FROM A NEW WELL W/ DOMESTIC PUMP BY THE OWNER. COMPLETE SYSTEM INCLUDING BOOSTER PUMP, EMERGENCY BACK-UP POWER, HYDRANT, FDC-FM-BEP DEVICES, DRAFT HOSES, AND THE LIKE AS SHOWN ON THE CIVIL FIRE PROTECTION & ELECTRICAL DRAWINGS. SUBJECT TO FORMAL APPROVAL BY THE FIRE MARSHAL.

PERMEABLE GRAVEL PARKING SURFACE UNDER TREES

- ### A1.2 KEYNOTES
- ◆ 17"x22" MINIMUM DRIVEWAY ENTRANCE SIGN WITH 1" HIGH MINIMUM LETTERING WHICH CLEARLY AND CONSPICUOUSLY STATES: "UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING Distinguishing PLACARDS OR SPECIAL LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES WILL BE TOWED-AWAY AT THE OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT _____ OR BY TELEPHONING _____"
 - ◆ OWNER OR CONTRACTOR TO CONTACT JURISDICTION FOR RECLAIMED LOCATION AND TELEPHONE # TO INCLUDE ON SIGN. DO NOT LEAVE BLANK.
 - ◆ MOUNT SIGN ON POLE SIMILAR TO PARKING STALL SIGN AT +3' TO TOP OF SIGN OR HIGHER IF PLANTINGS OBSTRUCT VIEW. SIGN TO MATCH COLOR, CONTRAST AND LETTERING OF PARKING STALL SIGNS. VERIFY. PARKING LOT ENTRANCE SIGN TO COMPLY WITH CBC 11B-502.6.
 - ◆ "NO PARKING - FIRE LANE" 12"x18" SIGN WITH RED LETTERS ON WHITE BACKGROUND PER EL DORADO COUNTY REGIONAL FIRE PROTECTION STANDARD B-004, LOCATED AT 100' MAXIMUM SPACING AS SHOWN. MOUNT BOTTOM OF SIGN @ +7' AFG ON 2" x 10' POLE; REFER TO B-004 FOR ALL ELSE.
 - ◆ TO MITIGATE SIGHT DISTANCE, A TYPE W2-1 INTERSECTION WARNING SIGN SHALL BE INSTALLED ON EASTBOUND BRANDON ROAD APPROXIMATELY 350 FEET WEST OF THE PROJECT DRIVEWAY. SIGN PLACEMENT SHALL CONFORM TO CALTRANS STANDARD PLANS RS-1 AND RS-2 FOR WOOD POST SIGNS. EXACT LOCATION SHALL BE APPROVED BY TD.
 - ◆ THE CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM EDCTD TO PERFORM ANY WORK WITHIN THE COUNTY RIGHT OF WAY
 - ◆ FOR DEPARTMENT OF TRANSPORTATION & FIRE ACCESS, ALL TREES DESIGNATED & ALL TREES ALONG DRIVEWAYS SHALL BE LIMBED-UP TO AN UNOBSTRUCTED VERTICAL CLEAR HEIGHT OF +15' MEASURED AT DESIGNED FINISHED GRADE OR NATURAL GRADE WHERE UNIMPROVED OUTSIDE OF FIRE LANES.
 - ◆ BRUSH CLEARING, TREE TRIMMING AND RELOCATION OR REMOVAL OF THE EXISTING FENCE NEAR THE PROJECT ACCESS DRIVEWAY IS REQUIRED TO MAXIMIZE AVAILABLE SIGHT DISTANCE. THE APPLICANT OR CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM EDCTD TO PERFORM ANY WORK WITHIN THE COUNTY RIGHT OF WAY.
 - ◆ MOTOR OPERATED GATES SHALL MEET THE REQUIREMENTS OF EL DORADO HILLS FIRE DEPARTMENT GATE STANDARD B-002 & UL325 INCLUDING BUT NOT LIMITED TO CONTROL DEVICE SPEC, KNOX ACCESS OVERRIDE, REMOTE ACTIVATION WITH TRANSMITTER-RECEIVER, MECHANICAL RELEASE, POWER FAILURE OPERATION, OPENING SPEED, MAINTENANCE CONTRACT, AND THE LIKE. DESIGN-BUILD PLANS & SPECIFICATIONS OF THE PROPOSED SYSTEMS SHALL BE SUBMITTED TO THE ARCHITECT & FIRE MARSHAL FOR REVIEW AND APPROVAL.
 - ◆ 3" SCHEDULE 40 PIPE SLEEVES @ 12" MINIMUM BELOW FINISH GRADE IN QUANTITY AND LOCATION SHOWN. SEAL TRANSITIONS WATER TIGHT. CAP ENDS. PROVIDE A PIN/MARKER TO ID LOCATION FOR FUTURE IRRIGATION USE. THESE ARE NOT ELECTRICAL CONDUITS.
 - ◆ FIRE APPARATUS ACCESS ON THIS COMPACTED CRUSHED ROCK ROAD STOPS AT A POINT NO GREATER THAN 150' FROM THE PAVED DRIVEWAY AND NO FURTHER THAN 150' FROM THE WESTERN BACKSIDE OF BUILDING 4 RESIDENCE. THE TURNING LOOP SHOWN IS NOT A COMPONENT OF A REQUIRED FIRE APPARATUS ROAD.
 - ◆ CONCEPTUAL LOCATION FOR SANITARY DRAIN PIPE. REFER TO OVERALL SITE PLAN ON SHEET A1.1 FOR CONTINUATION. SEPTIC TANK & LEACH SYSTEM SHOWN FOR REFERENCE ONLY. REFER TO APPROVED GEOLOGIST DESIGN

DETAIL SITE PLAN WITH PROPOSED IMPROVEMENTS

1/16" = 1'-0"

GSB ARCHITECTURE
Architecture • Interiors • Planning

Greg S. Baldersee, AIA
Architect / CGBP / LEED AP

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Designed By: GSB
Drawn By: GSB
Checked By: GSB

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Consultant

4 DIRECTIONS FARM



MASTER PLAN

7388 BRANDON ROAD
LATROBE
CALIFORNIA 95882
APN: 087-021-66-100

Project Title

Cindy Keller & Starranne Meyers
DBA Guiding Hands School, Inc.
4900 Wind Play Drive
El Dorado Hills, CA
95762
(916) 939-0553

Client / Owner

DETAIL SITE PLAN WITH PROPOSED IMPROVEMENTS

SCHEMATIC PHASE

Sheet Title

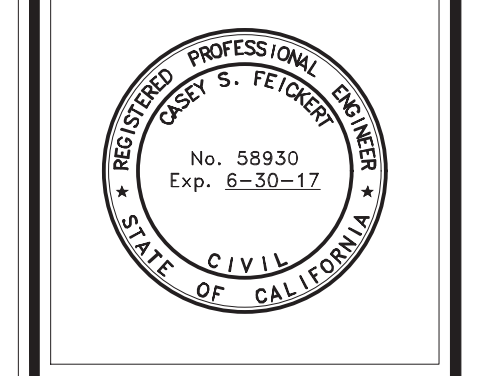
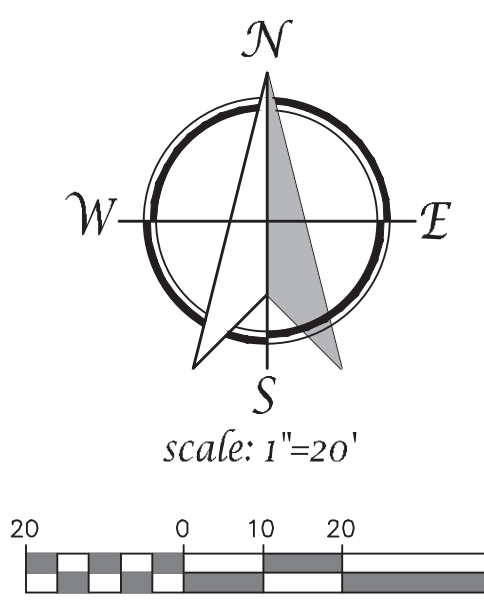
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Revisions

Project No.
GSB14-08

Date:
IN PROGRESS

A1.2
of



31 Natoma Street, Suite #160
 Folsom, CA 95630
 Phone: (916) 608-0707
 Fax: (916) 608-0701

TSD ENGINEERING, INC.
 expect more.

REVISIONS	SYMBOL	DATE	DESCRIPTION	BY	DATE

DESIGNED BY: CSF
 DRAWN BY: AM
 CHECKED BY: CJS
 DATE: 3/02/2016

IMPROVEMENT PLANS
4 DIRECTIONS FARM
7388 BRANDON ROAD
GRADING & DRAINAGE PLAN

LATROBE
 EL DORADO COUNTY, CA

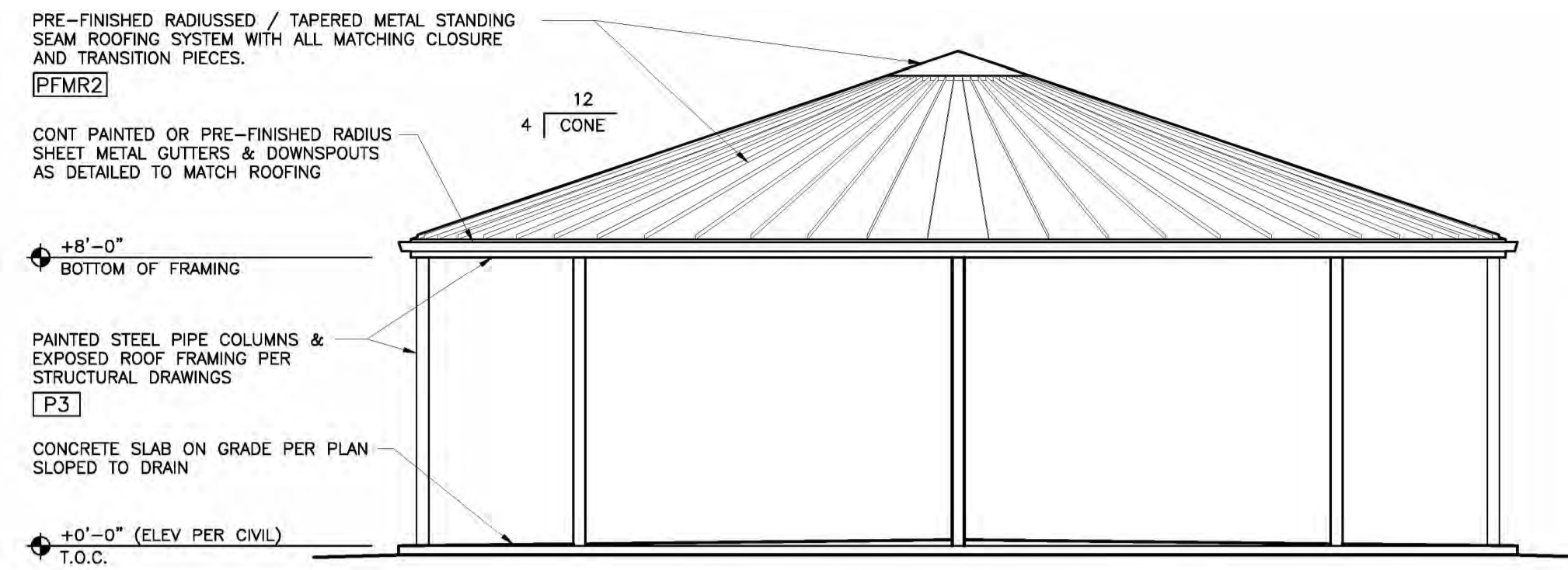
SHEET
C-3
 3 OF 4 SHEETS

RECORD DRAWINGS
 ENGINEER SIGNATURE _____ DATE _____

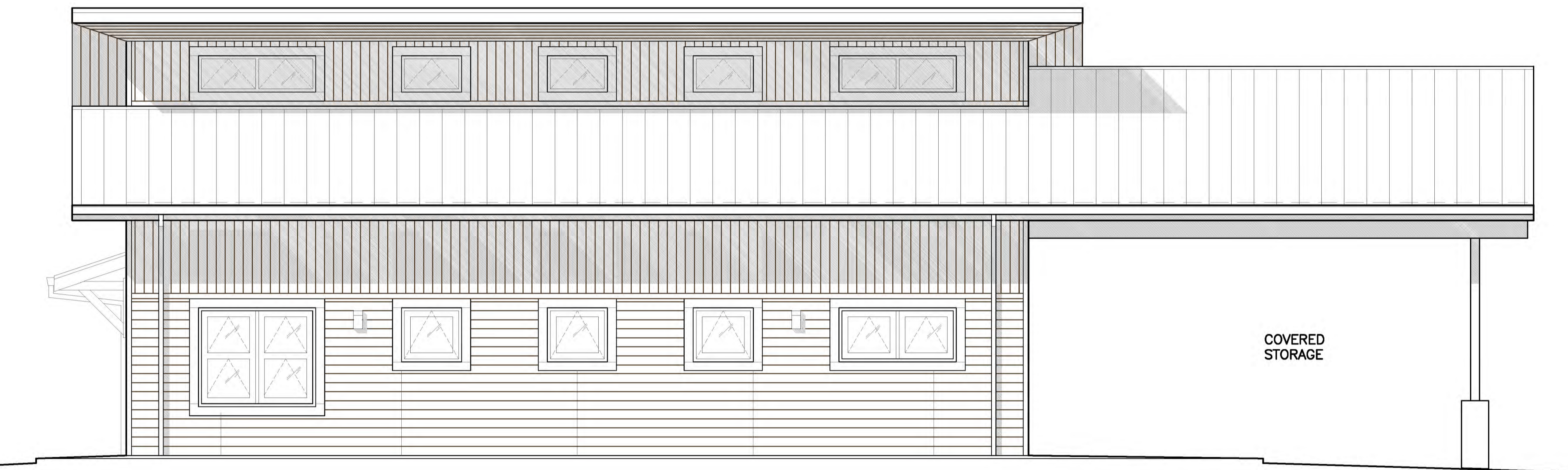
Exhibit G

P:\Projects\17-003\17-003.DWG - CIVIL\MASTER\17-003_C.dwg - TSD - Asm. 08:49:26, 03-07-16
 COORDINATION: SUBMITTAL - 3/2/2016 - NOT FOR CONSTRUCTION

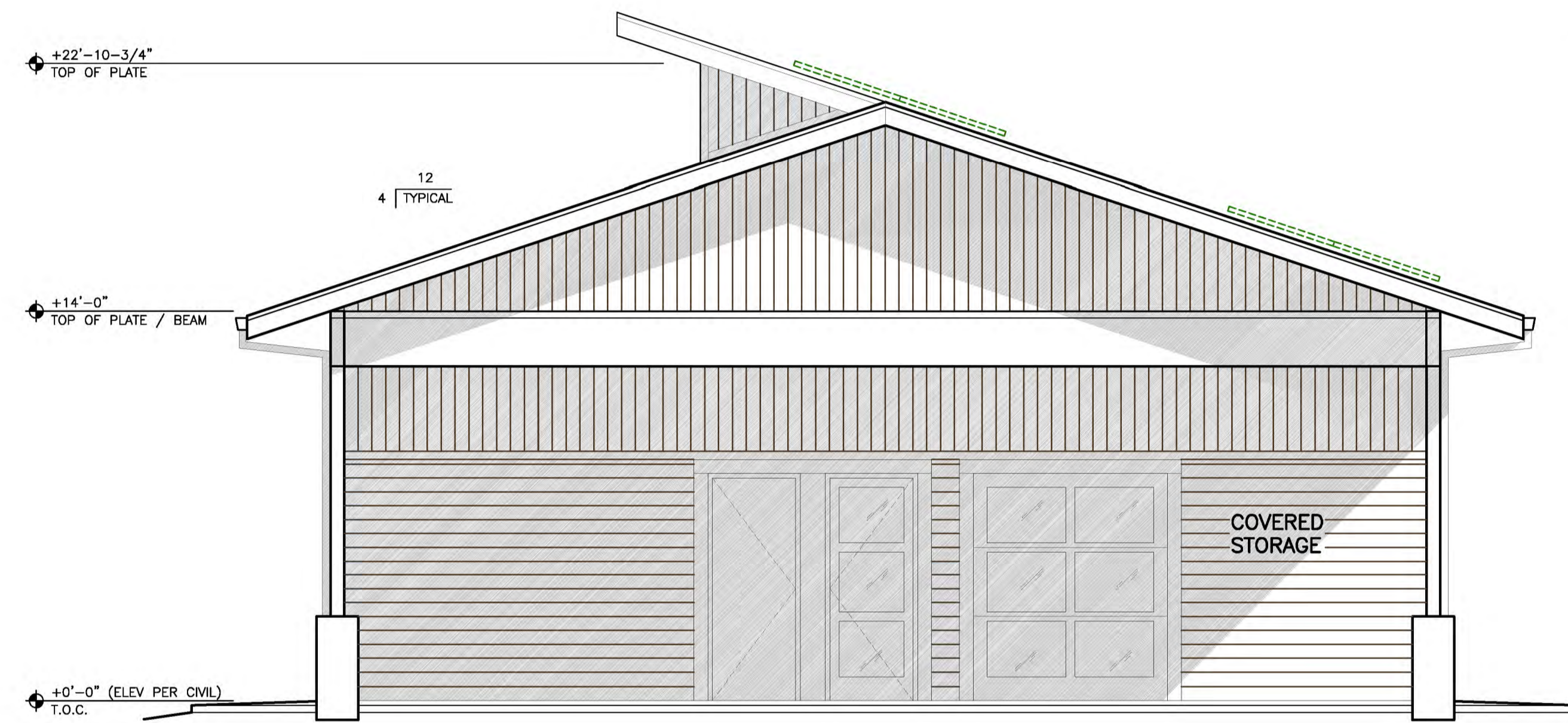
COLOR & FINISH NOTES	
1.	PAINT COLOR TRANSITIONS SHALL NOT OCCUR ON OUTSIDE CORNERS TO PROVIDE A "PAPER THIN" GEOMETRIC PLANE. PAINT COLORS SHALL WRAP CORNERS TO TERMINATE CRISPLY AT INSIDE CORNERS, NOT JUST ON OUTER FACE.
[P1]	PAINT COLOR#1: COLOR TO MATCH DARK BRONZE 071 BY SIERRA PACIFIC WINDOWS IN 100% ACRYLIC LOW-SHEEN FINISH BY DUNN EDWARDS OR APPROVED EQUAL.
[P2]	PAINT COLOR#2: WOOD STAIN COLOR & SEALER SYSTEM TO BE SELECTED.
[P3]	PAINT COLOR#3: COLOR TO MATCH PFDW2 BELOW IN 100% ACRYLIC SEMI-GLOSS FINISH BY DUNN EDWARDS OR APPROVED EQUAL.
[PFCP]	PRE-FINISHED HORIZONTAL & VERTICAL FIBER CEMENT PANELS IN WOOD GRAIN TEXTURE, "VINTAGEWOOD BARK" BY NICHHA OR APPROVED EQUAL.
[PFDW1]	PRE-FINISHED METAL CLAD WOOD DOORS, WINDOWS & FRAMES; INTERIOR SIDE TO BE FIELD FINISHED IN PAINT SYSTEM TBD: "HERITAGE COLLECTION 054 COLONIAL RED" BY SIERRA PACIFIC WINDOWS, OR APPROVED EQUAL.
[PFDW2]	PRE-FINISHED METAL CLAD WOOD DOORS, WINDOWS & FRAMES; INTERIOR SIDE TO BE FIELD FINISHED IN PAINT SYSTEM TBD: "HERITAGE COLLECTION 045 SLATE GRAY" BY SIERRA PACIFIC WINDOWS, OR APPROVED EQUAL.
[PFMR1]	PRE-FINISHED METAL ROOF: "07 REDWOOD" BY ATAS INTERNATIONAL, INC. OR APPROVED EQUAL.
[PFMR2]	PRE-FINISHED METAL ROOF: "35 TITANIUM" BY ATAS INTERNATIONAL, INC. OR APPROVED EQUAL.
[PFMW1]	PRE-FINISHED METAL WALL: "35 TITANIUM" BY ATAS INTERNATIONAL, INC. OR APPROVED EQUAL.
[SV]	STONE VENEER: SET IN DRY-STACKED GROUT TECHNIQUE; "SOMERSET" STONE VENEER, SHADOW ROCK SERIES BY ELDORADO STONE OR APPROVED EQUAL.



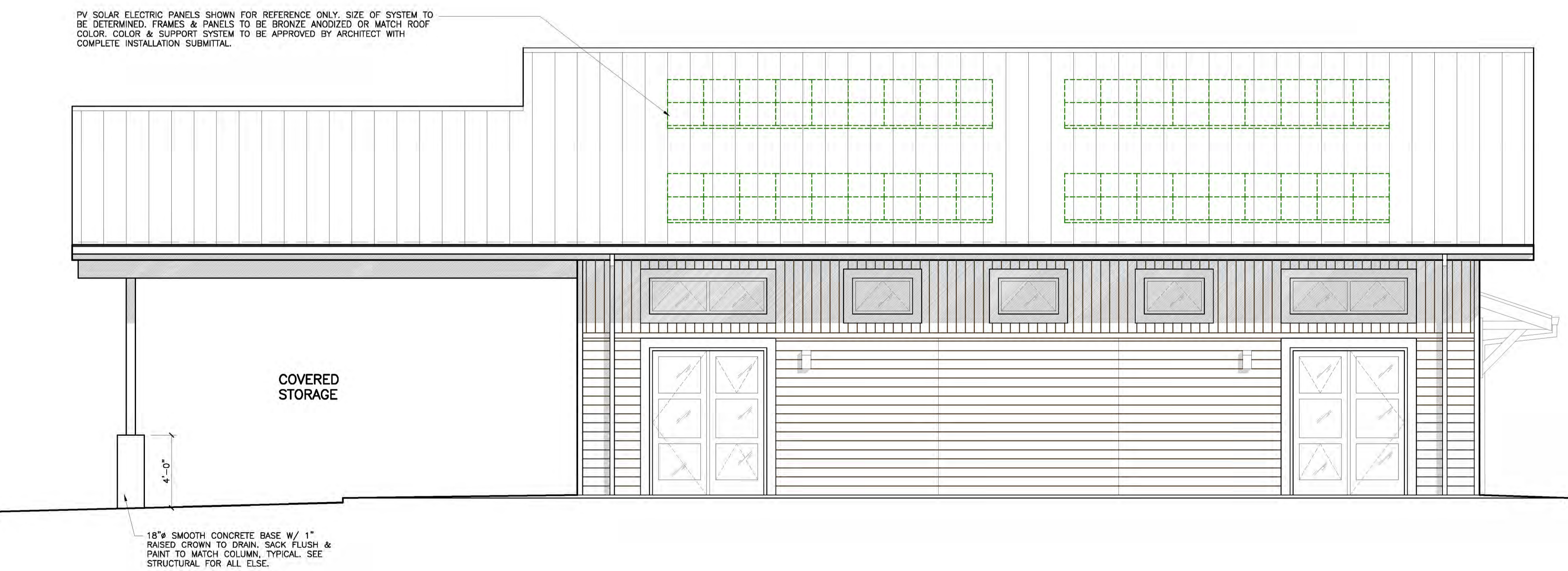
BUILDING 2 GAZEBO - TYPICAL ELEVATION
1/4"=1'-0"



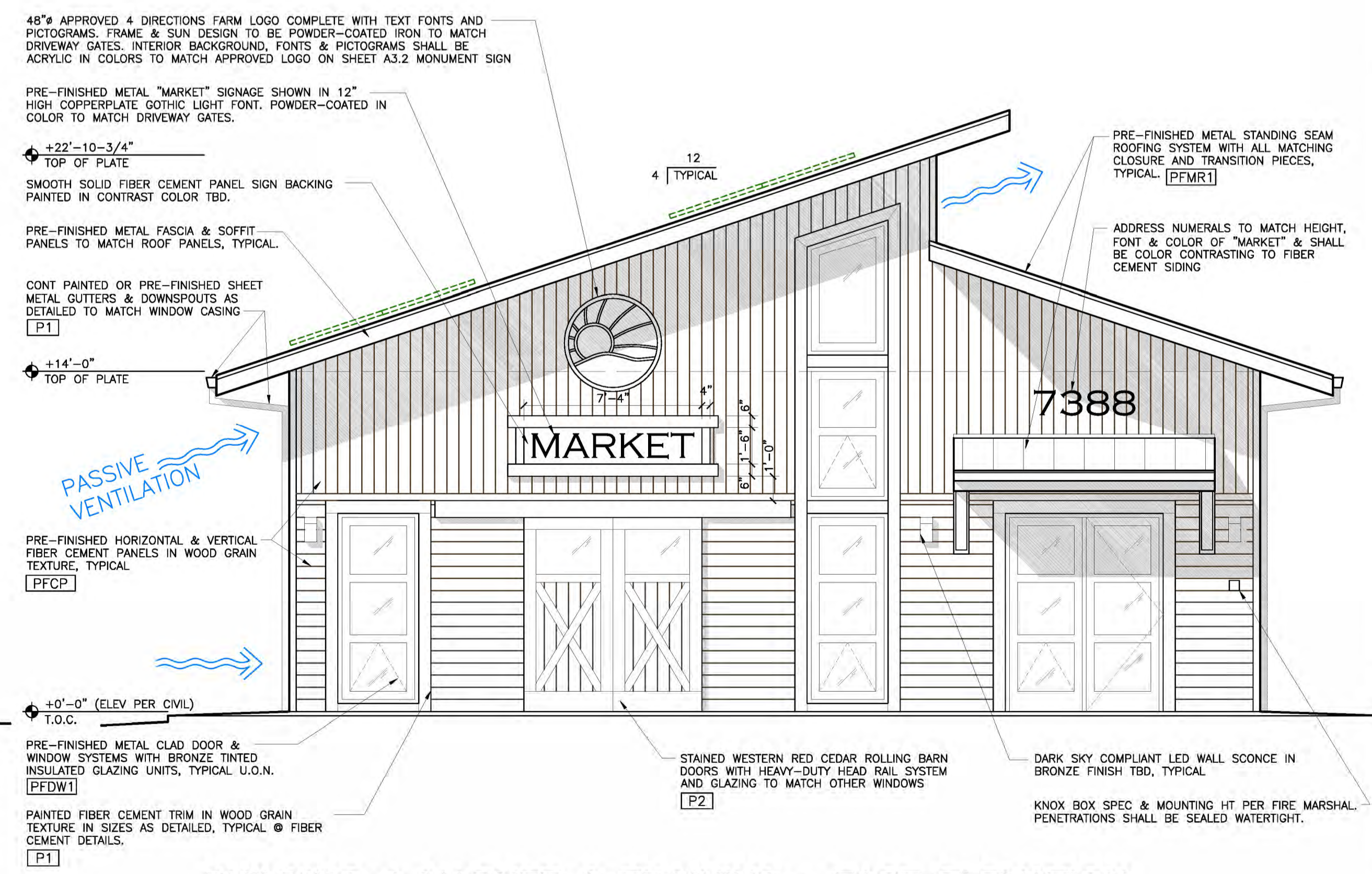
BUILDING 1 MARKET & TRAINING - NORTH ELEVATION
1/4"=1'-0"



BUILDING 1 MARKET & TRAINING - WEST ELEVATION
1/4"=1'-0"



BUILDING 1 MARKET & TRAINING - SOUTH ELEVATION
1/4"=1'-0"



BUILDING 1 MARKET & TRAINING - EAST ELEVATION
1/4"=1'-0"

Exhibit H

GSB ARCHITECTURE
Architecture • Interiors • Planning

Greg S. Baldersee, AIA
Architect / CGBP / LEED AP

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El Dorado Hills, CA 95762
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DESIGNED BY: GSB
DRAWN BY: GSB
CHECKED BY: GSB

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Consultant
4 DIRECTIONS FARM
MASTER PLAN

7388 BRANDON ROAD
LATROBE
CALIFORNIA 95882
APN: 087-021-66-100
Project Title

Cindy Keller & Starranne Meyers
DBA Guiding Hands School, Inc.
4900 Wind Play Drive
El Dorado Hills, CA
95762
(916) 939-0553
Client / Owner

BUILDING 1 MARKET & TRAINING - EXTERIOR ELEVATIONS

BUILDING 2 GAZEBO - TYPICAL ELEVATION

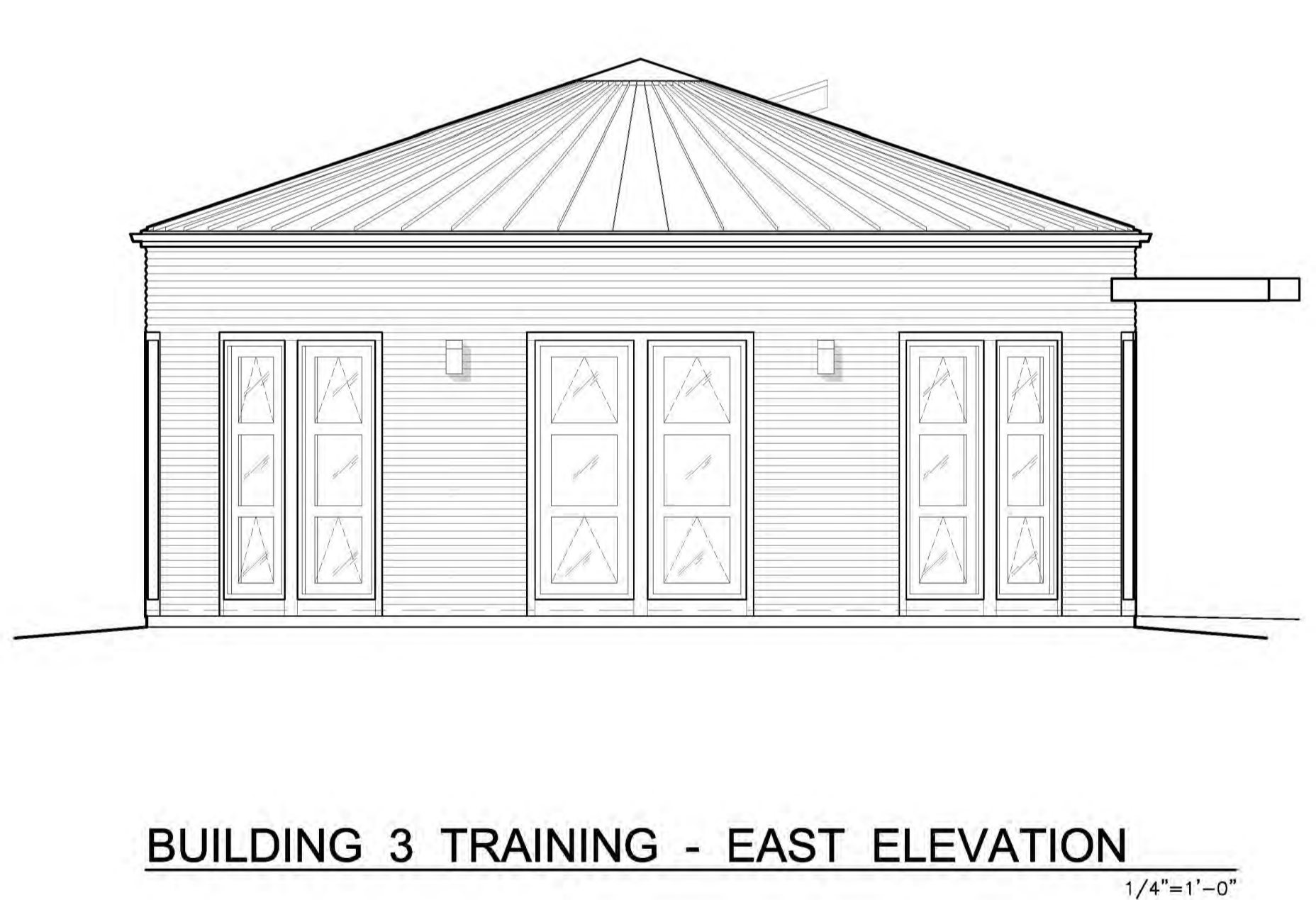
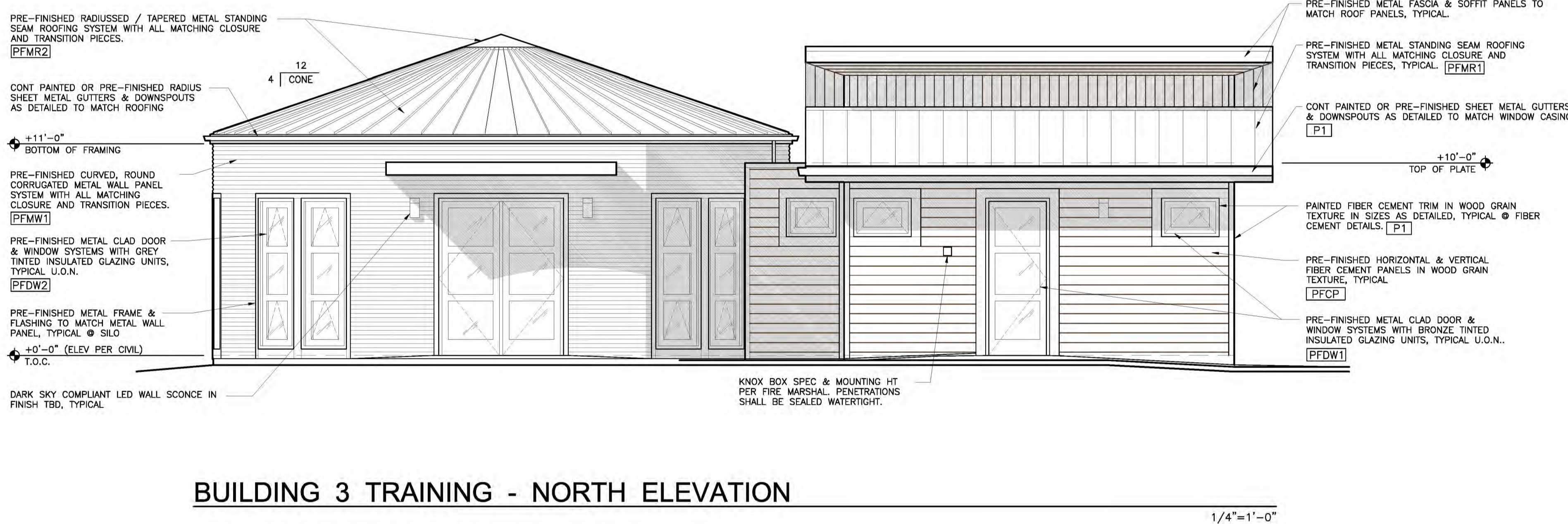
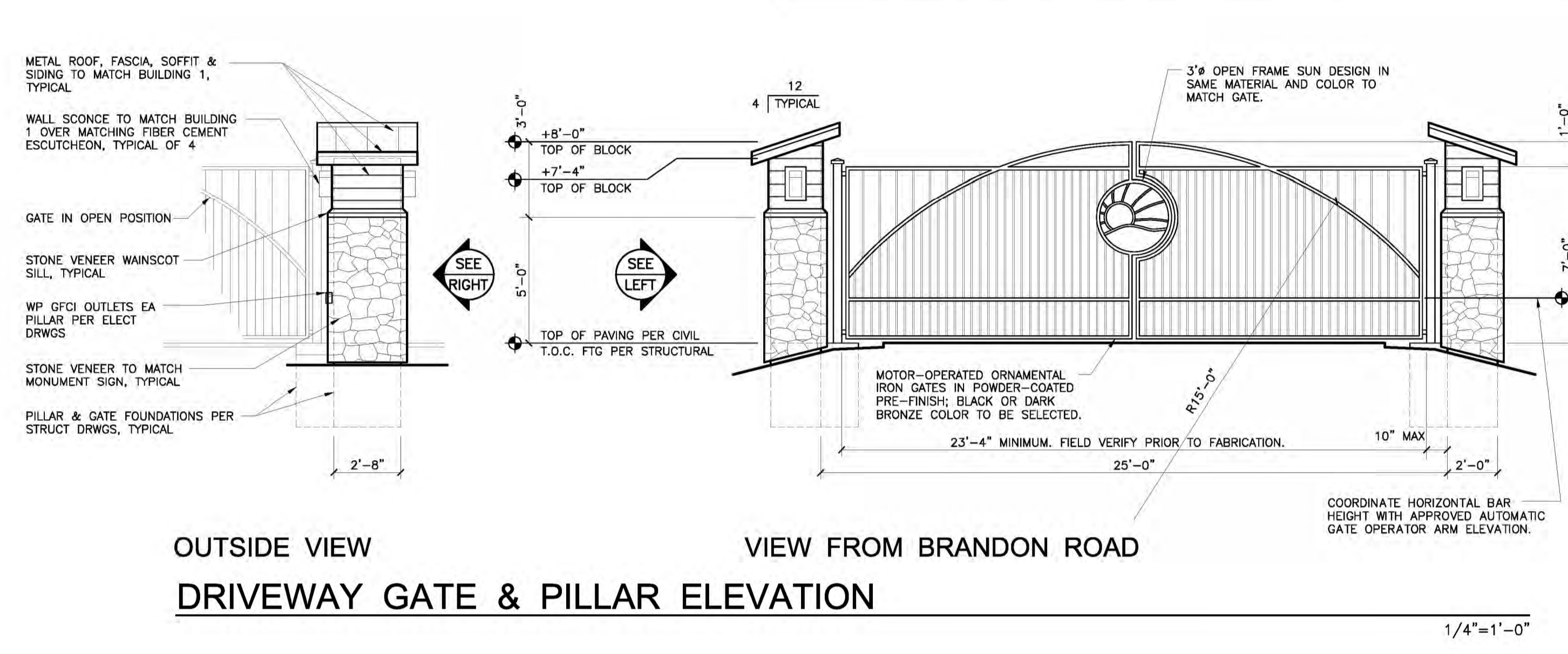
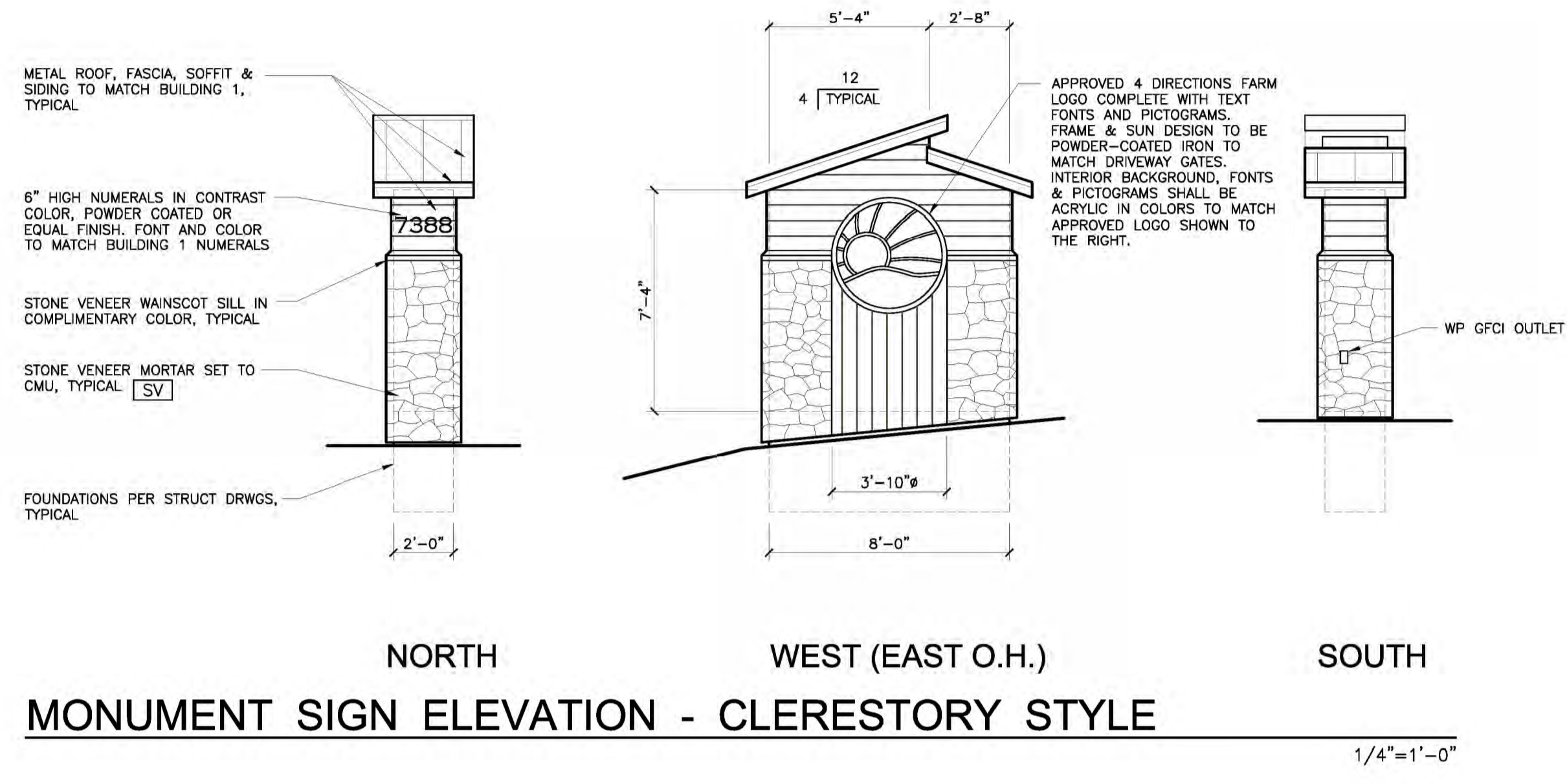
SCHEMATIC PHASE
Sheet Title

PROGRESS PRINT
24 AUGUST 2016
NOT FOR CONSTRUCTION

Revisions
Project No. GSB14-08
Date: IN PROGRESS

A3.1
of

COLOR & FINISH NOTES	
1.	PAIN T COLOR TRANSITIONS SHALL NOT OCCUR ON OUTSIDE CORNERS TO PROVIDE A "PAPER THIN" GEOMETRIC PLANE. PAINT COLORS SHALL WRAP CORNERS TO TERMINATE CRISPLY AT INSIDE CORNERS, NOT JUST ON OUTER FACE.
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GSB ARCHITECTURE
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El Dorado Hills, CA 95762
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GSB-Arch@comcast.net
www.GSB-Arch.com

LICENSED ARCHITECT
GREG S. BALDERSEE
NO. C27461
REN. 1-31-17
STATE OF CALIFORNIA

Designed By: GSB
Drawn By: GSB
Checked By: GSB

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Consultant



MASTER PLAN

7388 BRANDON ROAD
LATROBE
CALIFORNIA 95682
APN: 087-021-66-100

Project Title

Cindy Keller & Starranne Meyers
DBA Guiding Hands School, Inc.
4900 Wind Play Drive
El Dorado Hills, CA
95762
(916) 939-0553

Client / Owner

BUILDING 3 TRAINING - EXTERIOR ELEVATIONS

DRIVEWAY GATE & PILLAR ELEVATIONS

MONUMENT SIGNAGE ELEVATIONS

SCHEMATIC PHASE

Sheet Title

PROGRESS PRINT
24 AUGUST 2016
NOT FOR CONSTRUCTION

Revisions

Project No. GSB14-08
Date: IN PROGRESS

A3.2
of



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 Drawn By: GSB
 Checked By: GSB

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Approvals
 Consultant



MASTER PLAN

7388 BRANDON ROAD
 LATROBE
 CALIFORNIA 95882
 APN: 087-021-66-100

Project Title
 Cindy Keller & Starranne Meyers
 DBA Guiding Hands School, Inc.
 4900 Wind Play Drive
 El Dorado Hills, CA
 95762
 (916) 939-0553

Client / Owner

BUILDING 4 CARETAKER RESIDENCE - EXTERIOR ELEVATIONS

SCHEMATIC PHASE

Sheet Title

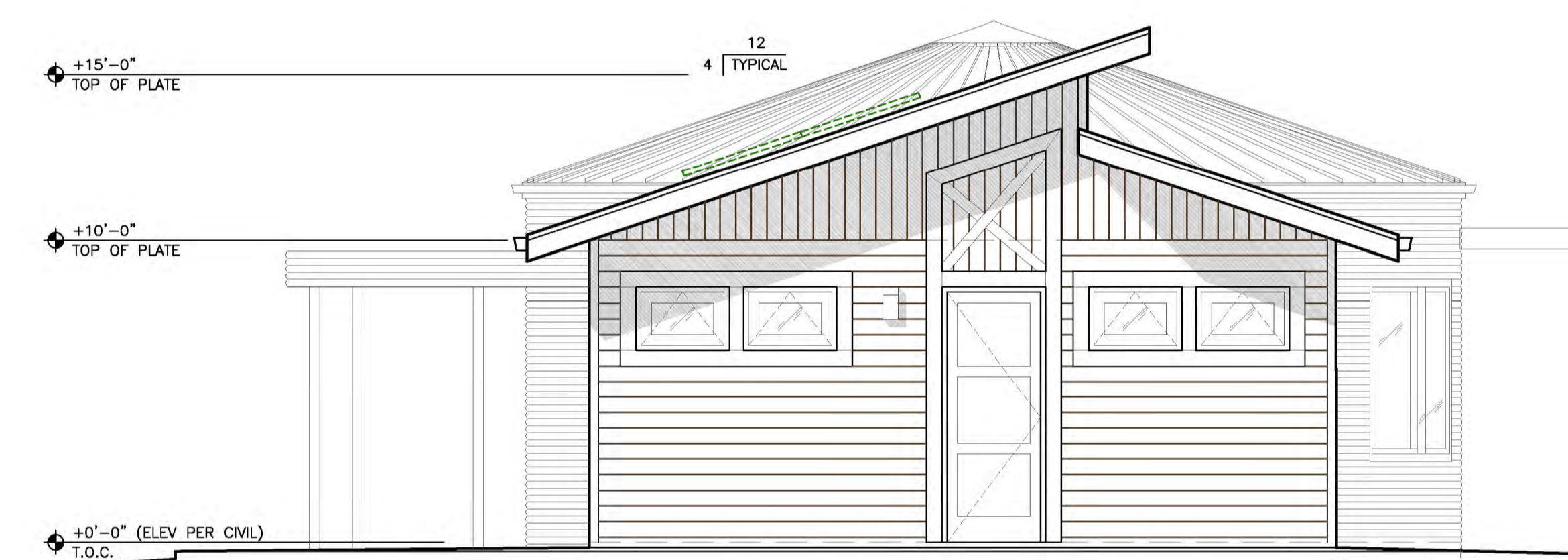
PROGRESS PRINT
 24 AUGUST 2016
 NOT FOR CONSTRUCTION

Revisions
 Project No. GSB14-08
 Date: IN PROGRESS
 A3.3 of

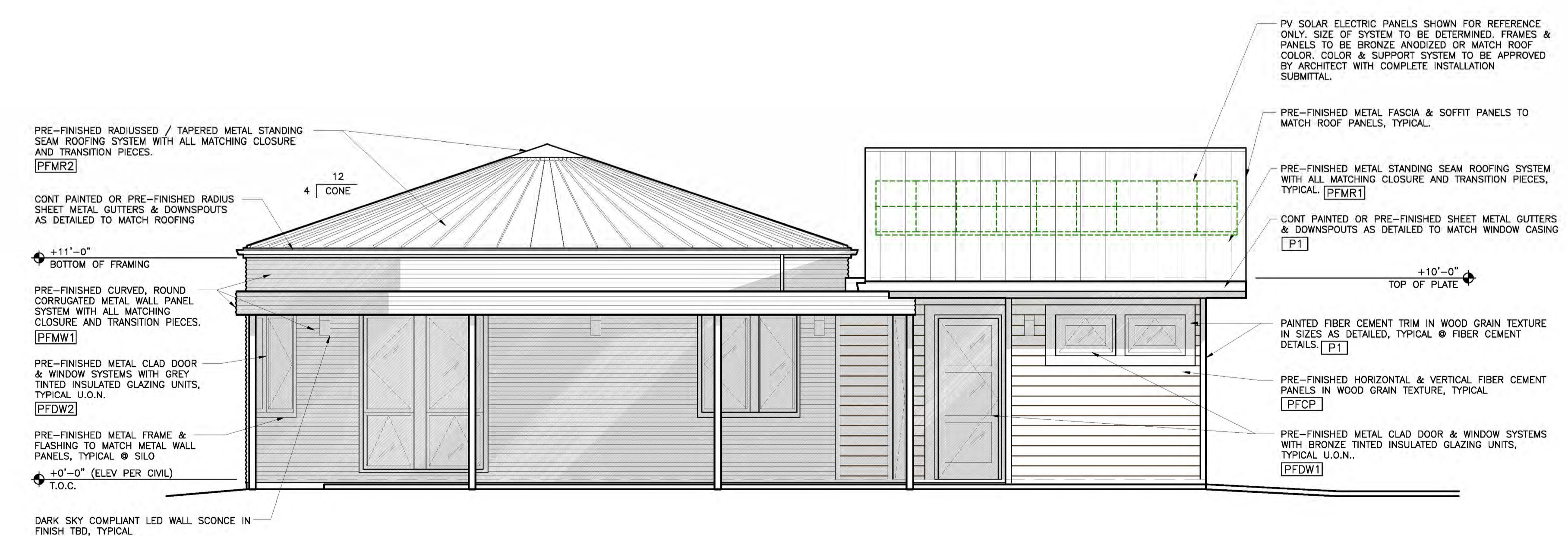
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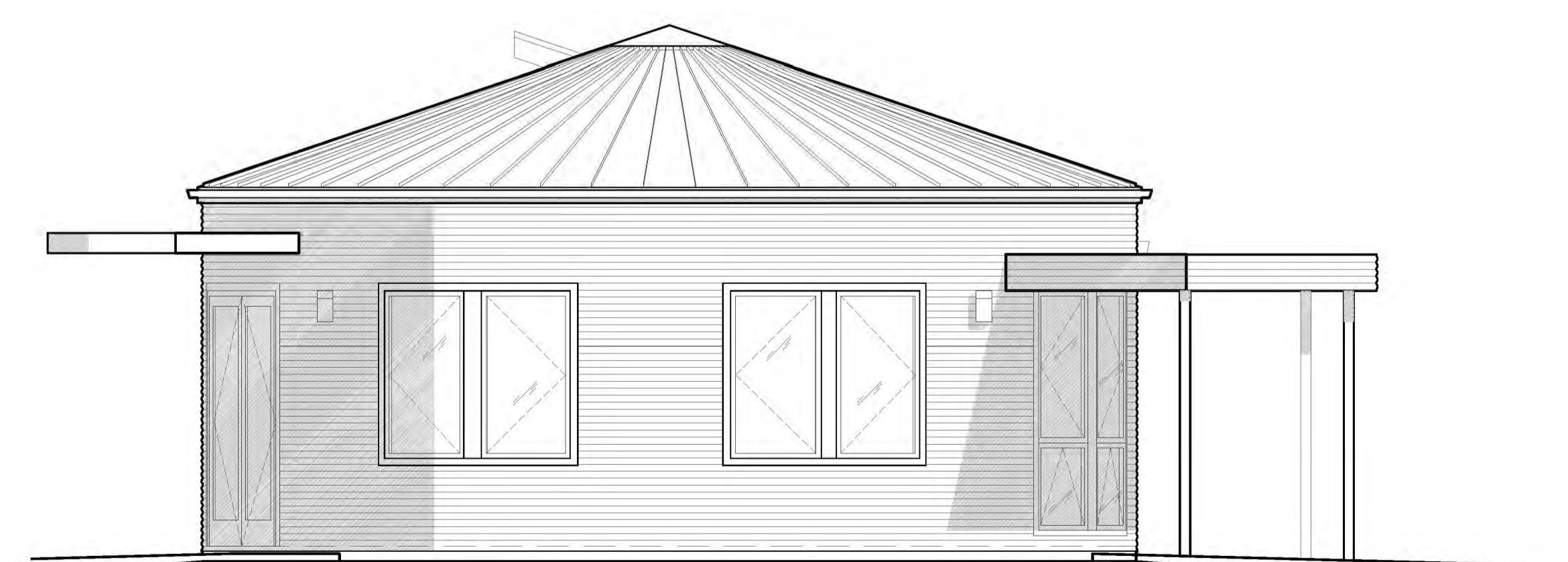
BUILDING 4 CARETAKER RESIDENCE - NORTH ELEVATION
 1/4"=1'-0"



BUILDING 4 CARETAKER RESIDENCE - EAST ELEVATION
 1/4"=1'-0"



BUILDING 4 CARETAKER RESIDENCE - SOUTH ELEVATION
 1/4"=1'-0"



BUILDING 4 CARETAKER RESIDENCE - WEST ELEVATION
 1/4"=1'-0"



LOGO

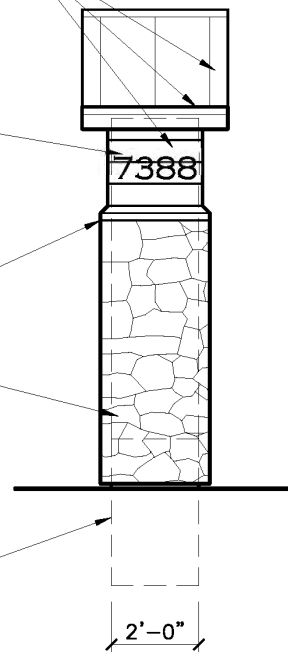
METAL ROOF, FASCIA, SOFFIT & SIDING TO MATCH BUILDING 1, TYPICAL

6" HIGH NUMERALS IN CONTRAST COLOR, POWDER COATED OR EQUAL FINISH. FONT AND COLOR TO MATCH BUILDING 1 NUMERALS

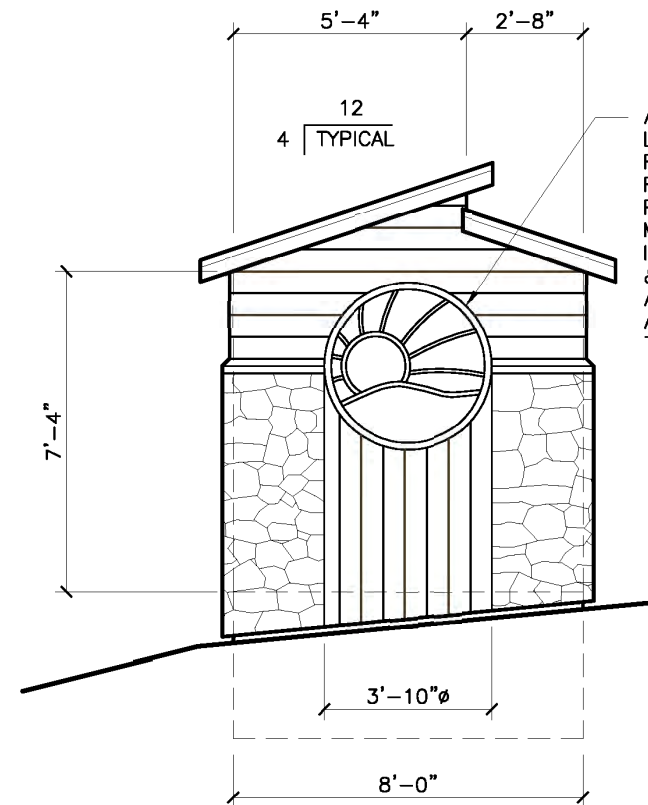
STONE VENEER WAINSCOT SILL IN COMPLIMENTARY COLOR, TYPICAL

STONE VENEER MORTAR SET TO CMU, TYPICAL SV

FOUNDATIONS PER STRUCT DRWGS, TYPICAL

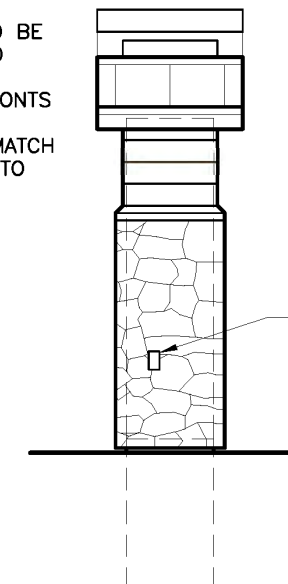


NORTH



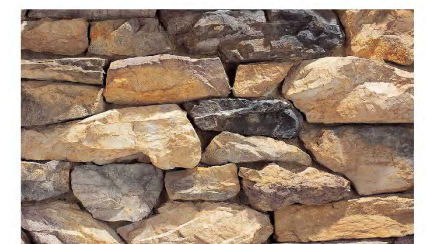
WEST (EAST O.H.)

APPROVED 4 DIRECTIONS FARM LOGO COMPLETE WITH TEXT FONTS AND PICTOGRAMS. FRAME & SUN DESIGN TO BE POWDER-COATED IRON TO MATCH DRIVEWAY GATES. INTERIOR BACKGROUND, FONTS & PICTOGRAMS SHALL BE ACRYLIC IN COLORS TO MATCH APPROVED LOGO SHOWN TO THE RIGHT.



SOUTH

WP GFCI OUTLET



STONE

"SOMERSET" STONE VENEER, SHADOW ROCK SERIES BY ELDORADO STONE

MONUMENT SIGN ELEVATION - CLERESTORY STYLE

1/4"=1'-0"

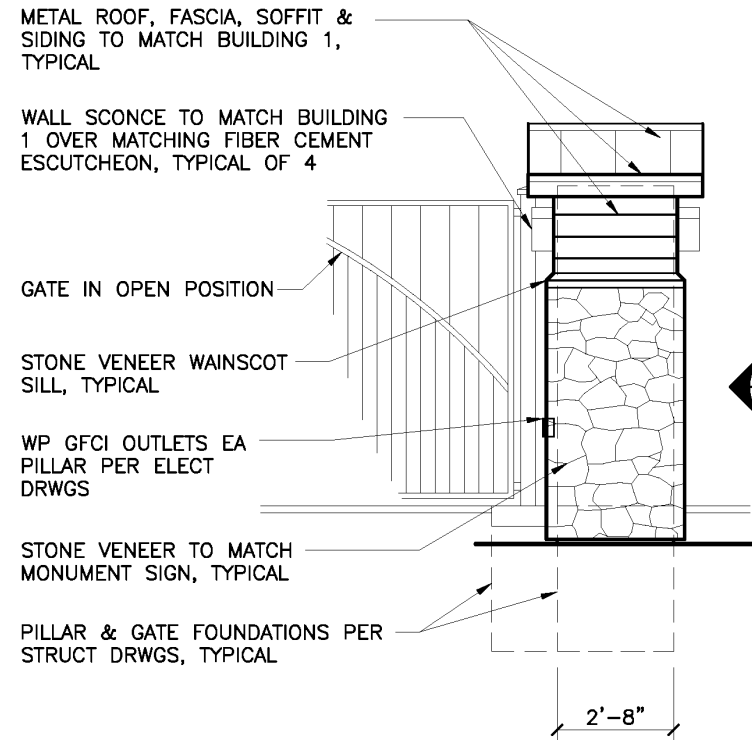
Exhibit I

4 DIRECTIONS FARM
7388 BRANDON ROAD LATROBE, CA 95682

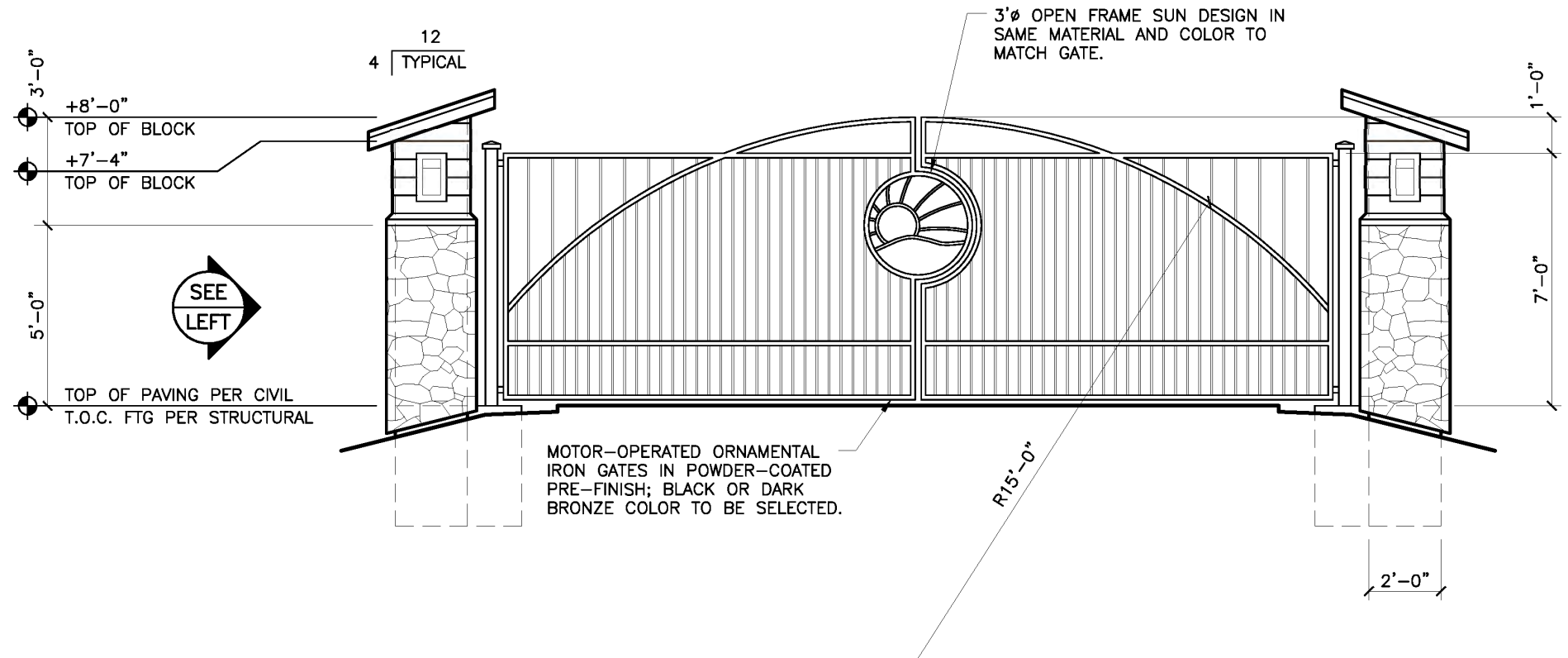
ARCHITECTURAL SIGNAGE
SUPPLEMENTAL
CLARIFICATION DRAWING

Project No.
GSB14-08
Date:
17 AUGUST 2016
ACD1

GSB ARCHITECTURE, INC.
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OUTSIDE VIEW



VIEW FROM BRANDON ROAD

DRIVEWAY GATE & PILLAR ELEVATION

1/4"=1'-0"

4 DIRECTIONS FARM
7388 BRANDON ROAD LATROBE, CA 95682

ARCHITECTURAL
SUPPLEMENTAL
CLARIFICATION DRAWING

Project No.
GSB14-08
Date:
17 AUGUST 2016
ACD2

GSB ARCHITECTURE, INC.
Architecture • Interiors • Planning
Greg S. Balderree, AIA
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El Dorado Hills, CA 95762
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LOGO

48"Ø APPROVED 4 DIRECTIONS FARM LOGO COMPLETE WITH TEXT FONTS AND PICTOGRAMS. FRAME & SUN DESIGN TO BE POWDER-COATED IRON TO MATCH DRIVEWAY GATES. INTERIOR BACKGROUND, FONTS & PICTOGRAMS SHALL BE ACRYLIC IN COLORS TO MATCH APPROVED LOGO SHOWN TO THE RIGHT.

PRE-FINISHED METAL "MARKET" SIGNAGE SHOWN IN 12" HIGH COPPERPLATE GOTHIC LIGHT FONT. POWDER-COATED IN COLOR TO MATCH DRIVEWAY GATES.

SMOOTH SOLID FIBER CEMENT PANEL SIGN BACKING PAINTED IN CONTRAST COLOR TBD.

PAINTED FIBER CEMENT TRIM IN WOOD GRAIN TEXTURE IN SIZES AS DETAILED, TYPICAL © FIBER CEMENT DETAILS.

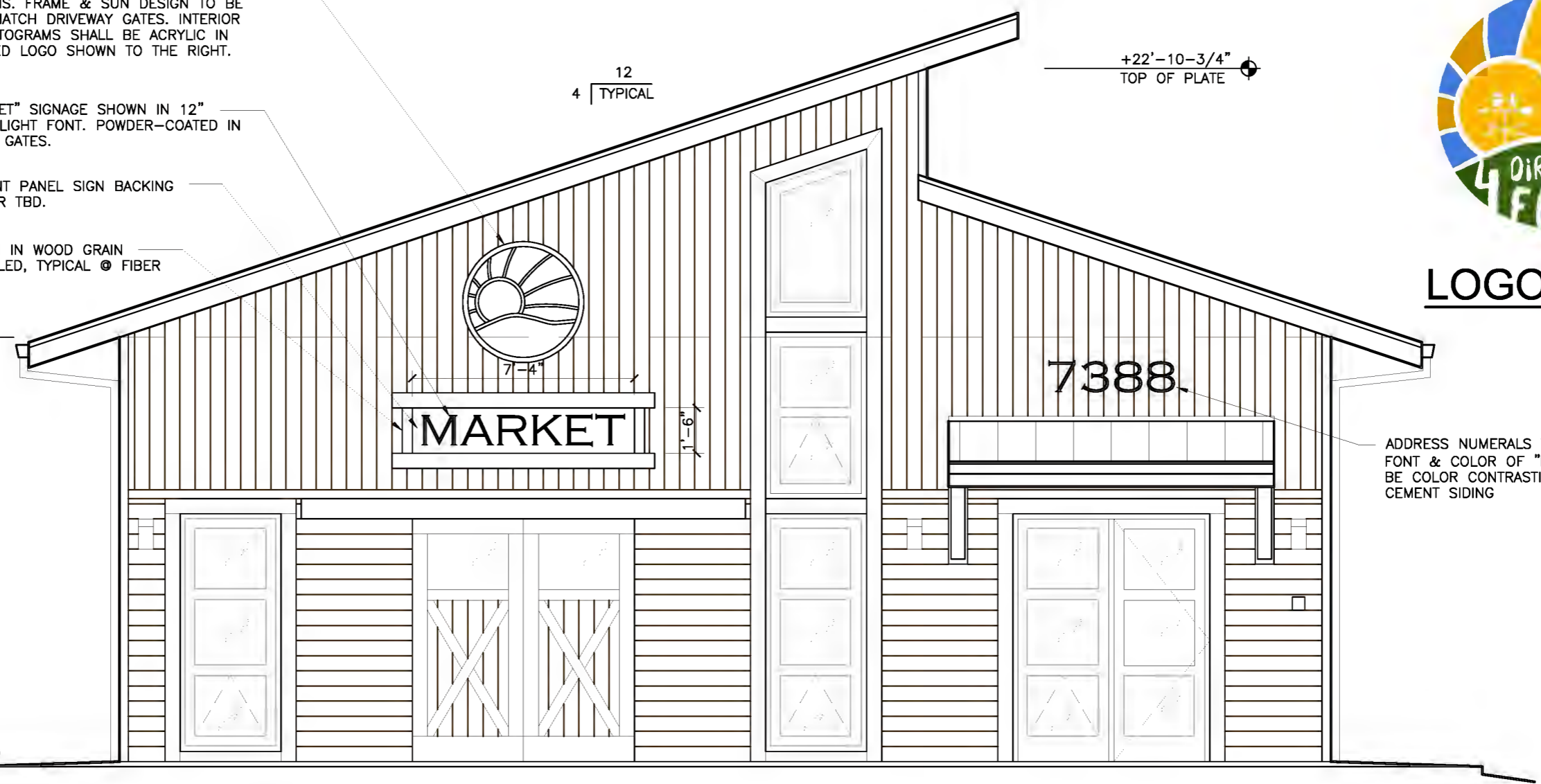
P1

+14'-0" TOP OF PLATE

+22'-10-3/4" TOP OF PLATE

12
4 TYPICAL

+0'-0" (ELEV PER CIVIL) T.O.C.



ADDRESS NUMERALS TO MATCH HEIGHT, FONT & COLOR OF "MARKET" & SHALL BE COLOR CONTRASTING TO FIBER CEMENT SIDING

REFER TO SHEET A3.1 FOR ALL ELSE

BUILDING 1 MARKET & TRAINING - EAST ELEVATION - SIGNAGE

1/4"=1'-0"

4 DIRECTIONS FARM
7388 BRANDON ROAD LATROBE, CA 95682

ARCHITECTURAL SIGNAGE
SUPPLEMENTAL
CLARIFICATION DRAWING

Project No.
GSB14-08
Date:
17 AUGUST 2016
ACD3

GSB ARCHITECTURE, INC.
Architecture • Interiors • Planning
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4 Directions Farm Phasing Summary

	Phase 1	Phase 2	Phase 3
Years Projected	2016-2018	2019-2020	2021-2024
Grading & Drainage	As shown on Architectural sheet A1.1, A1.2, and Civil sheet C-3 & C-4, all Building Pads, Driveway & Parking areas intend to be graded and improved with Phase 1, including any retaining walls, paving, underground utility work, and the like.	Normal Crop Furrowing as required for intended crops	Normal Crop Furrowing as required for intended crops
Buildings Constructed	Bldg 1 Market & Training & Bldg 2 Gazebo	Bldg 5 Greenhouse & Raised Planter Beds	Bldg 3 Training Workshop & Bldg 4 Caretakers Cottage
Crops Planted	Lavender & Flowers/herbs	Christmas Trees & Pumpkins	Additional Christmas Trees, Vegetables & Selling Organics
Farm Workers	10 to 15	15 to 35	25 to 50
Staffing	5 to 10	11 to 15	15 to 20
Volunteers	5 to 10	11 to 15	15+
Product Production	Organic Soap, Cards, Birdhouses, Flower/herbs, Herb Boxes	Add Lavender Products, Ceramic Products, Pumpkins, Living Christmas Trees in Pots, and Alpaca Fiber Weaving	Sale of Christmas Trees, Pumpkins Plus Previously Listed Products

Note: Grading and Drainage added. Building Labels modified to mimic drawings. GSB 4-13-2016

Exhibit J



AGRICULTURAL COMMISSION

311 Fair Lane
Placerville, CA 95667
(530) 621-5520
(530) 626-4756 FAX
eldcag@edcgov.us

Greg Boeger, Chair – Agricultural Processing Industry
Dave Bolster, Vice-chair – Fruit and Nut Farming Industry
Chuck Bacchi – Livestock Industry
Bill Draper – Forestry/Related Industries
Ron Mansfield – Fruit and Nut Farming Industry
Tim Neilsen – Livestock Industry
Lloyd Walker – Other Agricultural Interests

MEMORANDUM

DATE: February 9, 2017
TO: Development Services/Planning
FROM: Greg Boeger Chair
SUBJECT: 4 Directions Farm Conditional Use Permit
Project File No. S16-0005

Exhibit K

During the Agricultural Commission's regularly scheduled meeting held on February 8, 2017 a request to review a conditional use permit proposing the operation of a private school, teaching organic farming skills to disabled youths and young adults.

Planning Request and Project Description:

S16-0005 is based on the following project description: Conditional Use Permit for a 56.8 acre parcel, APN 087-021-66. The parcel has a General Plan designation of Rural Residential (RR) and a zoning designation of Rural Lands 20 Acre (RL-20). The conditional use permit proposes the operation of a private school, teaching organic farming skills to disabled youths and young adults. The project would result in the construction of five single story structures, paving and widening of the existing driveway, a new paved parking lot, fire lanes, a new water well and septic system. The project site is located on the south side of Brandon Road, 0.5 mile east of the intersection with South Shingle Road in the Latrobe area. (District 2).

Relevant Policies:

General Plan Policy 8.1.4.1 - The County Agricultural Commission shall review all discretionary development applications and the location of proposed public facilities involving land zoned for or designated agriculture, or lands adjacent to such lands and shall make recommendations to the reviewing authority. Before granting approval, a determination shall be made by the approving authority that the proposed use:

- A. Will not intensify existing conflicts or add new conflicts between adjacent residential areas and agricultural activities; and
- B. Will not create an island effect wherein agricultural lands located between the project site and other non-agricultural lands will be negatively affected; and
- C. Will not significantly reduce or destroy the buffering effect of existing large parcel sizes adjacent to agricultural lands.

General Plan Policy 8.1.4.2 - The Agricultural Commission shall review all school site

development applications involving agricultural lands and lands within Agricultural Districts, or lands adjacent to agricultural lands and lands adjacent to Agricultural Districts, and shall make recommendations to the approving authority. To determine consistency with the General Plan, the approving authority shall find that the school site development is “in the public interest.” For purposes of this policy, the approving authority, in determining if the school development is “in the public interest,” shall consider the following factors:

- A. The objectives of the Agricultural Element, to ensure that agricultural lands are conserved and protected, and the Public Services and El Dorado County General Plan Agriculture and Forestry Element July 2004 (Amended December 2015) Page 175 Utilities Element, to ensure that the need for adequate school facilities is met.
- B. Whether other school sites outside of the Agricultural District including rural centers were considered by the school district and whether such sites were considered acceptable or not feasible as a school site for the school district.
- C. The effect of the proposed school site upon adjacent agricultural lands and whether the proposed site would be incompatible with agricultural operations on adjacent or proximate agricultural lands.
- D. Whether the use of the land as a school site is consistent with the applicable provisions of this General Plan.

Rural Residential (RR): This land use designation establishes areas for residential and agricultural development. These lands will typically have limited infrastructure and public services and will remain for the most part in their natural state. This category is appropriate for lands that are characterized by steeper topography, high fire hazards, and limited or substandard access as well as “choice” agricultural soils. The RR designation shall be used as a transition between LDR and the Natural Resource (NR) designation. Clustering of residential units under allowable densities is encouraged as a means of preserving large areas in their natural state or for agricultural production. Typical uses include single family residences, agricultural support structures, a full range of agricultural production uses, recreation, and mineral development activities. The allowable density for this designation is one dwelling unit per 10 to 160 acres. This designation is considered appropriate only in the Rural Regions.

Parcel Description:

- Parcel Number and Acreage: 087-021-66, 56.8 acres
- Agricultural District: No
- Land Use Designation: RR – Rural Residential
- Zoning: RL-20 – Rural Land 20 Acres
- Soil Type:
 - No Choice Soils

Discussion:

A site visit was conducted on January 18, 2017 to review the conditional use permit

Meeting Date: February 8, 2017

Re: 4 Directions Farm Conditional Use Permit Project File No. S16-0005

Page 3

application and proposed project in relation to surrounding agriculturally zoned properties. The conditional use permit requests the ability to build 5 buildings, which include a greenhouse and gazebo, along with two training workshops and a caretakers cottage. They propose to plant christmas trees and pumpkins for onsite and offsite sales. Alpacas and goats are already on the property and will be retained. Disabled youth and adults will be trained in various aspects of farming on site. Onsite parking will be developed. All setbacks have been observed in building placement. The site will be in agricultural production with the ultimate goal of training the youth, so that to be able to obtain employment on agricultural operations.

Staff Recommendation:

Staff recommends a finding that the project supported by the conditional use permit does not conflict with General Plan Policy 8.1.4.1.

Chair Boeger addressed the public for comment; Starranne Meyers, Cindy Keller, and Greg Balderree addressed the board on behalf of the proposed vocational school. Mel Pabalinas, Evan Mattes, and Roger Trout were available from Planning for questions and comments. Mel was able to answer Commissioner's concerns over the school's definition due to the new laws and regulations for Pesticides. If for any reason the school wants to change their operation it would constitute a re-opening of the special use permit for modification by the Planning Department and would require the item to come back to the Ag Commission. Neighbors in opposition addressed the board with concerns over water and Linnea Marengo supported the project. *(Complete audio of the discussion will be available on Legistar after approval of the minutes of 2/8/17).*

It was moved by Mr. Bolster and seconded by Mr. Walker to recommend APPROVAL of Staff's recommendation of the applicants request for a conditional use permit as the proposed project is not in conflict with General Plan Policy 8.1.4.1 and General Plan Policy 8.1.4.2.

Motion passed

AYES: Bacchi, Bolster, Draper, Mansfield, Neilsen, Walker, Boeger

NOES: None

ABSENT: None