



PLANNING AND BUILDING DEPARTMENT PLANNING DIVISION

2850 Fairlane Court, Placerville, CA 95667

924 B Emerald Bay Road, South Lake Tahoe, CA 96150

Phone: (530) 621-5355 Email: planning@edcgov.us

<https://www.eldoradocounty.ca.gov/Land-Use/Planning-Services>

RECEIVED
APR 14 2026
EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT

APPLICATION TYPE: Design Review

FILE# DR26-0002

ASSESSOR'S PARCEL NO.(s) 327-213-034-000

PROJECT NAME/REQUEST: (Describe proposed use) Behavioral Health Clinic

Construction of a new OSHPD 3 medical outpatient clinic adjacent to existing El Dorado Community Health Center. This new facility will house therapy and urgent care for public use, as well as, administration space for staff.

APPLICANT/AGENT Jacob Bunting

Mailing Address 6528 Lonetree Blvd Rocklin CA, 95765

P.O. Box or Street City State & Zip

Phone 916 797-1199 Email: jbunting@kellyarch.com

PROPERTY OWNER El Dorado Community Health Caleb Sandford

Mailing Address 4212 Missouri Flat Road Placerville CA, 95667

P.O. Box or Street City State & Zip

Phone 530 621-7700 Email csandford@edchc.org

LIST ADDITIONAL PROPERTY OWNERS ON SEPARATE SHEET IF APPLICABLE

ENGINEER/ARCHITECT Kelly Maves

Mailing Address 6528 Lonetree Blvd Rocklin CA, 95765

P.O. Box or Street City State & Zip

Phone 916 797-1199 Email kelly22@kellyarch.com

LOCATION: The property is located on the West side of Missouri Flat Road

560 feet feet/miles North N/E/W/S Street or Road

of the intersection with Forni Road

N/E/W/S Major Street or Road

in the area. Property Size: 12.42 acres

acres/square footage

X [Signature] Date 3-31-26

Signature of property owner or authorized agent

FOR OFFICE USE ONLY

Date 4-14-26 Fee 6615.10 Receipt # R66093 Rec'd by SCO Census 031502, 1001

Zoning CC GPD C Supervisor District 3 Sec 24 Twn 10N Rng 10E

ACTION BY PLANNING COMMISSION
 ZONING ADMINISTRATOR
 PLANNING DIRECTOR

ACTION BY BOARD OF SUPERVISORS

Hearing Date _____

Hearing Date _____

Approved _____ Denied _____

Approved _____ Denied _____

Findings and/or conditions attached

Findings and/or conditions attached

APPEAL

X _____

Approved _____ Denied _____

Executive Secretary

Revised 07/2024

DR26-0002

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DESIGN REVIEW

PURPOSE

The design review process has been established in many areas of the County to ensure a proposed project is compatible with historical, scenic, or community values; provides for good site design and safety; is compatible with applicable General Plan policy; and conforms to applicable County ordinances.

This process is applied only to commercial, industrial, mixed-use, and multi-unit residential projects in the following areas:

- 1) Meyers Area Plan Area.
- 2) Land adjacent to designated State Scenic Highway Corridors.
- 3) Other areas where Combining Zone Districts, such as Design Review-Community (-DC), Historic (-DH), or Scenic Corridor (-DS), have been established.
- 4) Mixed use development projects in Community Regions.

(Also required for wineries exceeding 10,000 square feet that are visible from a county road.)

These projects are considered discretionary and are therefore subject to the procedures of the California Environmental Quality Act (CEQA). This process requires an extended review period to develop an initial study where environmental impacts are assessed, and to provide public notice of the project and its potential impacts on the environment.

MINOR PROJECTS EXEMPT FROM DESIGN REVIEW

Refer to [Section 130.27.050](#) (Design Review – Community (-DC) Combining Zone), subsection D (Exemptions) and subsection E (Meyers Area Plan Design Review Exemptions and Requirements) of the El Dorado County Zoning Ordinance for listings of minor activities and structures which are exempt from the design review process.

PROJECTS EXEMPT FROM CEQA REVIEW

Please refer to Sections 15301, 15302, 15303 and 15311 of the [CEQA Guidelines](#) for detailed information about CEQA exemptions. Projects exempt from the CEQA review process can be processed within a shorter time and with less processing fees.

DESIGN REVIEW COMMITTEES

Design Review Committees are appointed by the Board of Supervisors to serve as an advisory committee to the Planning and Building Director and Planning Commission. Three Design Review Committees have been appointed by the Board, and all multifamily, commercial, and industrial projects in their area of influence must be reviewed by them. The three Design Review Committees are:

CAMERON PARK

Meeting Dates: Scheduled by the Planning Division as necessary on the 2nd and 4th Mondays of each month.

Meeting Address: Varies

DIAMOND SPRINGS – EL DORADO

Meeting Dates: Scheduled by the Planning Division as necessary on the 3rd Thursday of each month.

Meeting Address: Varies

POLLOCK PINES

Meeting Dates: Scheduled by the Planning Division. Dates vary and are dependent on submittal of projects.

Meeting Address: Varies

INITIAL PROCESS

- 1) Applicant/agent prepares all required submittal information and makes an appointment to submit the application to the Planning Division.
- 2) Planner is assigned and the application is distributed to affected agencies for comment and recommendation (up to 30-day agency review period set by State law).
- 3) The assigned Planner, representatives from the Department of Transportation, or other interested agencies may conduct site visits. Upon request, the applicant may meet with staff on-site to discuss the project.
- 4) Draft environmental document is prepared, or project is found Categorical Exempt, and conditions of approval are drafted (or recommendation for denial is suggested).

NOTE: Based upon the provisions set forth in the California Environmental Quality Act (CEQA), a Negative Declaration or Mitigated Negative Declaration may be prepared for a proposed project that will not have significant environmental effects or where those effects can be mitigated to a less than significant level. An Environmental Impact Report (EIR) is required if the project will have significant environmental effects that cannot be mitigated to a less than significant level. However, if a determination is made that an Environmental Impact Report (EIR) is required, the direction and timing of the project changes dramatically. The project only proceeds if the applicant agrees to fund the EIR process.

- 5) The applicant and/or agent meets with the Technical Advisory Committee (TAC – staff representatives of affected agencies) to discuss the proposed project in conjunction with both County and outside agencies.
- 6) Project is noticed in the local newspaper advertising the required public review period for CEQA.

In addition to the initial process noted above, the following steps apply accordingly:

Applications Along State Highways – Planning Commission Review

- 1) Applicant receives the staff report at least two weeks prior to the public hearing which includes staff recommendation and proposed conditions of approval or mitigation measures.
- 2) Public hearing is conducted before the Planning Commission where a final decision is made unless appealed.
- 3) An appeal may be filed by either the applicant or affected party within ten (10) working days after decision.
- 4) A Board of Supervisors public hearing is held on the appeal and a final decision is made (about 30 days after the Planning Commission decision).

Applications Reviewed/Approvable by Planning and Building Director (“Director”)

- 1) Applicant receives staff report with Director’s decision that may include proposed conditions of approval or mitigation measures. This decision is final unless appealed.
- 2) An appeal may be filed by either the applicant or affected party within ten (10) working days after decision.
- 3) A Planning Commission public hearing is held on the appeal and decision is final unless appealed to the Board of Supervisors by the applicant or affected party.
- 4) A Board of Supervisors public hearing is held on the appeal and a final decision is made (about 30 days after the Planning Commission decision).

TIMING

Each of the three types of applications requires a different process and resulting processing times. These are summarized as follows:

Applications Adjacent to State Highways: These applications will reach TAC following application completeness and agency review period, and Planning Commission hearing to follow. If the decision is appealed to the Board of Supervisors, an additional 60 days will typically be required.

Applications Reviewed/Approvable by Director: These applications will reach TAC following application completeness and agency review period, and Director's decision will follow. If the decision is appealed to the Planning Commission, an additional 60 days will typically be required. Further, if the Planning Commission decision is appealed to the Board of Supervisors, another 60 days will typically be required.

APPEALS

A decision of the Planning staff may be appealed to the Planning Commission. Action by the Planning Commission may be appealed to the Board of Supervisors. Appeals must be made within ten (10) working days from date of decision and filed with the Planning Division with an appeal fee, as adopted by the Board of Supervisors through fee resolution.

FEES

Current application and revision fees may be obtained by contacting Planning Services at (530) 621-5355 or by accessing the Planning Division's online fee schedule here.

Please refer to the current Planning and Building Policies & Procedures for the collection, administration, and refund of fees and/or charges associated with the Planning and Building department activities.

FISH AND WILDLIFE FEES

In accordance with State Legislation (14 CCR § 753.5), a State Department of Fish and Wildlife fee will be required after approval of the project, prior to the County filing the Notice of Determination on the project. This fee, subject to periodic increases by the State, in addition to a \$50.00 processing fee, is forwarded to the State Department of Fish and Wildlife and is used to help defray the cost of managing and protecting the State's fish and wildlife resources. If the project is found to have no effect on fish and wildlife resources or otherwise exempt, only the \$50.00 processing fee is required to file the Notice of Exemption with the State. These fees are due immediately after project approval, make checks payable to "El Dorado County" and submit to the Planning Division for processing.

CONDITIONS OF APPROVAL

As an applicant, you should be aware that environmental mitigation measures or other requirements will likely be made conditions of approval. Depending on the nature of the application, conditions of approval might involve landscaping, protection of riparian areas, fencing, paving of parking or access road, limited hours of operation, etc.

If your application involves a building permit, you should be aware of other costs that may be part of the building permit process that typically follows approval of an application. In addition to normal building permit fees, you will likely be required to pay traffic impact mitigation (TIM) fees, school fees based on square footage of the proposed building, plus fire and solid waste fees. The County Building Division has an informational document on commercial projects which identifies the extent of fees that may be required. It is also beneficial to contact those departments or agencies requiring the fees to determine actual estimated costs.

DEED RESTRICTIONS

Please review and understand any private deed restrictions recorded against your property to ensure your proposed application does not violate such deed restrictions. If a conflict exists between the deed restrictions and your application, the County can still approve your application and issue necessary permits. However, County approval does not absolve your obligation to comply with deed restrictions.

APPOINTMENT

Applications are accepted by appointment only. Please call ahead for an appointment with a planner when you are ready to submit your application. Please have all required submittal information completed before your appointment. Appointments are generally made within 48 hours of your call to the Planning Division at (530) 621-5355.



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PLANNING AND BUILDING DEPARTMENT

DESIGN REVIEW

The following items 1 through 9 must be provided with all applications. The remaining items shall be required where applicable. If all the required and applicable information is not provided, the application will be deemed incomplete and will not be accepted. For your convenience, please use the applicant column on the right to be sure you have all the required and applicable information. All plans and maps must be folded to 8½" x 11".

	REQUIRED SUBMITTAL INFORMATION	Applicant	County
1	Completed and signed application form and Agreement for Payment of Processing Fees form.	Included	
2	Letter of Authorization from all property owners authorizing agent to act as applicant, when applicable.	Included	
3	Proof of ownership (Grant Deed) if the property has changed title since the last tax roll.	Included	
4	A copy of the official Assessor's map, showing the property outlined in red.	Included	
5	An 8 ½" x 11" vicinity map showing the location of the project in relation to major roads, intersections, and town sites.	Included	
6	Provide the name, mailing address, phone number, and email address of all property owners and their agents.	Included	
7	A record search for archaeological resources shall be conducted through the North Central Information Center located at CSU-Sacramento, 7667 Folsom Blvd., Folsom Hall, Suite 2042, Sacramento, CA 95826, phone number (916) 278-6217, email ncic@csus.edu . Email is preferred. If the record search identifies a need for a field survey, a survey shall be required. A list of Archaeological Consultants and survey requirements is available from the Planning Division. Archaeological surveys shall meet the "Guidelines for Cultural Resource Studies" approved by the Board of Supervisors and available from the Planning Division.	4/13 - Fees paid & form submitted. In-progress	
8	Submit a <u>Traffic Impact Study – Initial Determination Form</u> for the Department of Transportation to determine whether a Transportation Impact Study (TIS) will be required for the project. If the Department of Transportation determines a TIS is required, it shall be prepared in compliance with the latest edition of the <u>Transportation Impact Study Guidelines</u> and shall demonstrate the Project's consistency with the General Plan policies.	4/13 - Fee Paid & form submitted. In-progress	
9	If public sewer or water service is proposed, obtain, and provide a Facilities Improvement Letter if the project is located within the EID service area, or a similar letter if located in another sewer/water district.	4/13 - Fee paid & form submitted	
10	If off-site sewer or water facilities are proposed to serve the project, provide four (4) copies of a map showing the location and size of proposed facilities. If ground water is to be used for domestic water, submit a report noting well production data for adjacent parcels, or submit a hydrological report prepared by a geologist noting the potential for water based on the nature of project site geology.	N/A	

11	In an accompanying report, provide the following data for area on each proposed parcel which is to be used for sewage disposal:	N/A	
	a) The soil percolation rate.	N/A	
	b) The depth of soil and location of soil test pit.	N/A	
	c) The depth to groundwater at the soil test pit.	N/A	
	d) The direction and percent of slope of the ground.	N/A	
	e) The location, if present, of rivers, streams, springs, areas subject to inundation, rock outcroppings, lava caps, cuts, fills, and easements.	N/A	
	f) If individual wells are proposed, show all existing and proposed well sites.	N/A	
	g) Confirm minimum 5-acre parcel size for any proposed parcel that will be served by both a well and an onsite wastewater treatment system (septic system).	N/A	
	h) Identify the minimum area to be used for sewage disposal based on the soil percolation rate per Table 1 "Minimum Disposal Area based on Percolation Rate" EDC Local Agency Management Plan.	N/A	
	i) Such additional data and information as may be required by the Director of Environmental Management to assess the source of potable water, the disposal of sewage and other liquid wastes, the disposal of solid wastes, drainage, and erosion control.	N/A	
12	Preceding parcel map, final map, or record of survey if any exists.	N/A	
13	Preliminary grading, drainage plan, and report. The plan should be of sufficient detail to identify the scope of grading, including quantities, depths of cuts and fills (for roads and driveways where cuts/fills exceed 6 feet and mass pad graded lots), location of existing drainage, proposed modifications, and impacts to downstream facilities. See Section 110.14.200 of the County Grading Ordinance for submittal detail.	Included in DWGs	
14	An on-site biological study shall be required to determine if the site contains special status plant or animal species or natural communities and habitats, including riparian vegetation and plant habitat. The report should include proposed mitigation measures if applicable. The survey can only occur from March 15 through August 15 when plants are easily identifiable. One hard copy plus an electronic PDF copy (CD-ROM or other medium), with attachments, shall be submitted. The biological study shall include a plant survey to determine the extent and location of rare plants on the project site if it is located within Rare Plant Mitigation Area 0 ("EP" overlay designation on the General Plan land use map) or Mitigation Area 1 (within the gabbro soils area) Please contact the Planning Division at 530-621-5355 to determine whether your parcel(s) are in one of these areas.	Missing	
15	Name and address of Homeowners' Association, CSA 9 Zone of Benefit, or other road maintenance entity if it exists in the project area.	N/A	
16	A site-specific wetland investigation shall be required on projects with identified wetlands as delineated on the applicable U.S.G.S. Quadrangle and/or by site visit, when proposed improvements will directly impact the wetland (reduce the size of the wetland area) or lie near the wetlands.	N/A	
17	An acoustical analysis shall be provided whenever a noise-sensitive land use (residences, hospitals, churches, libraries, etc.) are proposed adjacent to a major	N/A	

	transportation source, or adjacent or near existing stationary noise sources. See Zoning Ordinance Section 130.37.050 .		
18	An air quality impact analysis is required. Please contact the El Dorado Air Quality Management District (EDCAQMD) at 530-621-7509 or via email at aqmd@edcgov.us to obtain guidance. One hard copy plus an electronic PDF copy (CD-ROM or other medium) of the air quality impact analysis, including all emissions, shall be submitted. If an air quality impact analysis waiver was granted by the EDCAQMD, a hard copy and electronic copy of the waiver letter shall be provided.	N/A	

INTERIM DESIGN STANDARDS AND GUIDELINES

All commercial, multifamily, and residential mixed-use projects in the County’s Community Regions and Rural Centers are required to adhere to the County’s Interim Design Standards and Guidelines (IDSG). Each project is required to abide by the use-specific standards (i.e., commercial, multifamily, mixed use) and select an applicable architectural style or propose an alternative style. The IDSG may be accessed [here](#).

	REQUIREMENTS	Applicant	County										
1	Select type of project: <ul style="list-style-type: none"> • If project is commercial, use-specific standards are in IDSG Section 5. • If project is multifamily, use-specific standards are in IDSG Section 3. • If project is residential mixed use, use-specific standards are in IDSG Section 3 and 4. 	<input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Multifamily <input type="checkbox"/> Residential Mixed Use											
2	Select the Architectural Design Zone for the project. Refer to IDSG Section 2.A & 2.B.	<input type="checkbox"/> Suburban <input type="checkbox"/> Lower Foothill <input checked="" type="checkbox"/> Mid Foothill <input type="checkbox"/> Mountain											
3	a. Select applicable architectural style. Refer to IDSG Sections 2.A, 2.B, 2.C, and 6. <table border="1" data-bbox="186 1350 935 1608"> <thead> <tr> <th>Architectural Design Zone</th> <th>Applicable Architectural Styles</th> </tr> </thead> <tbody> <tr> <td>Lower Foothill</td> <td>Gold Rush, Industrial Farmhouse</td> </tr> <tr> <td>Mid Foothill</td> <td>Gold Rush, Industrial Farmhouse, Railroad Craftsman</td> </tr> <tr> <td>Mountain</td> <td>Gold Rush, Mountain/Lodge</td> </tr> <tr> <td>Suburban</td> <td>N/A</td> </tr> </tbody> </table> <p>If the proposed project is in the Suburban Zone, check “Other.” If the proposed project is in Lower Foothill, Mid Foothill, or Mountain Zones and chooses an alternative style, check “Other.”</p>	Architectural Design Zone	Applicable Architectural Styles	Lower Foothill	Gold Rush, Industrial Farmhouse	Mid Foothill	Gold Rush, Industrial Farmhouse, Railroad Craftsman	Mountain	Gold Rush, Mountain/Lodge	Suburban	N/A	<input type="checkbox"/> Gold Rush <input type="checkbox"/> Railroad Craftsman <input checked="" type="checkbox"/> Industrial Farmhouse <input type="checkbox"/> Mountain/Lodge <input type="checkbox"/> Other	
Architectural Design Zone	Applicable Architectural Styles												
Lower Foothill	Gold Rush, Industrial Farmhouse												
Mid Foothill	Gold Rush, Industrial Farmhouse, Railroad Craftsman												
Mountain	Gold Rush, Mountain/Lodge												
Suburban	N/A												
	b. If “Other” is selected in Item 3 above, has written report by licensed architect/engineer, in accordance with IDSG Section 2.C, been provided?	<input type="checkbox"/> Yes <input type="checkbox"/> No											

4	a. Is the project requesting deviations from use-specific (i.e., commercial, multifamily, mixed use) or architectural style-specific (e.g., Gold Rush, Railroad Craftsman) standards?	<input type="checkbox"/> Yes	
		<input checked="" type="checkbox"/> No	
	b. If the project is requesting deviations, has written report by licensed architect/engineer, in accordance with IDSG Section 2.D, been provided?	<input type="checkbox"/> Yes	
		<input type="checkbox"/> No	

OAK TREE/OAK WOODLAND REMOVAL

The following supplemental information shall be required if any Oak Woodlands, Individual Native Oak Trees, or Heritage Trees, as defined in Section 130.39.030 (Definitions) will be impacted by the project (i.e., cut down) consistent with Section 130.39.070 (Oak Tree and Oak Woodland Removal Permits – Discretionary Development Projects).

	FORMS AND MAPS REQUIRED	Applicant	County
1	Completed and signed <u>Oak Resources Code Compliance Certificate</u> .	Missing	
2	If oak trees are located on-site, an Oak Resources Technical Report prepared by a qualified professional consistent with Section 2.5 (Oak Resources Technical Reports) of the <u>Oak Resources Management Plan</u> shall be required.	Missing	
3	If oak trees are located on-site, a completed Oak Resources Technical Report Checklist, including supplemental data for impacted Individual Native Oak Trees within Oak Woodlands, shall be required.	Missing	

SITE PLAN REQUIREMENTS

Five copies plus an electronic copy (CD-ROM or other medium) of the site plan detailing what exists on the site at time of application shall be submitted on 24" x 36" sheets or smaller, drawn to scale, and of sufficient size to clearly show all details and required data. All plans must be folded to 8 ½" x 11", plus one 8½" x 11" reduction. No rolled drawings will be accepted. For your convenience, please check the Applicant column on the right to be sure you have all the required submittal information.

	FORMS AND MAPS REQUIRED	Applicant	County
1	Project name, if applicable.	Included	
2	Name and address of applicant and designer, if applicable.	Included	
3	Date, north arrow, and scale.	Included	
4	Entire parcel of land showing perimeter with dimensions.	Included	
5	All roads, alleys, streets, and their names.	Included	
6	Location of easements, their purpose and width.	Included	
7	All existing and proposed uses (i.e., buildings, driveways, dwellings, utility transmission lines, etc.).	Included	
8	Parking and loading stalls with dimensions, refer to Zoning Ordinance <u>Chapter 130.35 – Parking and Loading</u> , and the Community Design Standards – Parking and Loading Standards.	Included	
9	Trash and litter storage or collection areas, and propane tank location(s).	Included	

10	Total gross square footage of proposed buildings.	Included	
11	Existing and proposed fences or walls.	Included	
12	Sign locations and sizes, if proposed. Refer to Zoning Ordinance <u>Chapter 130.36</u> – Signs.	Included	
13	Pedestrian walkways, courtyards, etc., if proposed.	Included	
14	Exterior lighting, if proposed. Refer to Zoning Ordinance <u>Chapter 130.34</u> and the Community Design Standards – Outdoor Lighting Standards.	Included	
15	Existing and proposed water, sewer, septic systems, and wells, if applicable.	Included	
16	Existing and proposed fire hydrants.	Included	
17	Tentative subdivision or parcel map, if applicable.	Included	
18	Adjacent parcel owner(s) Assessor’s Parcel Number, unless this is included on the tentative map.	Included	
19	Public uses (schools, parks, etc.).	Included	
20	The location, if present, of rock outcroppings, lava caps, drainage courses, lakes, canals, reservoirs, rivers, streams, springs, areas subject to inundation and wetlands. Show respective 100-foot and 50-foot septic system setbacks when a septic system is proposed.	Included	
21	Identify areas subject to a 100-year flood on perennial streams or creeks and show high water level (100-year) on map. Refer to the Federal Emergency Management Agency (FEMA) website.	Included	
22	Note any proposed trails within the project, and where applicable, connection to existing or proposed trail systems.	Included	

PRELIMINARY LANDSCAPE PLAN REQUIREMENTS

Required when parking facilities are proposed or otherwise at planner's discretion. Refer to Zoning Ordinance Chapter 130.33. Five copies plus an electronic copy (CD-ROM or other medium), folded to 8½" x 11", plus one 11" x 17" reduction.

	FORMS AND MAPS REQUIRED	Applicant	County
1	Location, quantity, and a gallon size of proposed plant material. See Zoning Ordinance <u>Chapter 130.33</u> – Landscaping Standards, and the Community Design Standards – <u>Landscaping and Irrigation Standards</u> .	Included	
2	Note quantity and type of trees to be removed.	Included	
3	Location, general type (pine, oak, etc.) and size of all existing trees, in those areas that are subject to grading or otherwise may be removed or affected by proposed improvements.	Included	
4	List of both common and botanical names of plant material, use of drought tolerant species is highly recommended.	Included	
5	Location of irrigation proposed. NOTE: The final Landscape Plan will ultimately be required to meet the County’s Water Conserving Landscape Standards. See Zoning Ordinance <u>Chapter 130.33</u> , and <u>MWELO requirements</u> .	Included	

PRELIMINARY GRADING AND DRAINAGE PLAN

Required whenever any grading is proposed. Five copies plus an electronic copy (CD-ROM or other medium), folded to 8½" x 11", plus one 11" x 17" reduction.

	FORMS AND MAPS REQUIRED	Applicant	County
1	Contours or slope data, pursuant to Chapter 110.14 of the County Grading, Erosion, and Sediment Control Ordinance.	Included	
2	Drainage improvements, culverts, drains, etc.	Included	
3	Limits of cut and fill.	Included	

PLAN OF BUILDING ELEVATIONS

Required whenever a new structure or addition is proposed. Five copies plus an electronic copy (CD-ROM or other medium), folded to 8½" x 11", plus one 11" x 17" reduction.

	FORMS AND MAPS REQUIRED	Applicant	County
1	Building design, elevations of all sides.	Included	
2	Exterior materials, finishes, and colors.	Included	
3	Existing and proposed signs showing location, height, and dimensions. Include sign plan for a project with multiple businesses.	Included	

The Planning Division reserves the right to required additional project information as provided by Section 15060 of the California Environmental Quality Act, or as required by the General Plan development policies, when such is necessary to complete the environmental assessment.



Tel: (530) 621-7700
Fax: (530) 621-7713
www.edchc.org

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EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT

April 09, 2026

Dear El Dorado County,

This letter serves as formal authorization for Kelly Architecture and Planning (KAP) to act as an agent on behalf of El Dorado Community Health Centers in all matters related to the permitting process for the development of a New Behavioral Health Clinic.

KAP is authorized to communicate with El Dorado County, submit required applications and documentation, and coordinate all permitting-related activities on our behalf for this project.

Please accept this letter as confirmation of KAP's authority to represent our organization in connection with this effort.

If you have any questions or require additional information, please feel free to contact me directly.

Sincerely,

Caleb Sandford, Chief Executive Officer

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EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT

COUNTY OF EL DORADO
CAMPAIGN CONTRIBUTION DISCLOSURE FORM

Application or Solicitation Number: DR26-0002
Application or Solicitation Title: Behavioral Health Clinic

Was a campaign contribution, regardless of the dollar amount, made to any member of the El Dorado County Board of Supervisors or to any County Agency Officer on or after January 1, 2023, by the applicant, or, if applicable, any of the applicant's proposed subcontractors or the applicant's agent or lobbyist?

Yes _____ No X

If no, please sign and date below.

If yes, please provide the following information:

Applicant's Name: _____

Contributor or Contributor Firm's Name: _____

Contributor or Contributor Firm's Address: _____

Is the Contributor:

- The Applicant Yes _____ No _____
- Subcontractor Yes _____ No _____
- The Applicant's agent/ or lobbyist Yes _____ No _____

Note: Under California law as implemented by the Fair Political Practices Commission, campaign contributions made by the Applicant and the Applicant's agent/lobbyist who is representing the Applicant in this application or solicitation must be aggregated together to determine the total campaign contribution made by the Applicant.

Identify the Board of Supervisors Member(s) and County Agency Officer(s) to whom you, your subcontractors, and/or agent/lobbyist made campaign contributions on or after January 1, 2023, the name of the contributor, the dates of contribution(s) and dollar amount of the contribution. Each date must include the exact month, day, and year of the contribution.

Name of Board of Supervisors Member or County Agency Officer: _____

Name of Contributor: _____

Date(s) of Contribution(s): _____

Amount(s): _____

(Please add an additional sheet(s) to identify additional Board Members or County Agency Officer to whom you, your subconsultants, and/or agent/lobbyist made campaign contributions)

By signing below, I certify that the statements made herein are true and correct. I also agree to disclose to the County any future contributions made to Board Members or County Agency Officers by the applicant, or, if applicable, any of the applicant's proposed subcontractors or the applicant's agent or lobbyist after the date of signing this disclosure form, and within 12 months following the approval, renewal, or extension of the requested license, permit, or entitlement to use.

3-31-26
Date

Judy Stein
Signature of Applicant

El Dorado County Community Health Center
Print Firm Name if applicable

Judy Stein
Print Name of Applicant

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**EL DORADO COUNTY BOARD OF
SUPERVISORS AND COUNTY AGENCY
OFFICERS**

Board of Supervisors

Greg Ferrero, District One

George Turnboo, District Two

Brian Veerkamp, District Three

Lori Parlin, District Four

Brook Laine, District Five

County Agency Officers

Jon DeVille, Assessor

Joe Harn, Auditor-Controller

Vern Pierson, District Attorney

Janelle K. Horne, Recorder-Clerk

Jeff Leikauf, Sheriff-Coroner-Public Administrator

Brian Frazier, County Surveyor

K.E. Coleman, Treasurer-Tax Collector

Attachment A

GOVERNMENT CODE SECTION 84308

(a) The definitions set forth in this subdivision shall govern the interpretation of this section.

(1) "Party" means any person who files an application for, or is the subject of, a proceeding involving a license, permit, or other entitlement for use.

(2) "Participant" means any person who is not a party but who actively supports or opposes a particular decision in a proceeding involving a license, permit, or other entitlement for use and who has a financial interest in the decision, as described in Article 1 (commencing with Section 87100) of Chapter 7. A person actively supports or opposes a particular decision in a proceeding if that person lobbies in person the officers or employees of the agency, testifies in person before the agency, or otherwise acts to influence officers of the agency. A person is not a "participant" under this paragraph if their financial interest in the decision results solely from an increase or decrease in membership dues.

(3) "Agency" means an agency as defined in Section 82003 except that it does not include the courts or any agency in the judicial branch of government, the Legislature, the Board of Equalization, or constitutional officers. However, this section applies to any person who is a member of an exempted agency but is acting as a voting member of another agency.

(4) "Officer" means any elected or appointed officer of an agency, any alternate to an elected or appointed officer of an agency, and any candidate for elective office in an agency, other than a city attorney or county counsel providing legal advice to the agency who does not have the authority to make a final decision in the proceeding.

(5) (A) Except as provided in subparagraph (B), "license, permit, or other entitlement for use" means all business, professional, trade, and land use licenses and permits and all other entitlements for use, including all entitlements for land use, all contracts, and all franchises.

(B) "License, permit, or other entitlement for use" does not include any of the following:

(i) Competitively bid contracts that are required by law, agency policy, or agency rule to be awarded pursuant to a competitive process.

(ii) Labor contracts.

(iii) Personal employment contracts.

(iv) Contracts valued under fifty thousand dollars (\$50,000).

(v) Contracts where no party receives financial compensation.

(vi) Contracts between two or more agencies.

(vii) The periodic review or renewal of development agreements unless there is a material modification or amendment proposed to the agreement. Non-material modifications or amendments may be approved by agency staff.

(viii) The periodic review or renewal of competitively bid contracts unless there are material modifications or amendments proposed to the agreement that are valued at more than 10 percent of the value of the contract or fifty thousand dollars (\$50,000), whichever is less. Non-material modifications or amendments may be approved by agency staff.

(ix) Modification of or amendments to contracts that are exempt under this subparagraph, other than competitively bid contracts.

(6) "Contribution" includes contributions to candidates and committees in federal, state, or local elections.

(7) "Pending" in a proceeding involving a license, permit, or other entitlement for use means either of the following:

(A) For an officer, when either of the following occurs:

(i) An item involving the license, permit, or other entitlement for use is placed on the agenda for discussion or decision at a public meeting of the body of which the officer is a member.

(ii) The officer knows a proceeding involving a license, permit, or other entitlement for use is within the jurisdiction of the officer's agency for its decision or other action, and it is reasonably foreseeable that the decision will come before the officer in the officer's decisionmaking capacity.

(B) For a party or a party's agent, or a participant or participant's agent, when an application is filed with an agency, or, if the proceeding process does not require an application, when the proceeding is before the agency for its decision or other action.

(b) (1) While a proceeding involving a license, permit, or other entitlement for use is pending, and for 12 months following the date a final decision is rendered in the proceeding, an officer of an agency shall not accept, solicit, or direct a contribution of more than five hundred dollars (\$500) from any party or a party's agent, or from any participant or a participant's agent if the officer knows or has reason to know that the participant has a financial interest, as that term is used in Article 1 (commencing with Section 87100) of Chapter 7. This prohibition applies regardless of whether the officer accepts, solicits, or directs the contribution on the officer's own behalf, or on behalf of any other officer, or on behalf of any candidate for office or on behalf of any committee.

(2) With respect to elected officers, paragraph (1) applies only if the elected officer or the body of which they are a member has the authority to make any decision or recommendation in the proceeding.

(c) (1) Before rendering any decision in a proceeding involving a license, permit, or other entitlement for use, each officer of the agency who received a contribution within the preceding 12 months in an amount of more than five hundred dollars (\$500) from a party or from any participant shall disclose that fact on the record of the proceeding. An officer of an agency shall not make, participate in making, or in any way attempt to use the officer's official position to influence the decision in a proceeding involving a license, permit, or other entitlement for use if the officer has willfully or knowingly received a contribution in an amount of more than five hundred dollars (\$500) within the preceding 12 months from a party or a party's agent, or from any participant or a participant's agent if the officer knows or has reason to know that the participant has a financial interest in the decision, as that term is described with respect to public officials in Article 1 (commencing with Section 87100) of Chapter 7.

(2) With respect to elected officers, paragraph (1) applies only if the elected officer or the body of which they are a member has the authority to make any decision or recommendation in the proceeding.

(d) (1) If an officer receives a contribution that would otherwise require disqualification under this section, and returns the contribution within 30 days from the time the officer makes any decision, or knows, or should have known, about the contribution and the proceeding involving a license, permit, or other entitlement for use, whichever comes last, the officer shall be permitted to participate in the proceeding.

(2) (A) Subject to subparagraph (B), if an officer accepts, solicits, or directs a contribution of more than five hundred dollars (\$500) during the 12 months after the date the final decision is rendered in violation of subdivision (b), the officer may cure the violation by returning the contribution, or the portion of the contribution in excess of five hundred dollars (\$500), within 30 days of accepting, soliciting, or directing the contribution, whichever comes latest.

(B) An officer may cure a violation as specified in subparagraph (A) only if the officer did not knowingly and willfully accept, solicit, or direct the prohibited contribution.

(C) An officer's controlled committee, or the officer if no controlled committee exists, shall maintain records of curing any violation pursuant to this paragraph.

(e) (1) A party to a proceeding before an agency involving a license, permit, or other entitlement for use shall disclose on the record of the proceeding any contribution in an amount of more than five hundred dollars (\$500) made within the preceding 12 months before the date that any decision is rendered by the agency by the party or the party's agent.

(2) A party to a proceeding involving a license, permit, or other entitlement for use pending before any agency or a participant in the proceeding shall not make a contribution of more than five hundred dollars (\$500) to any officer of that agency during the proceeding and for 12 months following the date the final decision is rendered by the agency in the proceeding.

(3) An agent to a party or participant shall not make a contribution in any amount to an officer during the time periods described in paragraph (2).

(4) When a closed corporation is a party to, or a participant in, a proceeding involving a license, permit, or other entitlement for use pending before an agency, the majority shareholder is subject to the disclosure and prohibition requirements specified in this section.

(f) This section shall not be construed to imply that any contribution subject to being reported under this title shall not be so reported.

(g) For the purposes of this section, in determining whether a contribution has exceeded five hundred dollars (\$500), the contributions of an agent shall not be aggregated with contributions from a party or participant.

(h) (1) A person is the “agent” of a party to, or a participant in, a pending proceeding involving a license, permit, or other entitlement for use only if the person represents that party or participant for compensation and appears before or otherwise communicates with an agency for the purpose of influencing the proceeding on behalf of a party or participant.

(2) If an individual acting as an agent is also acting as an employee or member of a law, architectural, engineering, or consulting firm, or a similar entity or corporation, both the entity or corporation and the individual are “agents”.

(3) “Agent” includes a lobbyist registered to lobby the agency and who otherwise meets the requirements of paragraph (1).

(4) “Communicate with the agency for the purpose of influencing the proceeding” does not include either of the following:

(A) Preparing drawings or submissions of an architectural, engineering, or similar nature for a client to submit in a proceeding before the agency if both of the following conditions are met:

(i) The work is performed pursuant to the person’s profession.

(ii) The person does not make any contact with the agency other than contact with agency staff concerning the process or evaluation of the documents prepared by the person.

(B) Providing technical data or analysis to an agency if the person does not otherwise engage in direct communication for the purpose of influencing the proceeding.

(i) (1) Except as provided in paragraph (2), the provisions of this act are severable. If any provision of this act or its application is held invalid, that invalidity shall not affect other provisions or applications that can be given effect without the invalid provision or application.

(2) Subdivision (g) is not severable from paragraph (3) of subdivision (e) if paragraph (3) of subdivision (e) is held invalid in a final decision of a court of competent jurisdiction. If that occurs, subdivision (g) shall become inoperative on the date of that final decision.

(Amended by Stats. 2024, Ch. 1017, Sec. 1.5. (SB 1243) Effective January 1, 2025.)



DEPARTMENT OF TRANSPORTATION TRANSPORTATION PLANNING

2850 Fairlane Court, Placerville, CA 95667
Phone (530) 621-7580

RECEIVED
APR 14 2026
EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT

Transportation Impact Study (TIS) – Initial Determination

The information provided with this form will be used by County staff to determine if the proposed project will be required to complete a Transportation Impact Study (TIS) or an On-Site Transportation Review (OSTR). If one or both are required, County staff will contact the applicant with more information about the required studies. Both studies are described in the TIS Guidelines, which can be found on the County's website. **An OSTR is typically required for all projects.**

Complete and submit this form along with a detailed project description and a site plan by mail, fax or email.

Mail: DOT, Transportation Planning
Attn: Zach Oates
2850 Fairlane Court
Placerville, CA 95667

Phone: (530) 621-7580
Email: zach.oates@edcgov.us
valerie.brady@edcgov.us

Date Received by Transportation Planning: _____

Applicant Information:

Name: Jacob Bunting Phone #: 916 797-1199
Address: 6528 Lonetree Blvd Email: jbunting@kellyarch.com

Project Information:

Name of Project: Behavioral Health Clinic Planning Number: _____
Project Location: 4212 Missouri Flat Road Bldg Size: 12,904 sf
APN(s): 327-213-034-000 Project Planner: _____
Number of units: 1

Description of Project: (Use, Number of Units, Building Size, etc.)

Construction of a new OSHPD 3 medical outpatient clinic adjacent to existing El Dorado Community Health Center. This new facility will house therapy and urgent care for public use, as well as, administration space for staff. Traffic to the the new facility will need to go through the existing facility parking lot to arrive at the new back parking lot next to the new 12,904 sf building.

PLEASE ATTACH A PROJECT SITE PLAN

If an OSTR is required, the following information shall be evaluated and the findings signed and stamped by a registered Traffic Engineer or Civil Engineer, and shall be included with the project submittal:

1. Existence of any current traffic problems in the local area such as a high-accident location, non-standard intersection or roadway, or an intersection in need of a traffic signal
2. Proximity of proposed site driveway(s) to other driveways or intersections
3. Adequacy of vehicle parking relative to both the anticipated demand and zoning code requirements
4. Adequacy of the project site design to fully satisfy truck circulation and loading demand on-site, when the anticipated number of deliveries and service calls may exceed 10 per day
5. Adequacy of the project site design to provide at least a 25 foot minimum required throat depth (MRTD) at project driveways, include calculation of the MRTD
6. Adequacy of the project site design to convey all vehicle types
7. Adequacy of sight distance on-site
8. Queuing analysis of "drive-through" facilities

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DEPARTMENT OF TRANSPORTATION TRANSPORTATION PLANNING

2850 Fairlane Court, Placerville, CA 95667
Phone (530) 621-7580

Transportation Impact Study (TIS) – Initial Determination (Page 2)

TO BE COMPLETED BY COUNTY STAFF:

The following project uses are typically exempt from the preparation of a TIS:

- 4 or less single family homes
- 4 or less multi-family units
- 2,000 square feet or less for shopping center
- 6,000 square feet or less for general office
- 12,000 square feet or less for industrial
- 12,000 square feet or less for church
- 50,000 square feet or less for warehouse
- 60,000 square feet or less for mini-storage
- None apply – TIS is required with applicable fee.

County Staff Determination:

The TIS or OSTR may be waived if no additional vehicle trips will be generated by the proposed change, no up-zoning is requested, or no intensification of use is requested. Transportation Planning staff may waive the TIS requirement. The Transportation Director or his/her designee may waive the OSTR requirement.

- TIS and OSTR are both waived. No further transportation studies are required.
- On-Site Transportation Review is required. A TIS is not required. The OSTR shall address all items listed, unless otherwise noted.
- The TIS and OSTR are required. An initial deposit for TIS scoping and review is required by DOT Transportation Planning staff. See Attached TIS Initial Fund Request letter.



DOT Transportation Planning Signature

3-30-26

Date

ADH TS

OSTR waiver approved by:

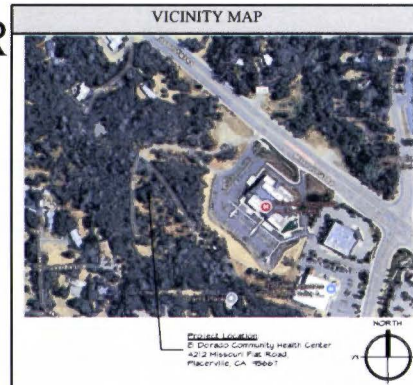
Department of Transportation Director or Designee

Date

Rev 06/13/2024

EL DORADO COMMUNITY HEALTH CENTER

BEHAVIORAL HEALTH CLINIC



Facility:
El Dorado Community Health Center
 4212 Missouri Flat Road,
 Placerville, CA 95667

Project Name:
BEHAVIORAL HEALTH CLINIC

Project Phase:
ENTITLEMENT

Architect of Record:



Consultant:

Revisions:
 Description Date

Approvals:

Permit No.:

KAP Job No.: 529.00
 Scale: As Noted
 Date: 04/01/2016
 Drawn By: HH
 Checked By: KJM/B

Sheet Name:
COVER SHEET

Sheet Number:
A0.0

CLIENT:
 EL DORADO COMMUNITY HEALTH CENTERS
 CALIE SANDFORD - CEO
 3100 FONTE MORINO DRIVE
 CAMERON PARK, CA 95682
 PHONE: 530.621.7700
 EMAIL: CSANDFOR@EDCHC.COM

ARCHITECT:
 KELLY ARCHITECTURE AND PLANNING
 MR. KELLY HAYES
 8528 LONETREE BLVD.
 ROCKLIN, CA 95765
 PHONE: 916.797.1199
 EMAIL: KELLY2@KELLTARCH.COM

CIVIL:
 JLR CIVIL, INC.
 MR. JARED REHRING
 1555 RIVIER PARK DRIVE, SUITE 206N
 SACRAMENTO, CA 95815
 PHONE: (916) 618-2301
 EMAIL: JARED.REHRING@JLRINC.COM

LANDSCAPE:
 MTW GROUP
 MR. BRIAN WALKER
 2707 K STREET, SUITE 201,
 SACRAMENTO, CA 95816
 PHONE: 916.369.3990
 EMAIL: BWA@MTWGROUP.COM

STRUCTURAL:
 BUEHLER ENGINEERING INC
 MR. WILLIAM (EJ) RADER
 600 Q STREET, SUITE 200,
 SACRAMENTO, CA 95811
 PHONE: 916.443.0303
 EMAIL: WRADER@BUESE.COM

ELECTRICAL:
 EDGE ELECTRICAL CONSULTING
 MR. HUANG HUANG
 400 R STREET, SUITE 333,
 SACRAMENTO, CA 95811
 PHONE: 916.256.2460
 EMAIL: THEHUANG@ECCONSULTING.COM

PLUMBING:
 WESTON & ASSOCIATES MECHANICAL ENGINEERS
 MR. DAVID WESTON
 601 UNIVERSITY AVE., SUITE 260
 SACRAMENTO, CA 95825
 PHONE: 916.482.0820
 EMAIL: DWESTON@WESTONME.COM

MECHANICAL:
 WESTON & ASSOCIATES MECHANICAL ENGINEERS
 MR. DAVID WESTON
 601 UNIVERSITY AVE., SUITE 260
 SACRAMENTO, CA 95825
 PHONE: 916.482.0820
 EMAIL: DWESTON@WESTONME.COM

GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL NEW AND EXISTING FIELD CONDITIONS AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN WHAT IS SHOWN IN THE CONSTRUCTION DOCUMENTS AND ACTUAL FIELD CONDITIONS.
- THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, EQUIPMENT AND TRANSPORTATION SERVICES NECESSARY FOR COMPLETION OF THE WORK. ALL MATERIALS AND WORK PROVIDED SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS OF STATE AND CITY AGENCIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL PROVIDE FOR ALL NECESSARY PERMITS AND INSPECTION FEES WHERE REQUIRED, OTHER THAN PLAN CHECKS AND BUILDING PERMIT FEES WHICH ARE PROVIDED BY THE OWNER.
- PROVIDE TEMPORARY LIGHTING AT LOCATIONS AND LEVELS OF ADEQUACY AS REQUIRED TO COMPLETE THE WORK IN A SAFE AND PROPER MANNER.
- CONTRACTOR TO PROVIDE FIRST AID, FIRE PROTECTION AND OTHER TEMPORARY SERVICES AS REQUIRED IN ACCORDANCE WITH LEGAL REQUIREMENTS.
- PENETRATIONS OF PIPES, CONDUITS, ETC. IN RATED ASSEMBLIES SHALL BE FIRE-STOPPED. FIRE STOPPING SHALL BE AN APPROVED MATERIAL AS PRESCRIBED IN THE I.C.C. EDITION 104.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION BETWEEN THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO INSURE COORDINATION BETWEEN ALL TRADES SO THAT THE JOB IS COMPLETE AND IN CONFORMITY WITH THE PLANS AND SPECIFICATIONS. THE GENERAL CONTRACTOR SHALL INSURE THAT ANY INCIDENTAL WORK NOT SHOWN OR SPECIFIED, WHICH CAN BE REASONABLY INFERRED AS REQUIRED AND NECESSARY TO PROVIDE A COMPLETE JOB SHALL BE FURNISHED AND INSTALLED.
- FIRE DEPARTMENT ACCESS ROADS SHALL BE ESTABLISHED AND MAINTAINED DURING CONSTRUCTION. (CFC-2022, SEC 303.9)
- ALL WORK SHALL BE PLANNED AND CARRIED OUT SO THAT THERE WILL BE THE LEAST INTERFERENCE TO THE BUILDING PUBLIC. PLACING OF LIGHTS, BARRICADES, WARNING SIGNS AND OTHER SAFETY DEVICES REQUIRED FOR PUBLIC SAFETY SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL SAFETY MEASURES REQUIRED BY LAW SHALL BE TAKEN.
- ALL DRAWINGS ARE CONSIDERED TO BE PART OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REVIEW AND COORDINATION OF ALL DRAWINGS PRIOR TO ANY CONSTRUCTION, INCLUDING ARCHITECTURAL, INTERIORS, STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS. THE CONTRACTOR SHALL VERIFY IN THE FIELD ALL ELEVATIONS, DIMENSIONS, EXISTING CONDITIONS AND POINTS OF CONNECTIONS. ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH WORK. ANY WORK PERFORMED IN CONFLICT WITH THE CONTRACT DOCUMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS OWN EXPENSE AND AT NO EXPENSE TO OWNER.
- CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL WORK WITH THE APPROVAL OF THE OWNER. DO NOT DISRUPT ANY EXISTING BUILDING SERVICES AND UTILITIES. NO WORK TO PROCEED WITHOUT PRIOR APPROVAL OF THE OWNER.
- ALL DRAWINGS, THOUGH NOT TO SCALE, ARE FOR ILLUSTRATION ONLY. THE CONTRACTOR SHALL NOT SCALE DRAWINGS.
- REQUIRED MEANS OF EGRESS SHALL BE MAINTAINED DURING CONSTRUCTION. (CFC-2022, SEC 303.12)
- FIRE ALARM SYSTEM: (ANY WORK PERFORMED SHALL MEET THE FOLLOWING REQUIREMENTS)
 - PLANS FOR THE FIRE ALARM SYSTEM SHALL BE SUBMITTED TO, AND APPROVED BY, THE LOCAL FIRE MARSHAL PRIOR TO INSTALLATION. THE ENTIRE SYSTEM SHALL BE TESTED IN THE PRESENCE OF THE LOCAL FIRE MARSHAL.
 - FIRE SPRINKLER SYSTEMS: (ANY WORK PERFORMED SHALL MEET THE FOLLOWING REQUIREMENTS)
 - THE AUTOMATIC SPRINKLER SYSTEM SHALL CONFORM TO THE REQUIREMENTS OF CFC-2022, SECTION 409.
 - INSTALLATION OF THE FIRE SPRINKLER SYSTEM SHALL NOT BE STARTED UNTIL COMPLETE PLANS AND SPECIFICATIONS (INCLUDING WATER SUPPLY INFORMATION) HAVE BEEN APPROVED BY THE LOCAL FIRE MARSHAL.
 - AT VARIOUS STAGES AND UPON COMPLETION, THE FIRE SPRINKLER SYSTEM MUST BE TESTED IN THE PRESENCE OF THE ENFORCING AGENCY.
 - SECTION CONTROL:** CONSTRUCTION FOR THIS PROJECT SHALL CONFORM TO HOSPITALS PUBLISHED INFECTION CONTROL POLICY AND PROCEDURE FOR CONSTRUCTION AND RENOVATION. THESE MEASURES ARE INTENDED TO PREVENT CONSTRUCTION DUST FROM IMPACTING AREAS OUTSIDE OF THE CONSTRUCTION BOUNDARY. THE CONTRACTOR SHALL COORDINATE WITH THE INFECTION CONTROL OFFICERS TO CONFIRM CONSTRUCTION ACTIVITY RISK LEVEL DEPENDING ON THE RISK ASSESSMENT LEVEL. ITEMS MAY INCLUDE THE FOLLOWING:
 - CONSTRUCTION OF DUST-CONTAINMENT BARRIERS
 - ISOLATION OF HVAC SYSTEM IN THE AREA OF WORK OR COVERING OUTLETS/VENTS WITH NON EFFICIENT FILTER MEDIA. IT IS IMPERATIVE THAT HOUSE AIR SYSTEMS ARE NOT CONTAMINATED WITH CONSTRUCTION DUST.

FIRE SAFETY NOTES

- FIRE DEPARTMENT ACCESS ROADS SHALL BE ESTABLISHED AND MAINTAINED AT ALL TIMES.
- FIRE HYDRANT SYSTEMS SHALL COMPLY WITH THE CFC OR BY APPROVED METHOD.
- COMBUSTIBLE DEBRIS SHALL NOT ACCUMULATE WITHIN BUILDINGS. (CFC-2022, SECTION 3005.2)
- CUTTING AND WELDING OPERATIONS SHALL BE IN ACCORDANCE WITH CFC-2022, CHAPTER 39, AND SECTION 3009.6.
- SMOKING IS PROHIBITED. "NO SMOKING" SIGNS SHALL BE POSTED. (CFC-2022, SECTION 3006.1)
- THE STORAGE, USE, HANDLING OF FLAMMABLE AND/OR OTHER HAZARDOUS MATERIALS AT CONSTRUCTION SITES SHALL BE IN ACCORDANCE WITH CFC-2022 CHAPTERS 51 AND SECTION 3006.1.
- FIRE PROTECTION SYSTEMS SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES AND SHALL BE IN ACCORDANCE WITH CFC-2022, SECTION 301 AND SECTION 3013.
- REQUIRED MEANS OF EGRESS SHALL BE MAINTAINED DURING CONSTRUCTION. DEMOLITION, REMODELING, ALTERATIONS, AND/OR ADDITIONS TO ANY BUILDING. (CFC-2022, SECTION 303.12)
- ALL TEMPORARY EXITS SHALL BE APPROVED BY THE FIELD FIRE LIFE SAFETY OFFICER.
- PLASTIC FILM (VYSOMEN), WHEN USED FOR DUST PROTECTION, SHALL BE FLAME-RETARDANT.
- THE OWNER SHALL DESIGNATE A PERSON TO BE THE FIRE-PREVENTION PROGRAM SUPERINTENDENT WHO SHALL BE RESPONSIBLE FOR THE FIRE-PREVENTION PROGRAM AND ENSURE THAT IT IS CARRIED OUT THROUGHOUT COMPLETION OF THE PROJECT. (CFC-2022, SECTION 3009)
- IF THERE IS A REQUIRED FIRE PROTECTION SYSTEM IS OUT OF SERVICE, THE FIRE DEPARTMENT AND THE FIRE CODE OFFICIAL SHALL BE NOTIFIED IMMEDIATELY, AND THEREAFTER THE FIRE CODE OFFICIAL SHALL BE NOTIFIED. THE BUILDING SHALL EITHER BE EVACUATED OR AN APPROVED FIRE WATCH SHALL BE PROVIDED FOR ALL OCCUPANTS LEFT UNPROTECTED BY THE SHUT-DOWN UNTIL THE FIRE PROTECTION SYSTEM HAS BEEN RETURNED TO SERVICE. (CFC-2022, SECTION 401.7)
- COVERINGS PLACED ON OR OVER FIRE PROTECTION DEVICES TO PROTECT THEM FROM DAMAGE DURING CONSTRUCTION PROCESSES SHALL BE IMMEDIATELY REMOVED UPON THE COMPLETION OF THE CONSTRUCTION PROCESSES IN THE ROOM OR AREA IN WHICH THE DEVICES ARE INSTALLED. (CFC-2022, SECTION 3009.10)
- READILY ACCESSIBLE EMERGENCY TELEPHONE FACILITY SHALL BE PROVIDED IN AN APPROVED LOCATION AT THE CONSTRUCTION SITE. (CFC-2022, SECTION 3010.1)
- IN BUILDINGS REQUIRED TO HAVE STANDOPES BY CFC-2022 SECTION 409.3.1, NOT LESS THAN ONE STANDOPE SHALL BE PROVIDED FOR USE DURING CONSTRUCTION. (CFC-2022, SECTION 3014.1)
- FIRE PROTECTION SYSTEMS SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES. (CFC-2022, SECTION 3015)
- IF WHEN REQUIRED BY THE FIRE CODE OFFICIAL FOR BUILDING DEMOLITION THAT IS HAZARDOUS IN NATURE, GUARDED PERSONNEL SHALL BE PROVIDED TO SERVE AS AN ON-SITE FIRE WATCH. (CFC-2022, SECTION 3009.9)
- IN BUILDINGS WHERE AN AUTOMATIC SPRINKLER SYSTEM IS REQUIRED BY THIS CODE, IT SHALL BE UNLAWFUL TO OCCUPY ANY PORTION OF A BUILDING OR STRUCTURE UNTIL THE AUTOMATIC SPRINKLER SYSTEM INSTALLATION HAS BEEN TESTED AND APPROVED.
- FIRE EXTINGUISHERS SHALL BE PROVIDED FOR BUILDINGS UNDER CONSTRUCTION. THE NUMBER AND TYPE OF EXTINGUISHERS SHALL BE AS REQUIRED BY THE HCA FIRE MARSHAL OR LOCAL FIRE DEPARTMENT. (CFC-2022, SECTION 3016 AND CFC-2022, SECTION 406 AND 3004.1)
- SMOKE DETECTORS SHALL BE COVERED DURING ALTERATIONS. NFPA 12-2022, SECTION 11.1.1.1.
- PEDESTRIANS SHALL BE PROTECTED DURING CONSTRUCTION, REMODELING AND DEMOLITION ACTIVITIES AS REQUIRED BY CFC-2022, SEC 3006 TABLE 3006.1 SIGNS SHALL BE PROVIDED TO DIRECT PEDESTRIAN TRAFFIC.
- CONSTRUCTION MATERIALS AND EQUIPMENT SHALL NOT BE PLACED OR STORED SO AS TO OBSTRUCT ACCESS TO FIRE HYDRANTS, STANDOPES, FIRE OR POLICE ALARM BOXES, CATCH BASINS OR MANHOLES. (CFC-2022, SECTION 3005)

APPLICABLE LAWS & CODES

THE APPLICABLE CODE FOR THIS PROJECT IS BASED ON THE 2022 CALIFORNIA BUILDING CODE STANDARDS.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS AND BUILDING CODES GOVERNING THIS PROJECT. SUCH COMPLIANCE WILL INCLUDE, BUT NOT BE LIMITED TO, THE LATEST ADOPTED EDITIONS OF:

LOCAL STANDARDS AND REFERENCES:

- 2022 CALIFORNIA ACCESSIBILITY STANDARDS CODE (CAAG)
- PART 1, TITLE 24, CALIFORNIA CODE OF REGULATIONS (CCR)
- 2022 CALIFORNIA ELECTRICAL CODE (CEC)
- PART 2, TITLE 24, CCR
- 2022 CALIFORNIA INTERNATIONAL BUILDING CODE (IBC)
- 2022 CALIFORNIA MECHANICAL CODE (CMC)
- PART 3, TITLE 24, CCR
- 2022 CALIFORNIA NATIONAL ELECTRICAL CODE (NCEC)
- 2022 CALIFORNIA MECHANICAL CODE (CMC)
- PART 4, TITLE 24, CCR
- 2022 CALIFORNIA NATIONAL MECHANICAL CODE (NMC)
- PART 5, TITLE 24, CCR
- 2022 CALIFORNIA PLUMBING CODE (CPC)
- PART 6, TITLE 24, CCR
- 2022 CALIFORNIA FIRE CODE (CFC)
- PART 7, TITLE 24, CCR
- 2022 CALIFORNIA INTERNATIONAL FIRE CODE (IFC)
- 2022 CALIFORNIA AERIAL BUILDING STANDARDS CODE (CABSC)
- PART 11, TITLE 24, CCR
- 2022 CALIFORNIA REFERENCED STANDARDS CODE (CRS)
- PART 12, TITLE 24, CCR

REFERENCED STANDARDS:

- NFPA 18 - 2022 EDITION - "SPRINKLER SYSTEMS"
- NFPA 12 - 2022 EDITION - "NATIONAL FIRE ALARM AND SIGNALING CODE"
- NFPA 80 - 2022 EDITION - "STANDARD FOR FIRE DOORS AND OTHER OPENINGS PROTECTIVE"
- NFPA 99 - 2024 EDITION - "HEALTH CARE FACILITIES CODE"
- NFPA 108 - 2022 EDITION - "STANDARD FOR THE INSTALLATION OF SMOKE DOOR ASSEMBLIES AND OTHER OPENINGS PROTECTIVES"

OTHER REGULATORY NOTICES AND REQUIREMENTS:

OFFICE OF STATE FIRE MARSHAL - BUILDING MATERIALS LISTING PROGRAM
 DIVISION OF STATE ARCHITECT - CALIFORNIA STATE ACCESSIBILITY STANDARDS
 HCA CODE APPLICATION NOTICES
 HCA POLICY INTENT NOTICES

NOTE: WHERE LAWS AND CODES ARE FOUND TO BE IN CONFLICT WITH EACH OTHER, THE MORE STRINGENT REQUIREMENTS SHALL PREVAIL UNLESS NOTED OTHERWISE.

SYMBOLS LEGEND

	SMH		AREA WHERE NO WORK IS PERFORMED
	BUILDING SECTION CALLOUT		REVISION CLOUD AND DELTA
	WALL SECTION CALLOUT		DOOR TAG
	EXTERIOR ELEVATION CALLOUT		PARDON TAG
	INTERIOR ELEVATION CALLOUT		ROOM NAME
	STRUCTURAL GRID - NEW		ROOM NAME AND NUMBER
	STRUCTURAL GRID - EXISTING		BREAKLINE
	HATCHLINE		EQUIPMENT TAG
	T.O. WALL		TOILET ACCESSORY TAG
	ELEV. K-X		MATERIAL FINISH TAG
	1/8" / 1/2"		KEYNOTE TAG
	SLOPE CALLOUT		FURNITURE TAG

PROJECT SUMMARY

THE SCOPE OF WORK FOR THIS PROJECT CONSISTS OF THE CONSTRUCTION OF A NEW BUILDING ADJACENT TO THE EXISTING EL DORADO COMMUNITY HEALTH CENTERS. THE NEW FACILITY WILL HOUSE PUBLIC SERVICES, THERAPY, PATIENT LANE, AND ADMINISTRATION OFFICES, PROVIDING EFFICIENT AND ACCESSIBLE SPACES FOR PATIENTS AND STAFF. THE PROJECT INCLUDES A COMPLETE DESIGN OF THE SITE TO ENHANCE CIRCULATION, PARKING AND OVERALL FUNCTIONALITY, WHILE ENSURING FULL COMPLIANCE WITH USMPC 3 STANDARDS.

BUILDING INFORMATION

PROJECT AREA:
 FIRST ADDITION
 12,904 SQ. FT.

TOTAL AREA: 12,904 SQ. FT.
 SPRINKLERED: YES, FULLY SPRINKLERED

BUILDING SHALL BE EQUIPPED WITH AUTOMATIC SMOKE DETECTION SYSTEM THROUGHOUT ADDITION

OCCUPANCY GROUP: GROUP B
 TYPE OF CONSTRUCTION: TYPE V-B

BASIC ALLOWABLE AREA: 1,000 SQ. FT.
 ALLOWABLE INCREASES (SPRINKLERED): 27,000 SQ. FT.
 TOTAL ALLOWABLE AREA PER STORY: 38,000 SQ. FT.

BUILDING STORES:
 SPRINKLERED: ONE
 YES, FULLY SPRINKLERED

BUILDING SHALL BE EQUIPPED WITH AUTOMATIC SMOKE DETECTION SYSTEM THROUGHOUT ADDITION

PERMITS AND REQUIREMENTS (CFC, CCR, TABLE 401, 300.5)

1. STRUCTURAL FRAME (PER CCR TABLE 601)	NON-RATED
2. BEARING WALLS	NON-RATED
EXTERIOR (PER CCR TABLE 601)	NON-RATED
INTERIOR (PER CCR TABLE 601)	1-HOUR
3. NON-BEARING WALLS AND PARTITIONS	NON-RATED
EXTERIOR (PER CCR TABLE 601)	NON-RATED
INTERIOR (PER CCR TABLE 601)	NON-RATED
4. FLOOR CONSTRUCTION	NON-RATED
INCLUDING SUPPORTING BEAMS AND JOISTS (PER CCR TABLE 601)	NON-RATED
5. ROOF CONSTRUCTION	NON-RATED
INCLUDING SUPPORTING BEAMS AND JOISTS (PER CCR TABLE 601)	NON-RATED

4 SHEET INDEX

GENERAL	COVER SHEET
A0.0	CIVIL
C0.0	COVER SHEET
G0.1	NOTES SHEET
C1.0	EXISTING CONDITIONS
C1.1	SITE PLAN
C1.2	LAYOUT
C1.3	ACCESS ROAD PLAN & PROFILE
C1.4	CONSTRUCTION DETAILS
C2.0	GRADING PLAN
C2.1	GRADING PLAN
C2.2	GRADING PLAN
C2.3	GRADING DETAILS
C2.4	DRAINAGE PLAN
C2.5	DRAINAGE PLAN
C2.6	DRAINAGE PLAN
C2.7	DRAINAGE PLAN
C2.8	DRAINAGE DETAILS
C2.9	DRAINAGE DETAILS
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STANDARD GENERAL NOTES - ROADWORK, GRADING AND DRAINAGE:

- MATERIALS, CONSTRUCTION QUALITY, AND METHODS FOR THIS PROJECT ARE SUBJECT TO THE COUNTY OF EL DORADO DESIGN AND IMPROVEMENT STANDARDS MANUAL STANDARD PLANS, AND THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARD PLANS AND STANDARD SPECIFICATIONS.
- ALL REFERENCE TO DOT SHALL MEAN THE DEPARTMENT OF TRANSPORTATION DIRECTOR, OF EL DORADO COUNTY OR AUTHORIZED REPRESENTATIVE.
- ALL WORK SHALL BE ACCOMPLISHED TO THE SATISFACTION OF THE DOT OR AN AUTHORIZED REPRESENTATIVE.
- ALL REFERENCE TO THE STANDARD SPECIFICATIONS SHALL MEAN THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS DATED 2024.
- THE CONTRACTOR SHALL HAVE A RESPONSIBLE PARTY, WHO SHALL HAVE FULL AUTHORITY TO REPRESENT AND ACT FOR THE CONTRACTOR ON SITE AT ALL TIMES DURING WORKING HOURS.
- THE CONTRACTOR SHALL NOTIFY DOT 48 HOURS IN ADVANCE OF COMMENCING WORK TO SCHEDULE A PRE-CONSTRUCTION CONFERENCE AND INSPECTION WITH THE ENGINEER AND DOT. NO WORK SHALL BEGIN UNTIL AFTER THE PRE-CONSTRUCTION CONFERENCE AND INSPECTION HAVE BEEN COMPLETED.
- THE CONTRACTOR'S ATTENTION IS DIRECTED TO SECTION 7, "LEGAL RELATIONS AND RESPONSIBILITY TO THE PUBLIC," OF THE STANDARD SPECIFICATIONS.
- RIGHTS TO ENTER AND CONSTRUCT SHALL BE OBTAINED PRIOR TO CONSTRUCTING ANY OFF-SITE WORK SHOWN IN THESE PLANS. COPIES OF SUCH DOCUMENTS SHALL BE KEPT ON-SITE AT ALL TIMES DURING THE PERFORMANCE OF OFF-SITE WORK.
- THE CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT (USA) 811 OR 1-800-4-A-HEAD PRIOR TO PERFORMING ANY EXCAVATION ON THE PROJECT SITE. THE OWNERS OF IDENTIFIED EXISTING UNDERGROUND FACILITIES SHALL ALSO BE CONTACTED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL NOT CONSTRUCT ANY WORK WITHOUT ADEQUATE CONSTRUCTION STAKING. AS A MINIMUM, THE FOLLOWING STAKING SHALL BE REQUIRED: 1) CLEARING LIMITS, 2) SLOPE STAKES, 3) WATER LINE STAKES, 4) SEWER LINE STAKES, 5) STORM DRAIN STAKES, AND 6) FINISHED GRADE STAKES. ADDITIONAL STAKING MAY BE REQUIRED BY DOT DUE TO THE NATURE AND/OR COMPLEXITY OF THE WORK. LOST OR DAMAGED STAKES SHALL BE REPLACED TO THE SATISFACTION OF DOT WHETHER RESULTING FROM CONSTRUCTION PROCEDURES, VANDALISM, OR ANY OTHER CAUSE. SURVEY CUT SHEETS SHALL BE PROVIDED TO THE CONTRACTOR WITHIN ONE BUSINESS DAY OF COMPLETION OF THE SURVEY REQUEST. CONTRACTOR SHALL PROVIDE ALL CUT SHEETS TO THE DOT INSPECTOR AND EID THE SAME DAY THEY ARE RECEIVED.
- THE CONTRACTOR'S ATTENTION IS DIRECTED TO COUNTY OF EL DORADO RESOLUTION NO. 198-91 WHICH CONTAINS SPECIFIC REQUIREMENTS FOR THE PROTECTION AND PRESERVATION OF OAK TREES AND WETLANDS. THE CONTRACTOR SHALL REMOVE ONLY THOSE TREES SHOWN ON THE PLANS TO BE REMOVED. THE CONTRACTOR SHALL INSTALL PROTECTIVE FENCING AT THE DROP LINE OF ALL REMAINING TREES WITHIN 50 FEET OF ANY GRADING, AND OTHERWISE COMPLY WITH THE PROVISIONS OF SAID ORDINANCE.
- CONSTRUCTION HOURS SHALL BE LIMITED FROM 7:00 A.M. TO 7:00 P.M. (OR SUNSET), MONDAY THROUGH FRIDAY, AND 8:00 AM TO 5:00 PM WEEKENDS AND FEDERALLY RECOGNIZED HOLIDAYS, UNLESS OTHERWISE SPECIFIED BY SEPARATE AGREEMENT (SUBMISSION GRADING AGREEMENT, SUBMISSION IMPROVEMENT AGREEMENT, ROAD IMPROVEMENT AGREEMENT, ETC.), ALL HEAVY EQUIPMENT AND ANY INTERNAL COMBUSTION ENGINES SHALL BE FITTED WITH ADEQUATE MUFFLERS.
- THE CONTRACTOR SHALL PROVIDE, PLACE AND MAINTAIN ALL LIGHTS, SIGNS, DELINEATORS, BARRICADES, TEMPORARY TRAFFIC STRIPING, FLAGMEN, DETOURS OR OTHER DEVICES NECESSARY TO PROVIDE FOR THE SAFE AND CONVENIENT PASSAGE OF PUBLIC VEHICLE AND PEDESTRIAN TRAFFIC THROUGH THE CONSTRUCTION SITE.
- THE CONTRACTOR SHALL OBTAIN THE EXPRESS WRITTEN CONSENT OF DOT PRIOR TO IMPLEMENTING ANY LANE CLOSURE OR DETOUR ON A COUNTY MAINTAINED STREET OR HIGHWAY. ALL LANE CLOSURES OR DETOURS SHALL CONFORM TO CHAPTER 5, "TRAFFIC CONTROL DEVICES FOR LOW VOLUME ROADS" OF THE CALIFORNIA MUTCD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL DURING CONSTRUCTION. AT LEAST ONE WATER TRUCK SHALL BE ON SITE AT ALL TIMES. ADDITIONAL EQUIPMENT MAY BE REQUIRED AS DETERMINED BY DOT.
- THE CONTRACTOR SHALL OBTAIN AN APPROVED FUGITIVE DUST CONTROL PLAN, INCLUDING PROVISIONS FOR ASBESTOS HAZARD MITIGATION, IF REQUIRED, FROM THE COUNTY OF EL DORADO ENVIRONMENTAL MANAGEMENT DIVISION PRIOR TO BEGINNING OF WORK.
- IF UNUSUAL AMOUNTS OF STONE, BONE, OR ARTIFACTS ARE UNCOVERED DURING CONSTRUCTION, ALL WORK SHALL BE STOPPED WITHIN ONE HUNDRED FEET (100') OF THE FIND, AND A QUALIFIED ARCHAEOLOGIST CONSULTED FOR AN ON-SITE EVALUATION.
- IF THE PRESENCE OF SERPENTINE ROCK (SAR) IS DISCOVERED DURING CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER, DOT AND THE COUNTY OF EL DORADO ENVIRONMENTAL MANAGEMENT DIVISION THAT SERPENTINE ROCK IS PRESENT ON THE SITE. ADDITIONALLY, THE CONTRACTOR SHALL IMPLEMENT THE ASBESTOS HAZARD MITIGATION PROVISIONS OF THE FUGITIVE DUST PLAN PRIOR TO CONTINUATION OF EARTHWORK IN AREAS WHERE SERPENTINE ROCK IS PRESENT.

STANDARD GENERAL NOTES - ROADWORK, GRADING AND DRAINAGE (CONT):

- UPON JOB COMPLETION, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE INFORMATION TO THE ENGINEER REGARDING ANY MATERIAL CHANGES MADE DURING CONSTRUCTION AS WELL AS ANY OTHER INFORMATION REQUIRED TO BE SHOWN ON THE RECORD DRAWINGS BY DOT, THE EL DORADO IRRIGATION DISTRICT (EID), OTHER UTILITY COMPANIES, OR OTHER RESPONSIBLE AGENCIES.
- CLEARING AND GRUBBING SHALL CONFORM TO THE PROVISIONS OF SECTION 16, "CLEARING AND GRUBBING" OF THE STANDARD SPECIFICATIONS. ROOTS, STUMPS, TREES, ROCKS OR OTHER DELETERIOUS SUBSTANCES SHALL BE DISPOSED OF OFF-SITE AND IN A LAWFUL MANNER.
- EARTHWORK SHALL CONFORM TO THE PROVISIONS OF SECTION 19, "EARTHWORK" OF THE STANDARD SPECIFICATIONS. WIDENING OF EMBANKMENTS AND FLATTENING OF SLOPES, WHICH RESULT IN AN INCREASED AREA OF GRADING, WILL NOT BE PERMITTED WITHOUT EXPRESS WRITTEN APPROVAL FROM DOT.
- AGGREGATE BASE SHALL CONFORM TO THE PROVISIONS OF SECTION 26, "AGGREGATE BASES" OF THE STANDARD SPECIFICATIONS FOR CLASS 2 AGGREGATE BASE. 3/4 INCH MAXIMUM GRADATION. AGGREGATE BASE SHALL NOT BE PLACED UNTIL THE PRIOR GRADING PLANE HAS BEEN APPROVED BY DOT.
- ASPHALT CONCRETE SHALL CONFORM TO THE PROVISIONS OF SECTION 39, "ASPHALT CONCRETE" OF THE STANDARD SPECIFICATIONS. ASPHALT BINDER(S) SHALL BE PERFORMANCE GRADE 64-16. ASPHALT CONCRETE SHALL NOT BE PLACED UNTIL THE PRIOR GRADING PLANE HAS BEEN APPROVED BY DOT, AND ALL UTILITIES WITHIN THE PAVED AREA HAVE BEEN PLACED, TESTED, AND APPROVED.
- ALL ASPHALT CONCRETE (GRINDS) SHALL BE A MINIMUM OF 3 INCHES AND REPLACED IN KIND WITH ASPHALT CONCRETE AS DEFINED IN SECTION 39, OF THE STANDARD SPECIFICATIONS. IF AGGREGATE BASE IS NOT PRESENT IT SHALL BE REPLACED WITH A MINIMUM OF 8 INCHES OF CLASS 2 AGGREGATE BASE AND CONFORM TO THE PROVISIONS OF SECTION 26 OF THE STANDARD SPECIFICATIONS FOR CLASS 2 AGGREGATE BASE. ANY EXCEPTION TO THE 8 INCH MINIMUM OF CLASS 2 AGGREGATE BASE REPLACEMENT MUST BE PROVIDED BY A LICENSED GEOTECHNICAL ENGINEER.
- AFTER ACCEPTANCE OF THE FINAL LIFT OF ASPHALT CONCRETE, AND PRIOR TO THE END OF THE WARRANTY PERIOD, ALL ROADWAYS SHALL BE FOG SEALED IN ACCORDANCE WITH SECTION 37.2, "SEAL COATS" OF THE STANDARD SPECIFICATIONS. ASPHALTIC EMULSION SHALL BE SLOW, SETTING ANIONIC ASPHALTIC EMULSION TYPE, GRADE 551, CONFORMING TO THE REQUIREMENTS OF SECTION 94, "ASPHALTIC EMULSIONS" OF THE STANDARD SPECIFICATIONS. ALL PROJECTS THAT HAVE RE-STRIPPING DUE TO TRAFFIC STAGING OR NEW LANE LINES SHALL BE SEALED WITH A SLURRY SEAL CONFORMING TO THE REQUIREMENTS OF SECTION 37.3 "SLURRY SEAL AND MICROSURFACING" OF THE STANDARD SPECIFICATIONS AFTER THE EXISTING STRIPING IS REMOVED BY GRINDING, SANDBLASTING OR PAVEMENT OVERLAY.
- SUBGRADE - WHEN ASPHALT CONCRETE OR ASPHALT CONCRETE BASE IS TO BE PLACED ON THE GRADING PLANE, THE GRADING PLANE AT ANY POINT SHALL NOT VARY MORE THAN 0.05 FOOT ABOVE OR BELOW THE GRADE ESTABLISHED BY THE ENGINEER, WHEN SUB-BASE OR BASE MATERIAL (OTHER THAN ASPHALT CONCRETE BASE) IS TO BE PLACED ON THE GRADING PLANE, THE GRADING PLANE AT ANY POINT SHALL NOT VARY MORE THAN 0.05 FOOT ABOVE THE GRADE ESTABLISHED BY THE ENGINEER.
- CONCRETE STRUCTURES SHALL CONFORM TO SECTION 90.2 "MINOR CONCRETE" OF THE STANDARD SPECIFICATIONS.
- PRECAST CONCRETE STRUCTURES SHALL CONFORM TO SECTION 70.4 "PRECAST CONCRETE PIPE DRAINAGE FACILITIES" OF THE STANDARD SPECIFICATIONS.
- WHERE TYPE B DROP INLETS EXCEED 5 FEET IN HEIGHT, REINFORCING STEEL SHALL BE INSTALLED AS SHOWN ON THE PLAN DETAIL. REINFORCING STEEL SHALL BE # 4 BARS, INSTALLED IN THE VERTICAL WALLS AT 12 INCH O.C. (BOTH DIRECTIONS), A 3 INCH CLEARANCE SHALL BE MAINTAINED FROM THE OUTSIDE FACE OF THE WALLS. UNDER NO CIRCUMSTANCES WILL TYPE B DROP INLETS BE ALLOWED IN EXCESS OF 8 FEET IN HEIGHT.
- WHERE ANY PORTION OF THE STRUCTURE EXCAVATION FOR VERTICAL CONCRETE STRUCTURES (MANHOLES, INLETS, VAULTS, ETC.) IS WITHIN THE STREET, MATERIAL USED TO BACKFILL SUCH STRUCTURES SHALL CONFORM TO SECTION 19.3.22B, "STRUCTURE BACKFILL" OF THE STANDARD SPECIFICATIONS. COMPACTION TESTS WILL BE TAKEN EVERY 2.3 FEET VERTICALLY, WHERE CAST-IN-PLACE STRUCTURES ARE PLACED AGAINST UNDISTURBED NATIVE MATERIAL, THE REQUIREMENT SHALL NOT APPLY.
- TRAFFIC STRIPING AND PAVEMENT MARKINGS SHALL BE THERMOPLASTIC, CONFORMING TO SECTION 64.2 "TRAFFIC STRIPES AND PAVEMENT MARKINGS" OF THE STANDARD SPECIFICATIONS.
- A GEOTECHNICAL ENGINEER AND A STRUCTURAL ENGINEER SHALL CERTIFY, RESPECTIVELY, THE GEOTECHNICAL AND STRUCTURAL ITEMS SHOWN ON THE PLANS WERE BUILT IN CONFORMANCE WITH THE RESPECTIVE GEOTECHNICAL AND STRUCTURAL RECOMMENDATIONS FOR THE PROJECT BEFORE FINALIZATION OF THE PROJECT.
- IF BLASTING ACTIVITIES ARE TO OCCUR IN CONJUNCTION WITH DEVELOPMENT, THE DEVELOPER SHALL ENSURE THAT SUCH BLASTING ACTIVITIES ARE CONDUCTED IN COMPLIANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS.
- IF BURNING ACTIVITIES ARE TO OCCUR DURING CONSTRUCTION, THE DEVELOPER SHALL OBTAIN THE NECESSARY BURNING PERMITS AND AIR POLLUTION PERMITS FROM THE CALIFORNIA DEPARTMENT OF FORESTRY (CDF) AND FROM THE AIR QUALITY MANAGEMENT DISTRICT (AQMD) PRIOR TO SAID BURNING ACTIVITIES.

STANDARD GENERAL NOTES - ROADWORK, GRADING AND DRAINAGE (CONT):

- STORM DRAINS SHALL BE TELEVIEWED WHEN BACKFILL REACHES THE POINT OF 2 FOOT OF COMPACTED FILL OVER THE PIPE. ALL COVER OF THE VEGETATION WILL BE PROVIDED TO THE DOT INSPECTOR, AND NO PAVING OVER THE PIPE WILL BE DONE WITHOUT THE INSPECTOR'S AUTHORIZATION. COST OF TELEVIEWING WILL BE INCLUDED IN THE UNIT COST OF CONSTRUCTION.
- STORM DRAINS IN PUBLIC RIGHT-OF-WAY, IN IRREVOCABLE OFFERS OF DEDICATIONS, OR THAT ARE TO BE MAINTAINED BY A ZONE OF BENEFIT (ZOB), SERVICE DISTRICT (CSD), SERVICE AREA (CSA), OR ANY OTHER PUBLICLY ADMINISTERED AGENCY WILL BE OF THE FOLLOWING MATERIALS:
 - REINFORCED CONCRETE PIPE (RCP)
 - HIGH DENSITY POLYETHYLENE PIPE (HDPE), 48 INCH MAXIMUM
 - CORRUGATED STEEL PIPE, BUT ONLY UNDER THE FOLLOWING CIRCUMSTANCES:
 - 48 INCH MAXIMUM
 - NONEROSIVE FLOW VELOCITIES
 - ALUMINIZED
 - NOMINAL THICKNESS FOR 50 YEAR LIFE (AASHTO DESIGNATION M196)
 - 4 INCH REINFORCED CONCRETE PAD IN BOTTOM THIRD
 - IN NON-CORROSIVE SOILS (INCLUDING BACKFILL)
 - STEEL PLATE OR STEEL ARCH WITH CONCRETE OR "SOFT" BOTTOM
- STREET NAME SIGNS SHALL BE INSTALLED AT EVERY INTERSECTION IN ACCORDANCE WITH LATEST APPROVED CALIFORNIA MUTCD.
- THE CONTRACTOR SHALL FURNISH AND INSTALL TYPE F-2 MARKERS AT BOTH ENDS OF CULVERTS. THE CULVERT MARKERS SHALL HAVE A TWO INCH WIDE BLACK STRIP AT THE TOP OF THE MARKER, ABOVE ELEVATIONS 3,000 FEET. THE CONTRACTOR SHALL FURNISH AND INSTALL TYPE F MARKERS WITH SNOW POLE BRACKETS ON ALL DIMS AT 100' FOOT INTERVALS AND AT BOTH ENDS OF CULVERTS, ABOVE ELEVATION 3,000 FEET. THE CONTRACTOR SHALL INSTALL METAL MARKER POSTS WITH SNOW POLE BRACKETS NEAR EACH FIRE HYDRANT.
- CONTRACTOR SHALL NOT START ANY UTILITY WORK UNTIL A JOINT TRENCH COMPOSITE PLAN HAS BEEN APPROVED BY THE DOT (WATER AND SEWER EXCEPTED). ALL UTILITY WORK PERFORMED IN THE COUNTY RIGHT OF WAY SHALL REQUIRE AN ENCROACHMENT PERMIE.
- WATER AND SEWER LINES SHALL BE TESTED AND APPROVED BY EID PRIOR TO PLACING PAVEMENT ON THE STREET.
- OMISSIONS AND ERRORS ON PLANS SHALL NOT BE VALID, AND ALL CODES AND LAWS MUST BE COMPLIED WITH BY THE OWNER, ENGINEER AND CONTRACTOR.
- ALL NEW OR RECONSTRUCTED DRAINAGE INLETS SHALL HAVE A STORM WATER QUALITY MESSAGE STAMPED INTO THE CONCRETE. ALL STAMPS SHALL BE APPROVED BY THE DOT INSPECTOR PRIOR TO BEING USED.
- IMPORT OR EXPORT OVER 250 CUBIC YARDS TO ANY OFF-SITE BORROW OR DISPOSAL SITE WILL REQUIRE A SEPARATE APPROVED GRADING PERMIT FOR THE OFF-SITE LOCATION PRIOR TO DOT SIGNATURE APPROVAL OF PLANS.
- IN THE EVENT OF THE DISCOVERY OF HUMAN REMAINS, ALL WORK IS TO STOP AND THE COUNTY CORONER SHALL BE IMMEDIATELY NOTIFIED PURSUANT TO SECTION 7950.5 OF THE HEALTH AND SAFETY CODE AND SECTION 5097.98 OF THE PUBLIC RESOURCES CODE. IF THE REMAINS ARE DETERMINED TO BE NATIVE AMERICAN, THE CORONER MUST CONTACT THE NATIVE AMERICAN HERITAGE COMMISSION WITHIN 24 HOURS. THE TREATMENT AND DISPOSITION OF HUMAN REMAINS SHALL BE COMPLETED CONSISTENT WITH GUIDELINES OF THE NATIVE AMERICAN HERITAGE COMMISSION.
- CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SURVEY MONUMENTS AND OTHER SURVEY MARKERS, MONUMENTS AND SURVEY MARKERS DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.



DATE: 1/20/2026
DRAWN: JCR
DESIGN: JCR
CHECK:
PROFESSIONAL SEAL: JCR, CIVIL ENGINEER, No. 7992, Exp. 12/31/2028, STATE OF CALIFORNIA

IMPROVEMENT PLANS FOR
BEHAVIORAL HEALTH CLINIC
4212 MISSOURI FLAT ROAD, PLACERVILLE, CA 95667
NOTES SHEET

No.	Revision	Description	Date	Approved

ALL DIMS, LOCATIONS, DIRECTIONS, UNLESS OTHERWISE SPECIFIED, SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE CALIFORNIA DEPARTMENT OF TRANSPORTATION.

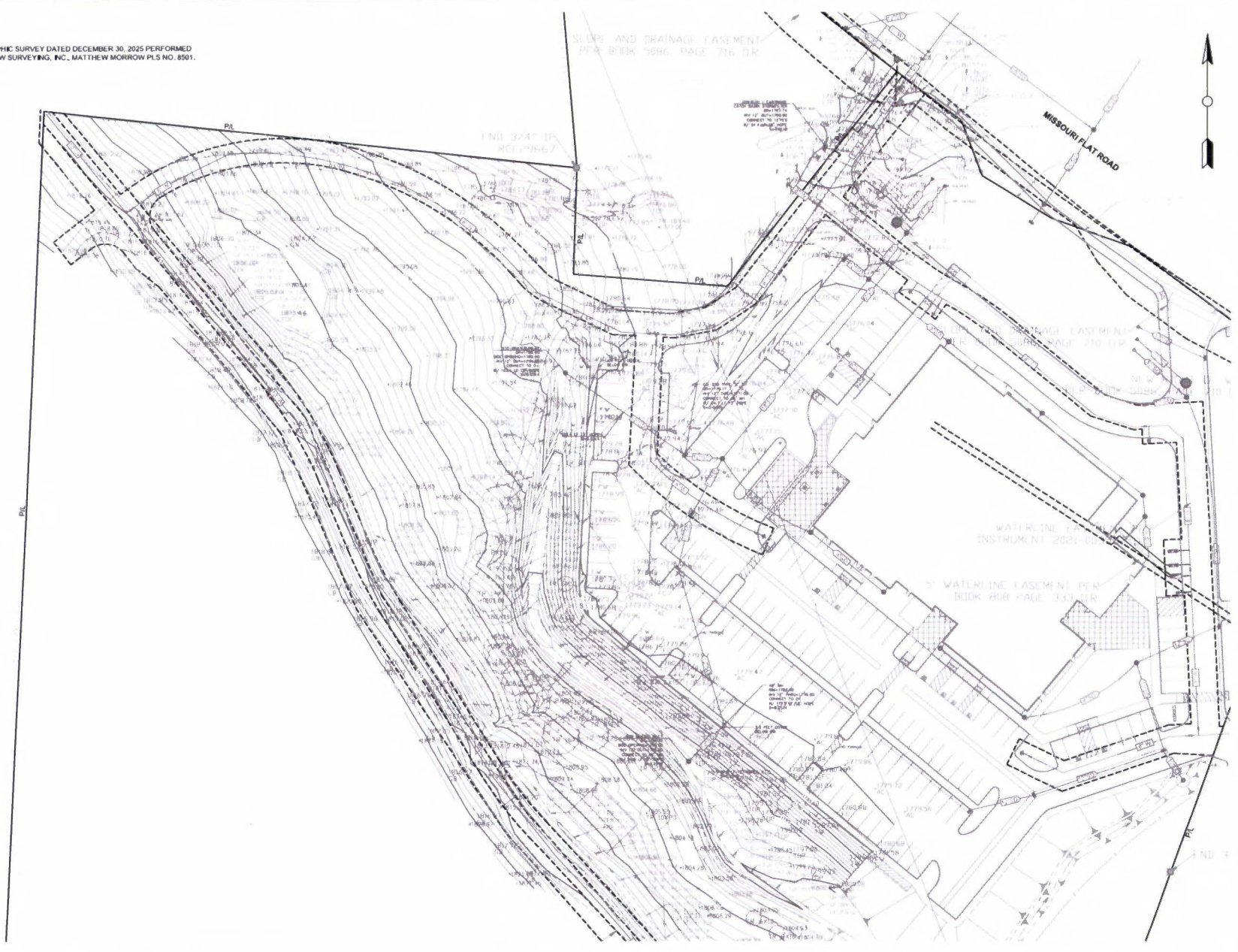
CONTRACT KAP-4212

SCALE
HORIZ:
VERT:

DRAWING
C0.1
SHEET
2 OF 18

NOTES

1. TOPOGRAPHIC SURVEY DATED DECEMBER 30, 2025 PERFORMED BY MORROW SURVEYING, INC., MATTHEW MORROW PLS NO. 8501.



JLR JLR CIVIL, INC.
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 TELEPHONE: (916) 618-2301
 www.jlrcivil.com

DATE: 1/20/2026
 DRAWN: JCR
 DESIGN: JCR
 CHECK:



**IMPROVEMENT PLANS FOR
 BEHAVIORAL HEALTH CLINIC
 4212 MISSOURI FLAT ROAD, PLACERVILLE, CA 95667
 EXISTING CONDITIONS**

No.	Revision Description	Date	Approved

JLR CIVIL, INC. IS AN OFFICE, DIRECTOR, ENGINEER, OR ITS AGENTS SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS OF ANY KIND.

CONTRACT
 KAP-4212
 SCALE
 HORIZ: 1" = 30'
 VERT:
 DRAWING
 C1.0
 SHEET
 3 OF 18

NOTES

1. LINE AND CURVE DATA ARE DIMENSIONED AT TOP FACE OF CURB/CONCRETE UNLESS OTHERWISE NOTED.

SEE ACCESS ROAD PLAN & PROFILE SHEET FOR LAYOUT IN THIS AREA

SEE ACCESS ROAD PLAN & PROFILE SHEET FOR LAYOUT IN THIS AREA

SEE ACCESS ROAD PLAN & PROFILE SHEET FOR LAYOUT IN THIS AREA

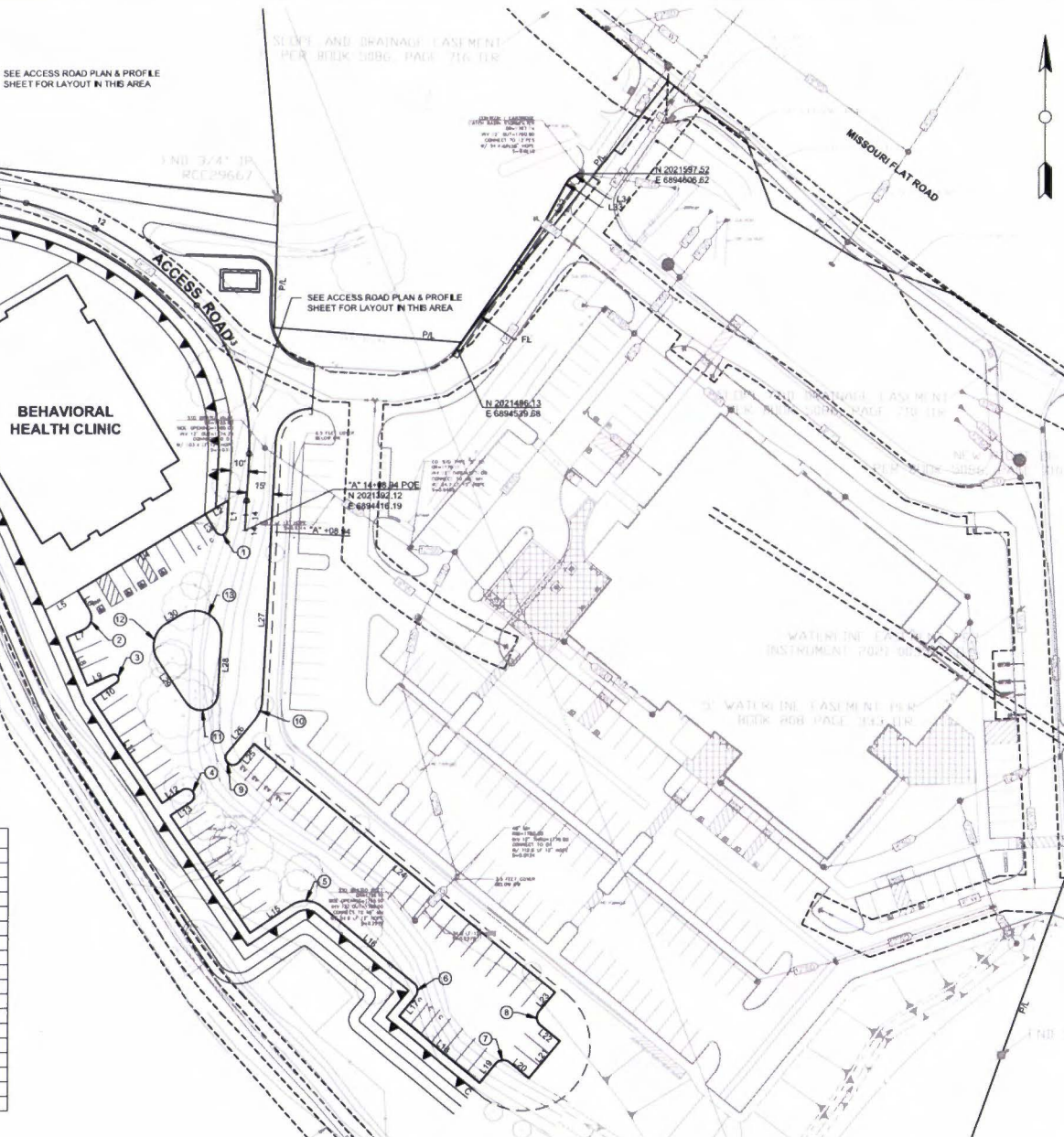
SLOPE AND DRAINAGE EASEMENT PER MILK SUBG PAGE 216 11W

1" NO 3/4" IR (REL 2566.7)

CURVE DATA				
NO	R	Δ	T	L
1	3.5'	145°53'18"	11.41'	8.91'
2	8.00'	97°38'51"	9.15'	13.83'
3	2.83'	168°35'55"	31.13'	8.38'
4	4.50'	180°00'00"		14.14'
5	15.00'	73°09'14"	11.13'	19.15'
6	6.00'	90°00'00"	6.00'	9.43'
7	6.00'	90°00'00"	6.00'	9.43'
8	6.00'	90°00'00"	6.00'	9.43'
9	4.50'	180°00'00"		14.14'
10	19.50'	36°18'44"	6.39'	12.36'
11	15.00'	143°09'30"	28.26'	32.49'
12	10.00'	92°45'14"	30.02'	24.99'
13	15.00'	124°05'16"	15.74'	24.26'

LINE TABLE		
NO	BEARING	LENGTH
L1	S03°07'14"W	17.27'
L2	S59°00'32"W	15.13'
L3	N30°59'28"W	11.83'
L4	S59°00'32"W	85.00'
L5	S59°00'32"W	21.71'
L6	S30°59'28"E	12.96'
L7	S66°39'23"W	10.38'
L8	S23°20'37"E	30.00'
L9	N66°39'23"E	15.76'
L10	S56°15'18"W	16.54'
L11	S33°44'42"E	72.00'
L12	N56°15'18"E	13.50'
L13	S56°15'18"W	13.50'
L14	S33°44'42"E	81.00'
L15	N56°15'18"E	28.57'
L16	S50°35'28"E	69.20'
L17	S39°24'32"W	14.00'

LINE TABLE (CONT)		
NO	BEARING	LENGTH
L18	S50°35'28"E	60.00'
L19	S39°24'32"W	14.00'
L20	S50°35'28"E	14.00'
L21	N39°24'32"E	27.00'
L22	N50°35'28"W	14.00'
L23	N39°24'32"E	14.00'
L24	N50°35'28"W	225.00'
L25	S39°24'32"W	13.50'
L26	N39°24'32"E	24.40'
L27	N03°05'48"E	149.40'
L28	S03°05'48"W	32.52'
L29	N33°44'42"W	29.53'
L30	N59°00'32"E	10.51'
L31	N34°34'10"E	89.19'
L32	N28°00'56"E	24.37'
L33	N34°34'10"E	3.83'
L34	N57°56'37"E	6.45'



JR JLR CIVIL, INC.
 REGISTERED PROFESSIONAL ENGINEER
 1535 RIVERVIEW DRIVE SUITE 206-15
 SACRAMENTO, CALIFORNIA 95815
 TELEPHONE: (916) 618-2301
 www.jrlcivil.com

DATE: 1/20/2026
 DRAWN: JCR
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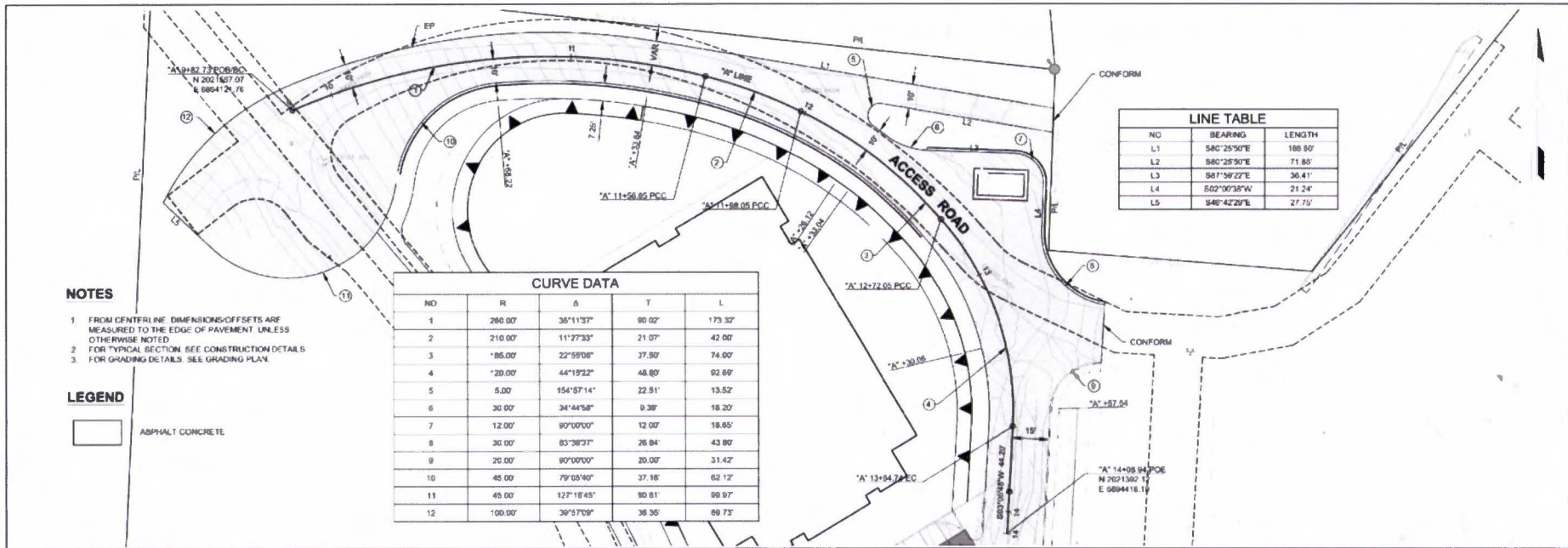
**IMPROVEMENT PLANS FOR
 BEHAVIORAL HEALTH CLINIC
 4212 MISSOURI FLAT ROAD, PLACERVILLE, CA 95667
 PRELIMINARY LAYOUT**

No.	Revision Description	Date	Approved

ALL CHANGES BY THE ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR OTHER PROFESSIONAL SHALL BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF THE ELECTRICAL DATA ON THIS DOCUMENT.

CONTRACT
 KAP-4212
 SCALE
 HORIZ: 1" = 30'
 VERT:
 DRAWING
 C1.2
 SHEET
 5 OF 18

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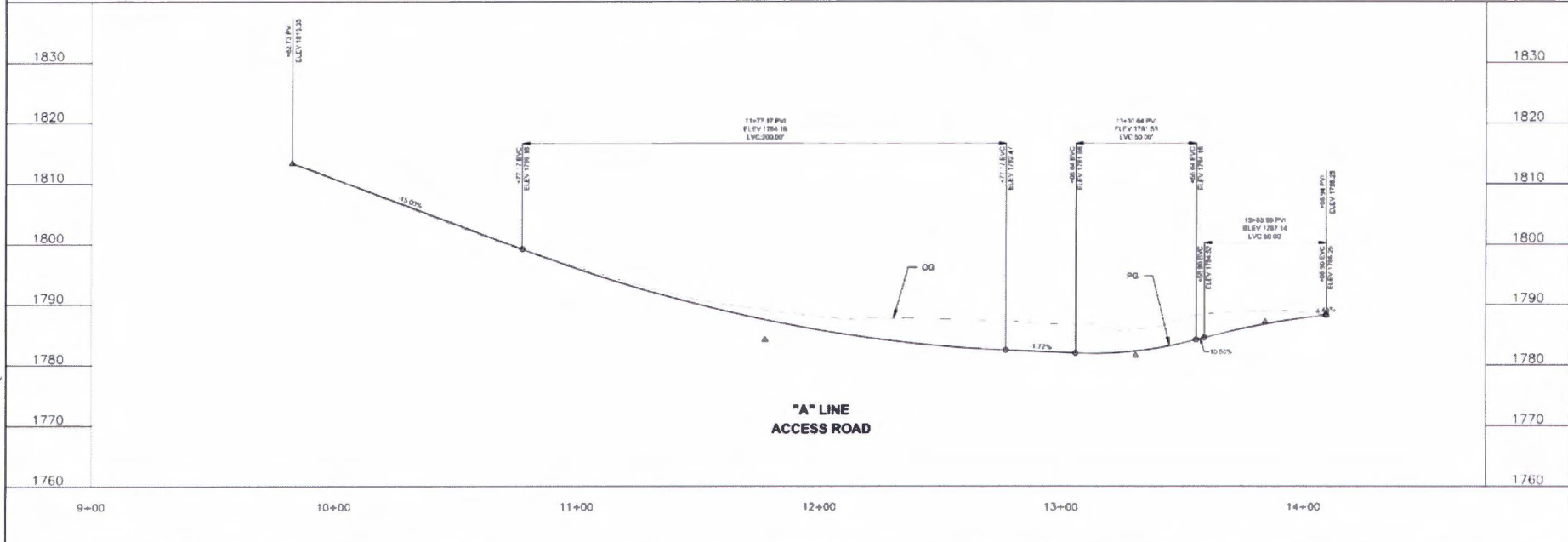
- NOTES**
- 1 FROM CENTERLINE DIMENSIONS/OFFSETS ARE MEASURED TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
 - 2 FOR TYPICAL SECTION SEE CONSTRUCTION DETAILS.
 - 3 FOR GRADING DETAILS SEE GRADING PLAN.

LEGEND

ASPHALT CONCRETE



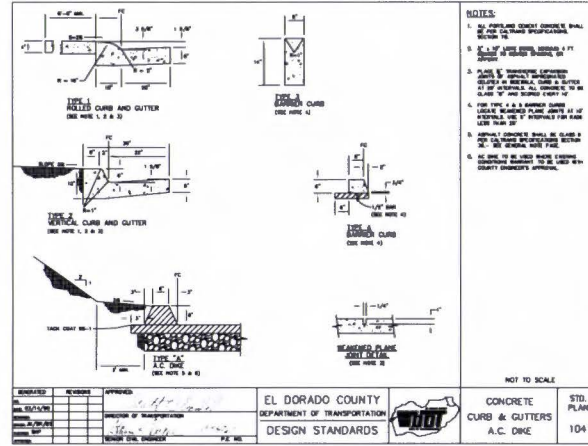
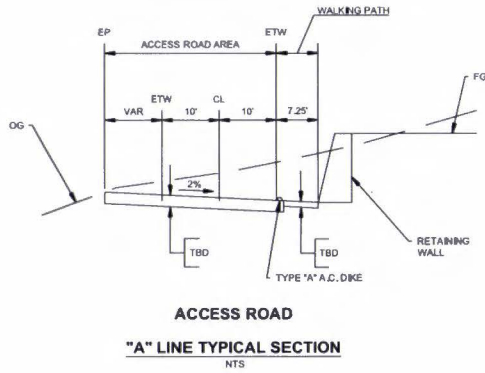
IMPROVEMENT PLANS FOR
BEHAVIORAL HEALTH CLINIC
 4212 MISSOURI FLAT ROAD, PLACERVILLE, CA 95667
ACCESS ROAD PLAN & PROFILE



CONTRACT
 KAP-4212
SCALE
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 VERT: 1" = 8'
DRAWING
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SHEET
 8 OF 18

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26-0914 B 27 of 52



JLR JLR CIVIL, INC.
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**IMPROVEMENT PLANS FOR
BEHAVIORAL HEALTH CLINIC
4212 MISSOURI FLAT ROAD, PLACERVILLE, CA 95667
CONSTRUCTION DETAILS**

No.	Revision Description	Date	Approved

ALL CHANGES TO THE ORIGINAL DRAWINGS, SPECIFICATIONS, AND DETAILS ON THE DRAWING SHALL BE BY THE ENGINEER. THE ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF COMPLETENESS OF THE DRAWING.

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KAP-4212

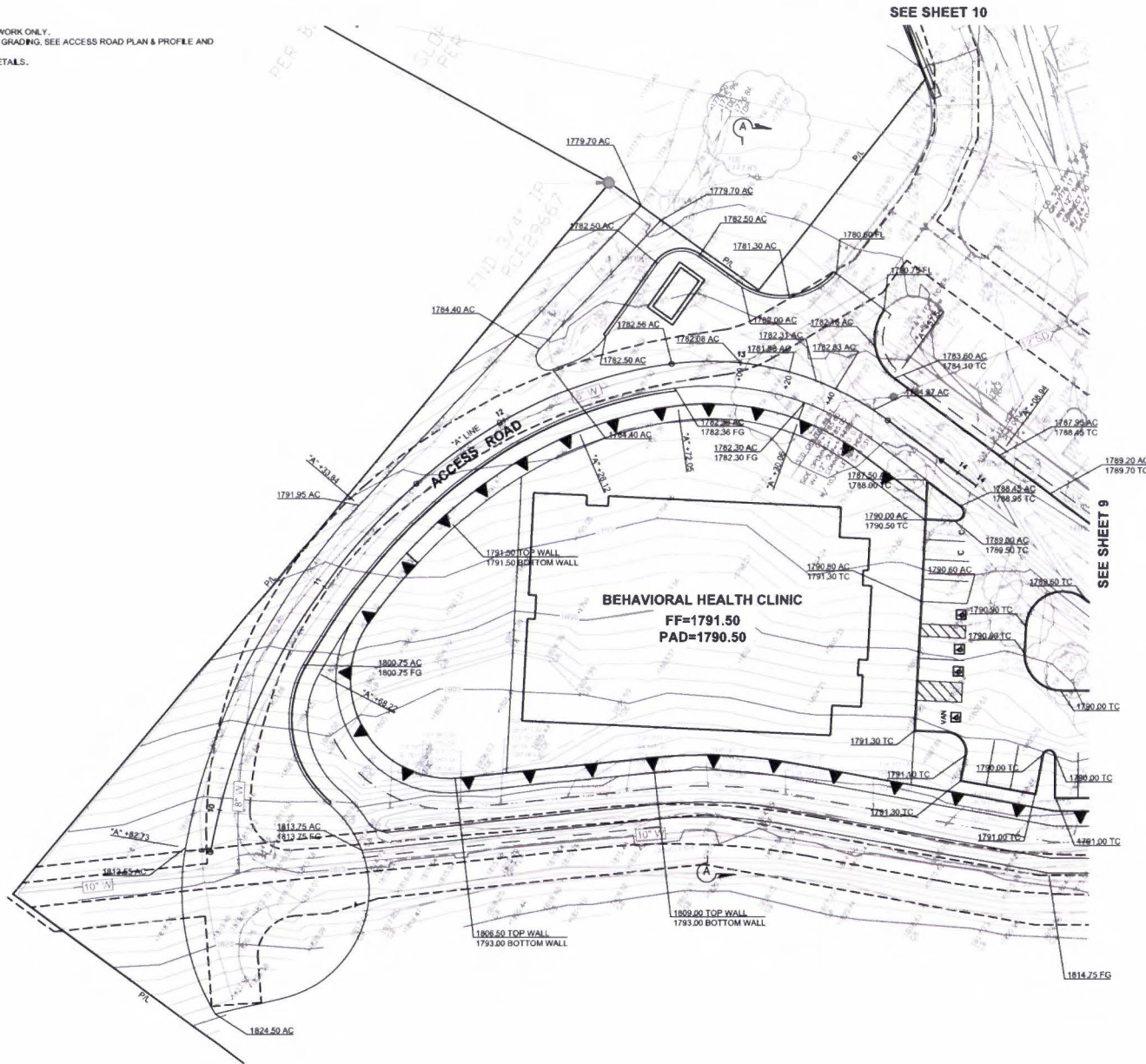
SCALE
HORIZ:
VERT:

DRAWING
C1.4

SHEET
7 OF 18

NOTES

1. THIS PLAN IS ACCURATE FOR GRADING WORK ONLY.
2. FOR ADDITIONAL "A" LINE ACCESS ROAD GRADING, SEE ACCESS ROAD PLAN & PROFILE AND CONSTRUCTION DETAILS.
3. FOR CROSS SECTIONS, SEE GRADING DETAILS.



DATE: 1/20/2026
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**IMPROVEMENT PLANS FOR
 BEHAVIORAL HEALTH CLINIC
 4212 MISSOURI FLAT ROAD, PLACERVILLE, CA 95667
 PRELIMINARY GRADING PLAN**

No.	Revision Description	Date	Approved

CONTRACT
 KAP-4212
 SCALE
 HORIZ: 1" = 20'
 VERT:
 DRAWING
 C2.0
 SHEET
 8 OF 18

DR26-0002

- NOTES**
1. THIS PLAN IS ACCURATE FOR GRADING WORK ONLY.
 2. FOR CROSS SECTIONS, SEE GRADING DETAILS.

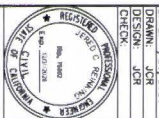
SEE SHEET 8



No.	Revision Description	Date	Approved

CONTRACT: KAP-4212
 SCALE: 1" = 20'
 HORIZ: 1" = 20'
 VERT: C2.1
 DRAWING: C2.1
 SHEET: 9 OF 18

**IMPROVEMENT PLANS FOR
 BEHAVIORAL HEALTH CLINIC**
 4212 MISSOURI FLAT ROAD, PLACERVILLE, CA 95667
PRELIMINARY GRADING PLAN



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NOTES

1. THIS PLAN IS ACCURATE FOR GRADING WORK ONLY.



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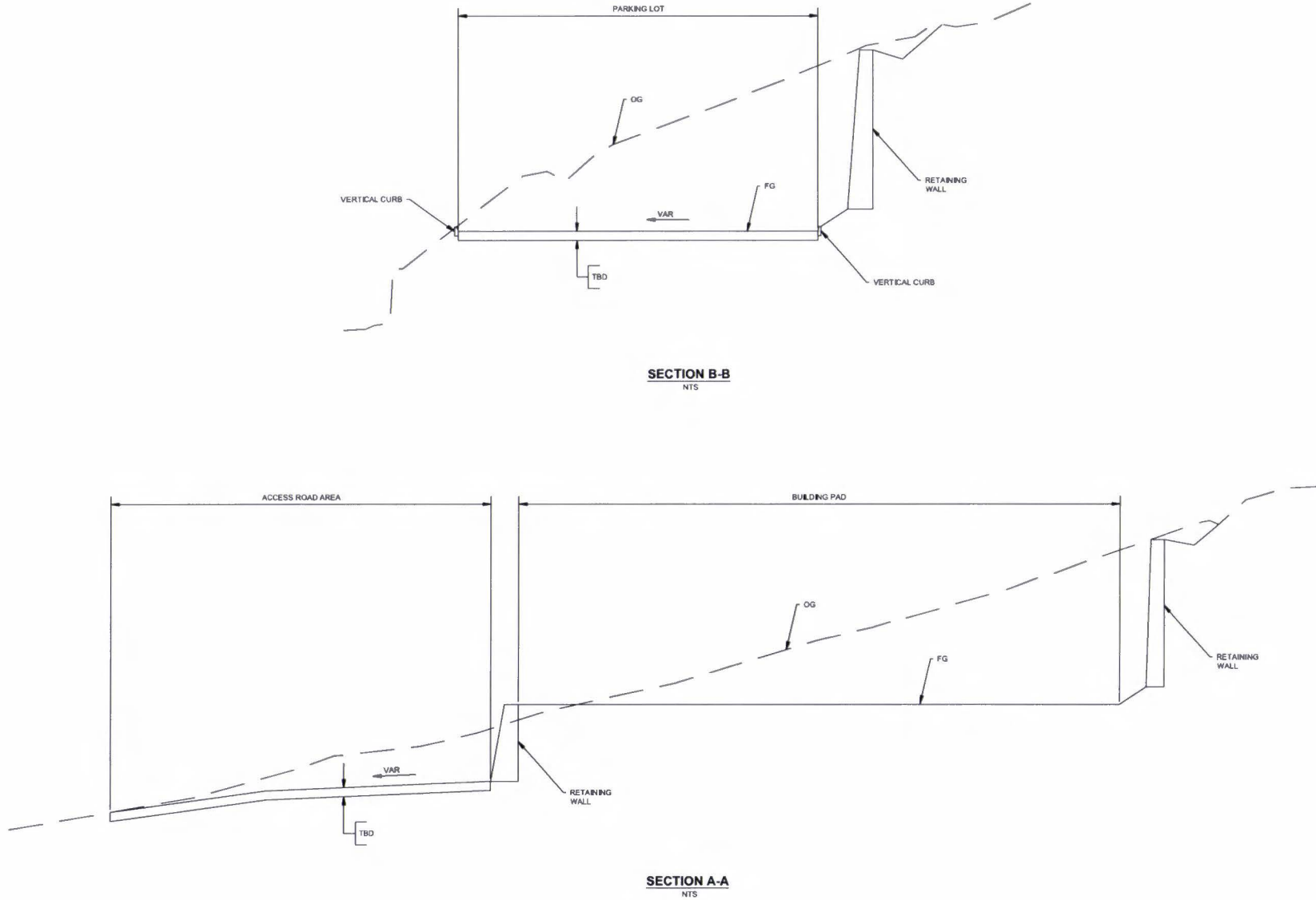
**IMPROVEMENT PLANS FOR
 BEHAVIORAL HEALTH CLINIC
 4212 MISSOURI FLAT ROAD, PLACERVILLE, CA 95667
 PRELIMINARY GRADING PLAN**

No.	Revision Description	Date	Approved

ALL CHANGES TO THE ORIGINAL DESIGN SHALL BE THE RESPONSIBILITY OF THE CLIENT. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION, DATA OR FIELD CONDITIONS.

CONTRACT
 KAP-4212
 SCALE
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 10 OF 18

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SECTION B-B
NTS

SECTION A-A
NTS

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**IMPROVEMENT PLANS FOR
 BEHAVIORAL HEALTH CLINIC
 4212 MISSOURI FLAT ROAD, PLACERVILLE, CA 95667
 GRADING DETAILS**

No.	Revision Description	Date	Approved

ALL CIVIL AND SITE WORKING DIRECTIONS, DIMENSIONS, AND DETAILS ON THIS DRAWING SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.

CONTRACT
KAP-4212

SCALE
HORIZ:
VERT:

DRAWING
C2.3

SHEET
11 OF 18

3/19/2026 7 5/23/2022 KAP-4212 Missouri Flat Road_Drainage Plan_1.dwg

NOTES

1. THIS PLAN IS ACCURATE FOR DRAINAGE WORK ONLY.
2. FOR ADDITIONAL HEADWALL STRUCTURE, STORMCHAMBER, DRAINAGE INLET, AND MANHOLE DETAILS, SEE DRAINAGE DETAILS.
3. FOR ADDITIONAL BIODRETENTION FACILITY DETAILS, SEE GRADING PLAN AND GRADING DETAILS.

LEGEND

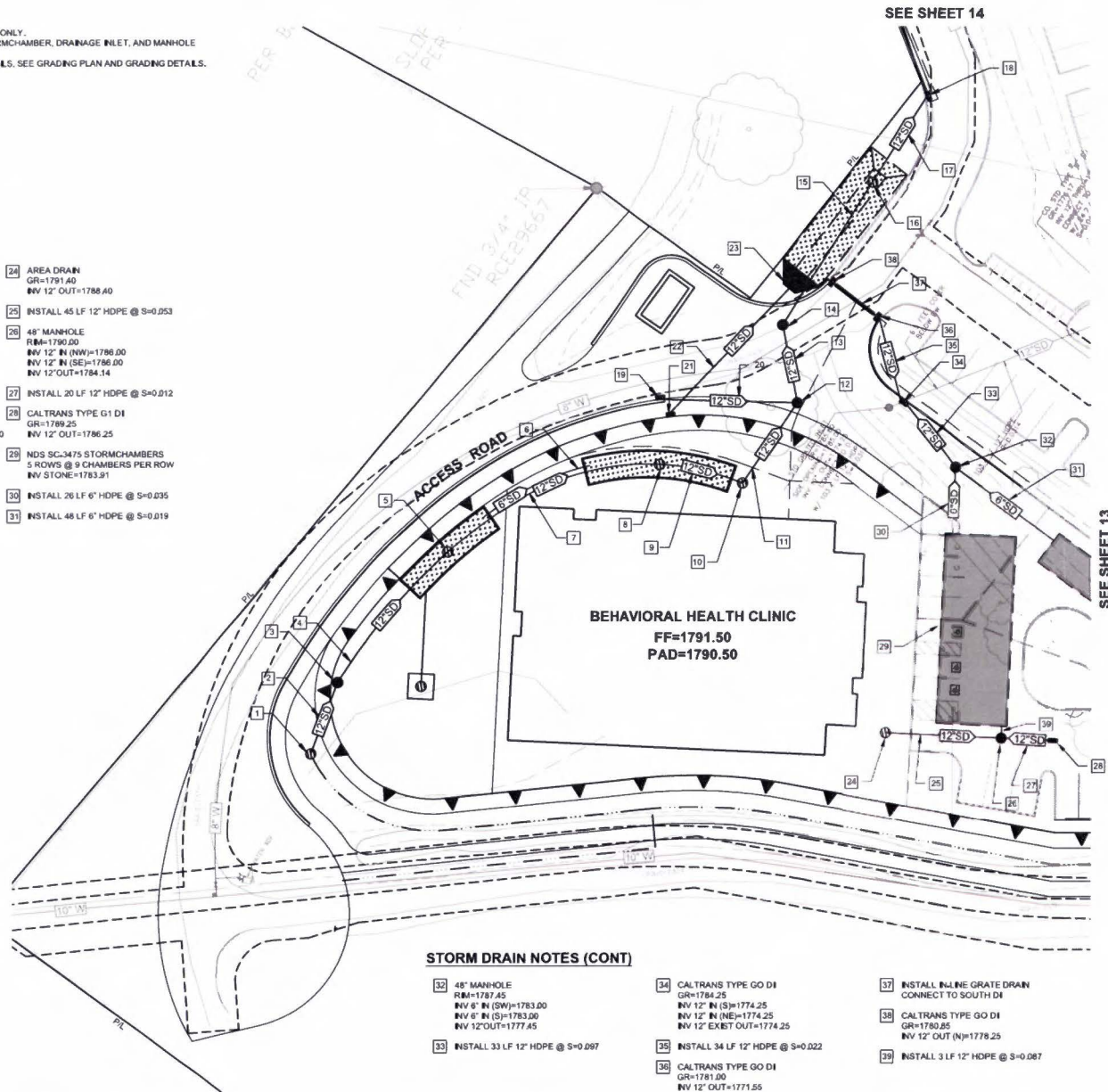
- BIODRETENTION FACILITY
- NDS STORMCHAMBER STORAGE

STORM DRAIN NOTES

- COUNTY STD GRATED INLET
GR=1804.00
SIDE OPENING=1803.40
INV 12" OUT=1787.75
- INSTALL 30 LF 12" HDPE @ S=0.008
- 48" MANHOLE
RM=1791.50
INV 12" THRU=1787.50
- INSTALL 67 LF 12" HDPE @ S=0.025
- COUNTY STD OVERFLOW STRUCTURE
GR=1789.50
INV 12" THRU=1785.83
- INSTALL 46 LF 6" PERFORATED HDPE @ S=0.000
- INSTALL 93 LF 12" HDPE @ S=0.007
- COUNTY STD OVERFLOW STRUCTURE
GR=1789.50
INV 12" THRU=1785.20
- INSTALL 33 LF 12" HDPE @ S=0.196
- AREA DRAIN
GR=1791.35
INV 12" IN=1778.72
INV 12" OUT=1778.72
- INSTALL 38 LF 12" HDPE @ S=0.055
- 48" MANHOLE
RM=1782.34
INV 12" IN (W)=1776.64
INV 12" IN (NW)=1776.64
INV 12" OUT=1776.64
- INSTALL 31 LF 12" HDPE @ S=0.085
- 48" MANHOLE
RM=1782.00
INV 12" IN=1774.00
INV 12" OUT=1774.00
INSTALL 48 LF 12" HDPE @ S=0.011
- INSTALL 65 LF 12" HDPE @ S=0.008
- COUNTY STD OVERFLOW STRUCTURE
GR=1777.00
INV 12" THRU=1773.50
- INSTALL 41 LF 12" HDPE @ S=0.048
- COUNTY STD TYPE 'B' DI
GR=1775.55
INV 12" IN=1771.55
INV 12" OUT=1771.55
- CALTRANS TYPE G0L DI
GR=1782.40
INV 12" OUT=1777.40
- INSTALL 53 LF 12" HDPE @ S=0.014
- CALTRANS TYPE G1 DI
GR=1782.18
INV 12" OUT=1779.68
- INSTALL 70 LF 12" HDPE @ S=0.010
- HEADWALL STRUCTURE
INV 12" OUT=1779.00
- AREA DRAIN
GR=1791.40
INV 12" OUT=1788.40
- INSTALL 45 LF 12" HDPE @ S=0.053
- 48" MANHOLE
RM=1790.00
INV 12" IN (NW)=1786.00
INV 12" IN (SE)=1786.00
INV 12" OUT=1784.14
- INSTALL 20 LF 12" HDPE @ S=0.012
- CALTRANS TYPE G1 DI
GR=1789.25
INV 12" OUT=1786.25
- NDS SC-3475 STORMCHAMBERS
5 ROWS @ 9 CHAMBERS PER ROW
INV STONE=1783.91
- INSTALL 26 LF 6" HDPE @ S=0.035
- INSTALL 48 LF 6" HDPE @ S=0.019

STORM DRAIN NOTES (CONT)

- 48" MANHOLE
RM=1787.45
INV 6" IN (SW)=1783.00
INV 6" IN (S)=1783.00
INV 12" OUT=1777.45
- INSTALL 33 LF 12" HDPE @ S=0.087
- CALTRANS TYPE G0 DI
GR=1784.25
INV 12" IN (S)=1774.25
INV 12" IN (NE)=1774.25
INV 12" EXIST OUT=1774.25
- INSTALL 34 LF 12" HDPE @ S=0.022
- CALTRANS TYPE G0 DI
GR=1781.00
INV 12" OUT=1771.55
- INSTALL IN-LINE GRATE DRAIN
CONNECT TO SOUTH DI
- CALTRANS TYPE G0 DI
GR=1780.85
INV 12" OUT (N)=1778.25
- INSTALL 3 LF 12" HDPE @ S=0.087



SEE SHEET 14

SEE SHEET 13

JLR JLR CML INC.
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 www.jlrcml.com

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**IMPROVEMENT PLANS FOR
 BEHAVIORAL HEALTH CLINIC
 4212 MISSOURI FLAT ROAD, PLACERVILLE, CA 95667
 PRELIMINARY DRAINAGE PLAN**

No.	Revision Description	Date	Approved

CONTRACT
 KAP-4212
 SCALE
 HORIZ: 1" = 20'
 VERT:
 DRAWING
 C3.0
 SHEET
 12 OF 18

DR26-0002

26-0914 B 33 of 52

NOTES

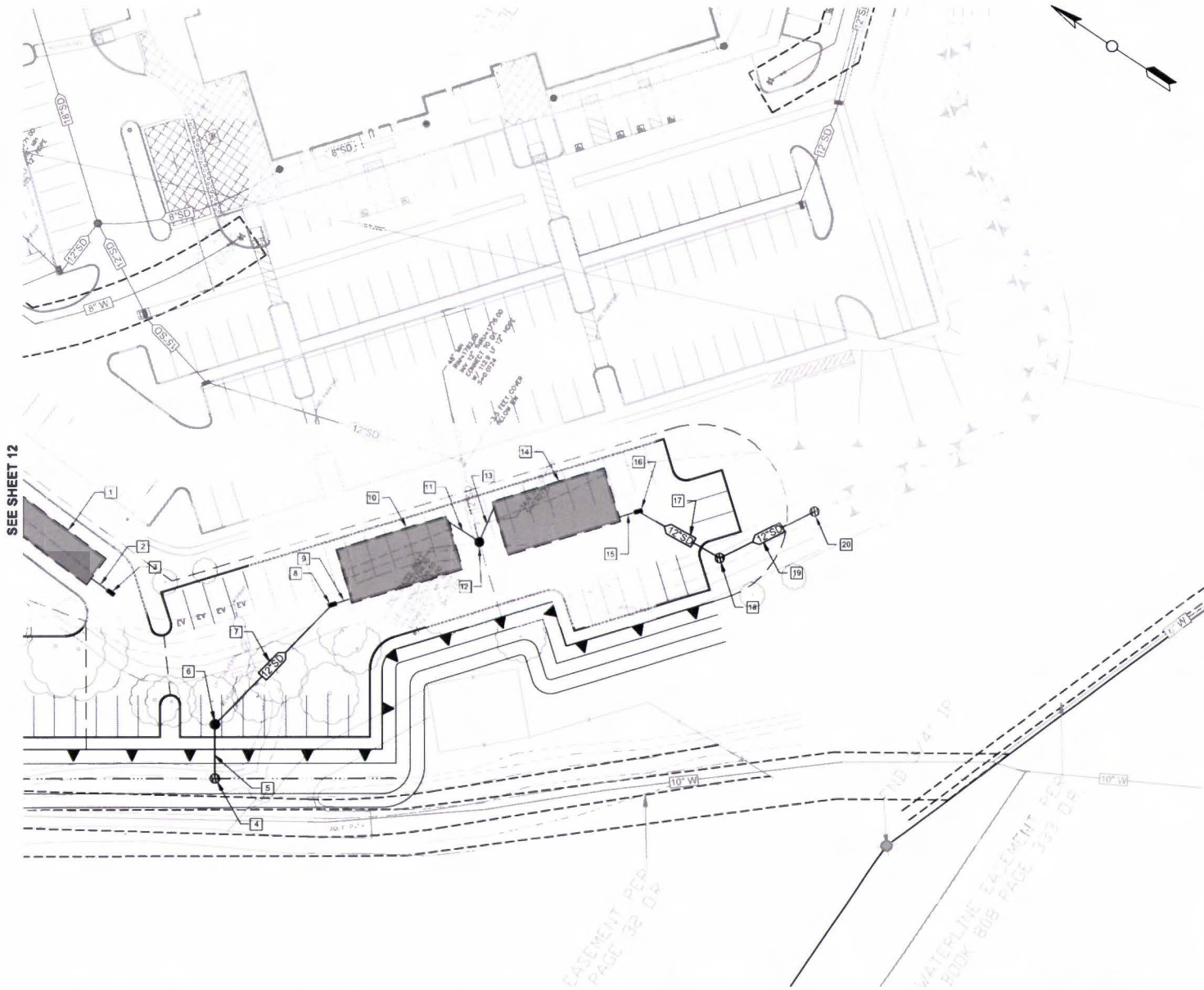
1. THIS PLAN IS ACCURATE FOR DRAINAGE WORK ONLY.
2. FOR ADDITIONAL STORMCHAMBER, DRAINAGE PILEY AND MANHOLE DETAILS, SEE DRAINAGE DETAILS.

LEGEND

■ NDS STORMCHAMBER STORAGE

STORM DRAIN NOTES

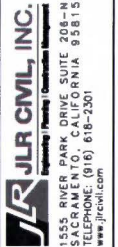
- 1 NDS SC-3475 STORMCHAMBERS
2 ROWS @ 7 CHAMBERS PER ROW
INV STONE=1783.91
- 2 INSTALL 8.5 LF 12" HDPE @ S=0.011
- 3 CALTRANS TYPE G1 D1
GR=1786.75
INV 12" IN=1784.50
- 4 COUNTY STD GRATED INLET
GR=1808.80
SIDE OPENING=1808.00
INV 12" OUT=1788.00
- 5 INSTALL 19 LF 12" HDPE @ S=0.096
- 6 48" MANHOLE
RM=1790.75
INV 12" THRU=1786.75
- 7 INSTALL 70 LF 12" HDPE @ S=0.003
- 8 CALTRANS TYPE G1 D1
GR=1790.54
INV 12" IN=1788.54
INV 12" OUT=1786.54
- 9 INSTALL 7 LF 12" HDPE @ S=0.120
- 10 NDS SC-3475 STORMCHAMBERS
4 ROWS @ 6 CHAMBERS PER ROW
INV STONE=1785.70
- 11 INSTALL 14 LF 6" HDPE @ S=0.050
- 12 48" MANHOLE
RM=1790.80
INV 6" IN (N)=1785.00
INV 6" IN (E)=1785.00
INV 12" EXIST OUT=1785.00
- 13 INSTALL 14 LF 6" HDPE @ S=0.050
- 14 NDS SC-3475 STORMCHAMBERS
4 ROWS @ 5 CHAMBERS PER ROW
INV STONE=1785.70
- 15 INSTALL 7 LF 12" HDPE @ S=0.083
- 16 CALTRANS TYPE G1 D1
GR=1790.58
INV 12" IN=1786.58
INV 12" OUT=1786.58
- 17 INSTALL 38 LF 12" HDPE @ S=0.032
- 18 CALTRANS TYPE GMP D1
GR=1790.80
INV 12" IN=1787.80
INV 12" OUT=1787.80
- 19 INSTALL 42 LF 12" HDPE @ S=0.124
- 20 COUNTY STD GRATED INLET
GR=1799.80
SIDE OPENING=1799.00
INV 12" OUT=1793.00



SEE SHEET 12

EASEMENT PER
PAGE 32 DR

WATERLINE EASEMENT PER
BODY BUB PAGE 302 DR



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**IMPROVEMENT PLANS FOR
BEHAVIORAL HEALTH CLINIC**
4212 MISSOURI FLAT ROAD, PLACERVILLE, CA 95667
PRELIMINARY DRAINAGE PLAN

No.	Revision	Description	Date	Approved

CONTRACT
KAP-4212
SCALE
HORIZ: 1" = 20'
VERT:
DRAWING
C3.1
SHEET
13 OF 18

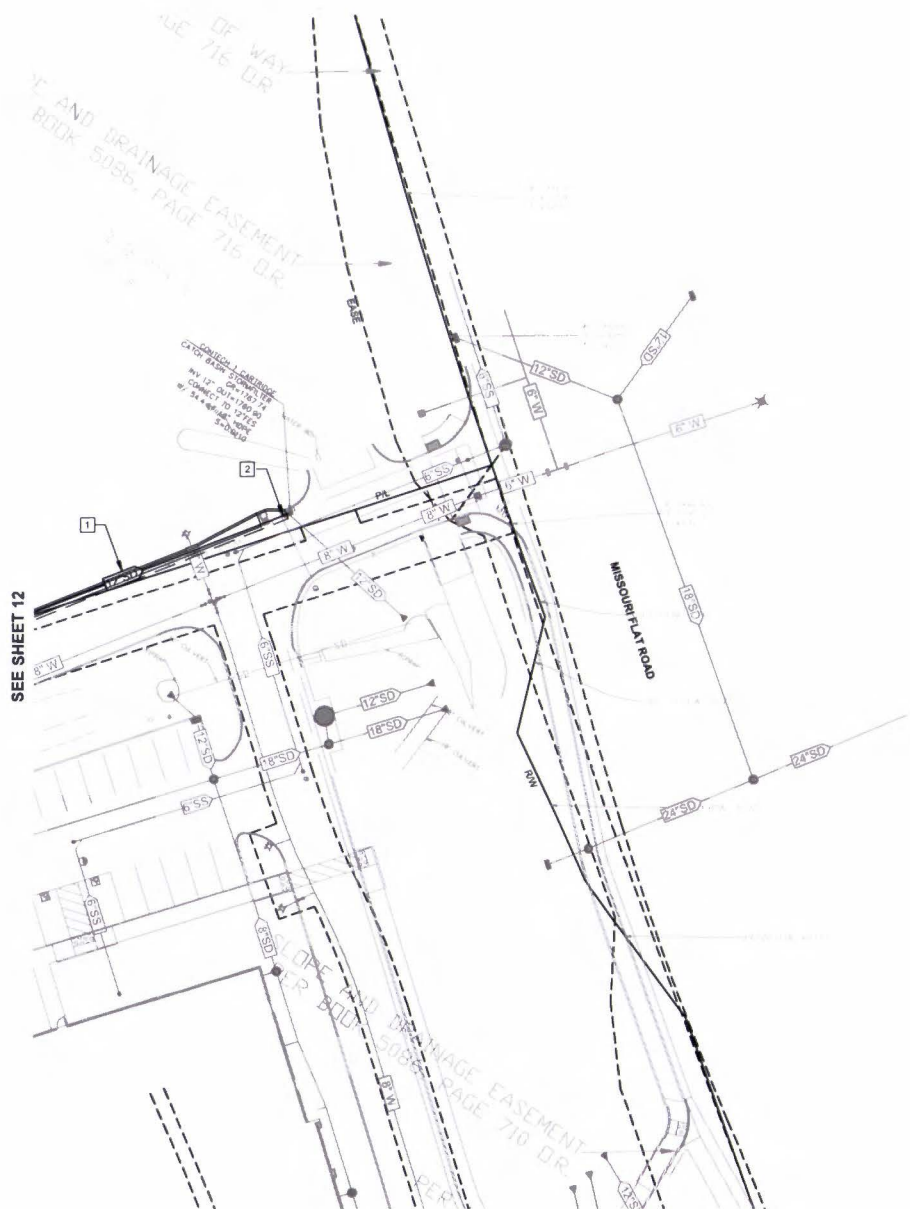
DR26-0002

NOTES

1. THIS PLAN IS ACCURATE FOR DRAINAGE WORK ONLY.

STORM DRAIN NOTES

- 1 INSTALL 124 LF 12" HDPE @ S=0.086
- 2 CONNECT TO EXIST DI



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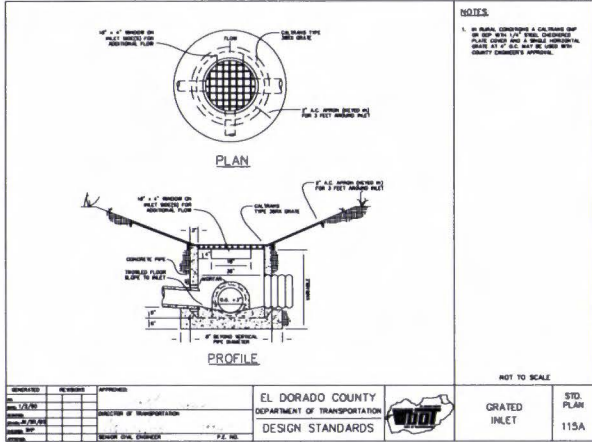
**IMPROVEMENT PLANS FOR
 BEHAVIORAL HEALTH CLINIC
 4212 MISSOURI FLAT ROAD, PLACERVILLE, CA 95667
 PRELIMINARY DRAINAGE PLAN**

No.	Revision Description	Date	Approved

ALL CIVIL ENGINEERING, SURVEYING, AND DESIGN SERVICES ON THIS PROJECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE COMPLETENESS OF THE ELECTRICAL SYMBOLS ON THIS DOCUMENT.

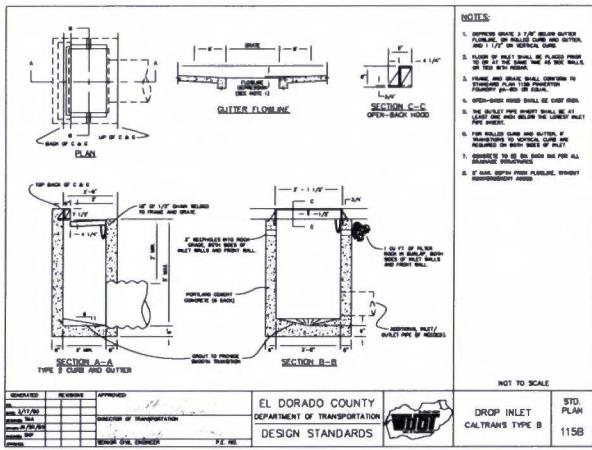
CONTRACT
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 SCALE
 HORIZ: 1" = 20'
 VERT:
 DRAWING
 C3.2
 SHEET
 14 OF 18

DR26-0002



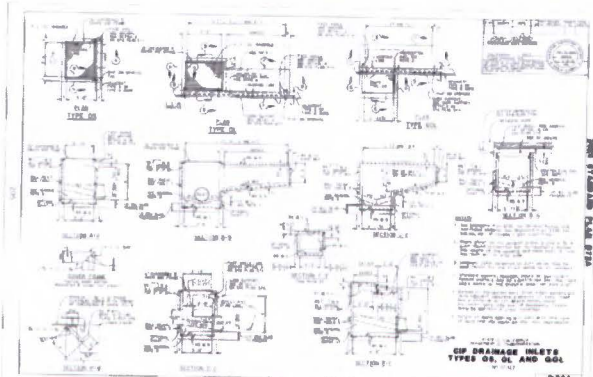
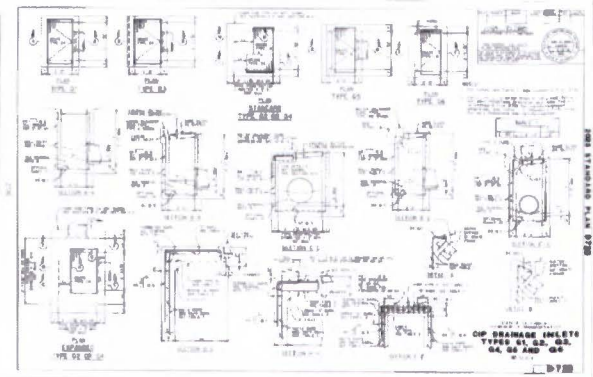
NOTES

1. IN PROFILE, CURB AND CHANNEL TOP TO TOP WITH 1/4" RISE. CHANNELS MUST BE 1/4" DEEP AND 1/4" WIDE. CHANNELS MUST BE 1/4" DEEP AND 1/4" WIDE. CHANNELS MUST BE 1/4" DEEP AND 1/4" WIDE.



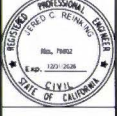
NOTES

1. CURB AND GUTTER SHALL BE 1/4" DEEP AND 1/4" WIDE. CHANNELS MUST BE 1/4" DEEP AND 1/4" WIDE. CHANNELS MUST BE 1/4" DEEP AND 1/4" WIDE.
2. PLAN OF HOOD SHALL BE AS SHOWN IN THIS DRAWING.
3. CURB AND GUTTER SHALL CONFORM TO STANDARD SPECIFICATIONS FOR CALIFORNIA.
4. OPEN-BACK HOOD SHALL BE 1/4" DEEP AND 1/4" WIDE. CHANNELS MUST BE 1/4" DEEP AND 1/4" WIDE.
5. FOR HOLLOW CURB AND GUTTER, ALL DIMENSIONS TO SURFACES OF HOOD SHALL BE AS SHOWN.
6. ALL DIMENSIONS SHALL BE PER ALL STANDARD SPECIFICATIONS.
7. ALL DIMENSIONS SHALL BE PER ALL STANDARD SPECIFICATIONS.



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 www.jlrcivil.com

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**IMPROVEMENT PLANS FOR
 BEHAVIORAL HEALTH CLINIC
 4212 MISSOURI FLAT ROAD, PLACERVILLE, CA 95667
 DRAINAGE DETAILS**

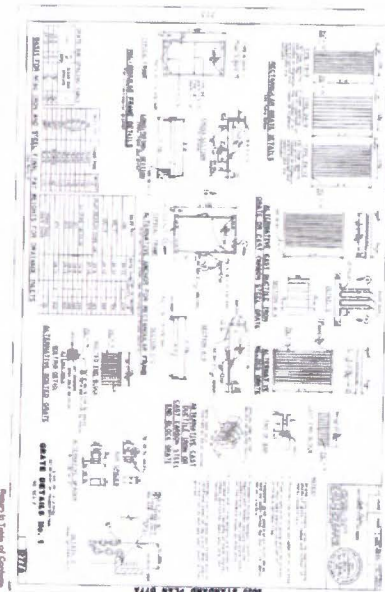
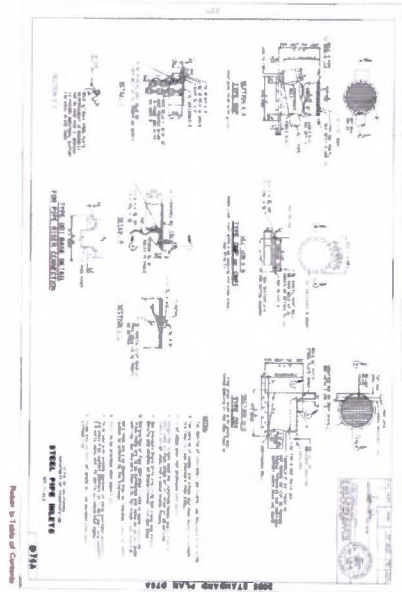
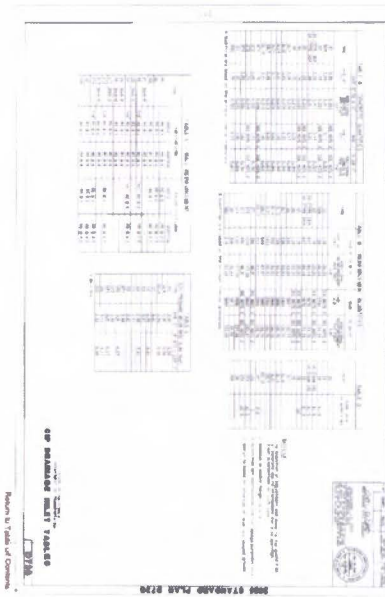
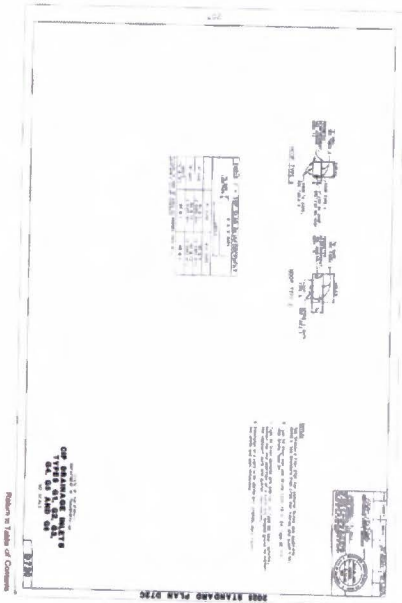
No.	Revision Description	Date	Approved

CONTRACT
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SCALE
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 15 OF 18



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No.	Revision Description	Date	Approved

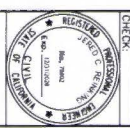
CONTRACT
KAP-4212

SCALE
HORIZ: C3.4
VERT: DRAWING

SHEET
16 OF 18

**IMPROVEMENT PLANS FOR
BEHAVIORAL HEALTH CLINIC**
4212 MISSOURI FLAT ROAD, PLACERVILLE, CA 95667

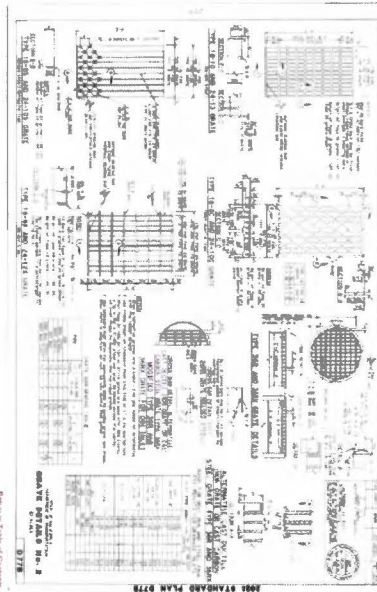
DRAINAGE DETAILS



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Engineering | Planning | Construction Management

DATE: 1/20/2018
DRAWN: JCB
DESIGN: JCB
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C3.5

SHEET
17 OF 18

**IMPROVEMENT PLANS FOR
BEHAVIORAL HEALTH CLINIC**

4212 MISSOURI FLAT ROAD, PLACERVILLE, CA 95667

DRAINAGE DETAILS



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Engineering | Planning | Construction Management

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Client
 Facility
**El Dorado County
 Community Health Center**
 4212 Missouri Flat Road,
 Placerville, CA 95667

Project Name
**BEHAVIORAL
 HEALTH CLINIC**

Submittal
ENTITLEMENT



Revisions

Revision	Description	Date
△		
△		
△		

Approvals

Permit No.:

KAP Job No. 529.00
 Scale: As Noted
 Date: 04/01/2026
 Drawn By: NONO
 Checked By: DONNY

Sheet Name
**ENLARGED SITE PLAN -
 ELECTRICAL**

Sheet Number
E1.2



1 ENLARGED SITE PLAN - ELECTRICAL
 SCALE: 1" = 30'-0"





PLANNING AND BUILDING DEPARTMENT PLANNING DIVISION

2850 Fairlane Court, Placerville, CA 95667

924 B Emerald Bay Road, South Lake Tahoe, CA 96150

Phone: (530) 621-5355 Email: planning@edcgov.us

<https://www.eldoradocounty.ca.gov/Land-Use/Planning-and-Building/Planning-Division>

OAK RESOURCES CODE COMPLIANCE CERTIFICATE

RECEIVED
APR 14 2026
EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT

This Certification is required by the Oak Resources Conservation Ordinance (El Dorado County Code, Title 130, Chapter 130.39).

Assessor's Parcel Number(s) (APNs): 327-213-034-000

Address: 7212 Missouri Flat Road, Placerville, CA 95747

Permit Number or Description (e.g. building/grading permit, discretionary project, other):

Under penalty of perjury, I/we certify the following statement(s) (Check all that apply):

No Oak Woodlands, Individual Native Oak Trees, or Heritage Trees, as defined in Section 130.39.030 (Definitions), have been impacted on the above listed APN(s) within two (2) years prior to the date of this certificate, or will be impacted for the current project.

- Impacts for individual native oak trees means the physical destruction, displacement, or removal of a tree or portions of a tree caused by poisoning, cutting, burning, relocation for transplanting, bulldozing or other mechanical, chemical, or physical means. Impact includes construction or grading within the tree protection zone.
- Impacts for oak woodlands is defined as tree and land clearing associated with land development, including, but not limited to, grading, clearing, or otherwise modifying land for roads, driveways, building pads, landscaping, utility easements, fire-safe clearance, and other development activities.

Yes, Oak Woodlands, Individual Native Oak Trees, or Heritage Trees, as defined in Section 130.39.030 (Definitions), have been impacted (as defined above) on the above listed APN(s) within two (2) years prior to the date of this certificate or will be impacted for the current project.

Oak Resources Technical Report is attached.

Oak tree removal qualifies for exemption(s) under Section 130.39.050 (Exemptions) as documented in writing by a Qualified Professional. Explain on separate attachment.

Oak tree removal was previously permitted by the County. Attach copies of prior permit(s).

No previous oak mitigation was required. Explain on separate attachment.

Date: _____

By: _____

Signature of Property Owner/Authorized Agent

Printed name of Property Owner/Authorized Agent

For County Use Only

Consistent with Chapter 130.39 (Oak Resources Conservation): Yes No

Accepted by Staff (Name): _____ Date: _____

RECEIVED

APR 14 2026

EL DORADO COUNTY
PLANNING AND BUILDING DEPARTMENT



Oak Resource Technical Report

Property Owners: El Dorado Community Health Center

Property Address: 4212 Missouri Flat Rd. Placerville, CA

Assessor Parcel Number: 327-213-034-000

Arborist: Kyle Connally: ISA Certification #WE-13657A

Introduction

I, Kyle Connally, am preparing this report for the El Dorado Community Health Center. Related to their submission of plans to build a Behavioral Health Clinic, I was asked to prepare an Oak Resource Technical Report (ORTR) for El Dorado County. The majority of field inspection work took place on February 10th, 2026.

Background

The portion of this property proposed for development is a moderately forested, immature, oak and pine woodland with a large percentage of blue oak stands with some live oak spread throughout and a small percentage of conifer species as well. There is an old pre-existing driveway running on the borders of the woodland. David Jimenez, the Building Services Manager for El Dorado Community Health Center, met me on site to show me the location and extent of the work being performed for the project.

Methodology

According to the site map and David's understanding of the project 100% of the native oak woodland that exists in the area to be developed will need to be removed for this project to be completed. I used google maps to measure the total acreage of the woodland to be removed and it measures 1.49 acres. I walked the woodland to observe the condition of the trees and what percentage of this area was unprotected pine or open space and therefore should not be considered as requiring mitigation. I assessed 10% of the total mapped area was open space or conifer species and this lowers the total acreage requiring mitigation to 1.35 acres. The

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ascendanttree@gmail.com

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woodland is generally healthy and I did not observe large dead trees or large areas of predominantly dead trees. The woodland contains some open grassland as well as areas with heavy understory populations of manzanita and toyon. I did not observe any heritage oaks in the area to be developed.

Results

The mitigation ratios outlined in Table 3 of the county's ORMP requires that when removing 75-100% of a woodland the mitigation ratio is set at 2:1. The cost of mitigation per acre is \$8285, at a 2:1 ratio it becomes \$16,570 per acre. For removing 100% of 1.35 acres of native oak woodland the "in lieu fee" for this project comes out to \$22,369.50.

Other Considerations

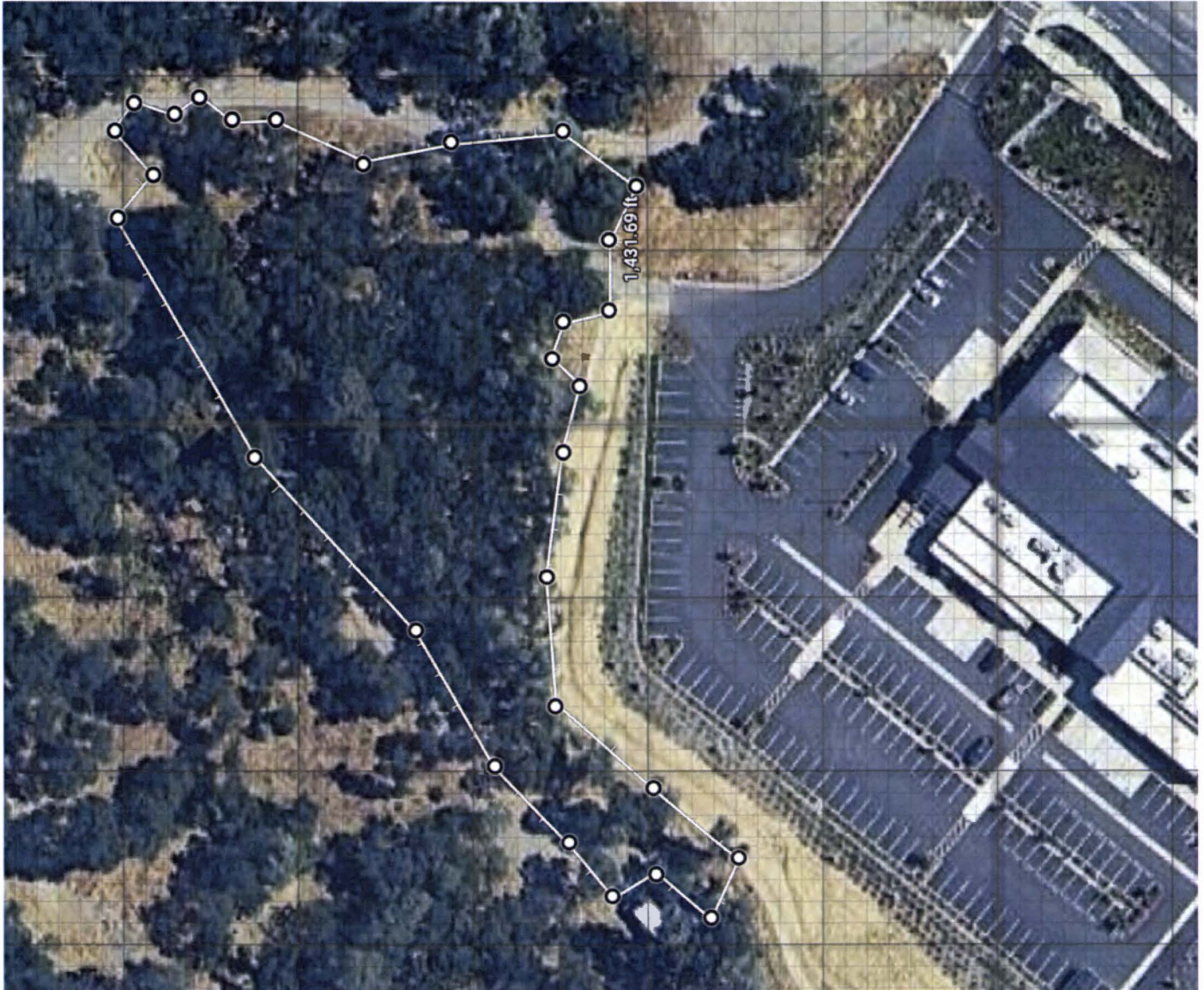
Related to construction activities: it is critical to the future health of the remaining trees that the industry standard practices be followed as described in *ANSI A300 Part 5- Management of Trees During Construction*. However, for this particular project, all native oak resources in the vicinity of construction activity are being removed and as such there are no practices specific to tree health that need to be observed.

Respectfully submitted,
Kyle Connally
530 966 3337
ascendanttree@gmail.com

International Society of Arboriculture;
Certified Arborist # WE-13657A
Qualified Tree Risk Assessor

Attachment

Boundaries of Oak Woodland requiring mitigation.



Kyle Connally • *Ascendant Tree- Arborist Division*

Attachment

View of woodland from NE corner, looking due West.



Kyle Connally • *Ascendant Tree- Arborist Division*

Attachment

Some of the conifers on site, Westernmost boundary of woodland, adjacent to road.



Kyle Connally • *Ascendant Tree- Arborist Division*

Attachment

Oak woodland looking due East, blue oaks with several foothill pines.



Kyle Connally • *Ascendant Tree- Arborist Division*

Attachment

Existing driveway that defines western edge of project looking due SE.



Kyle Connally • *Ascendant Tree- Arborist Division*

Attachment

View from NW corner of woodland looking SE, blue oaks and live oaks.



Kyle Connally • *Ascendant Tree- Arborist Division*