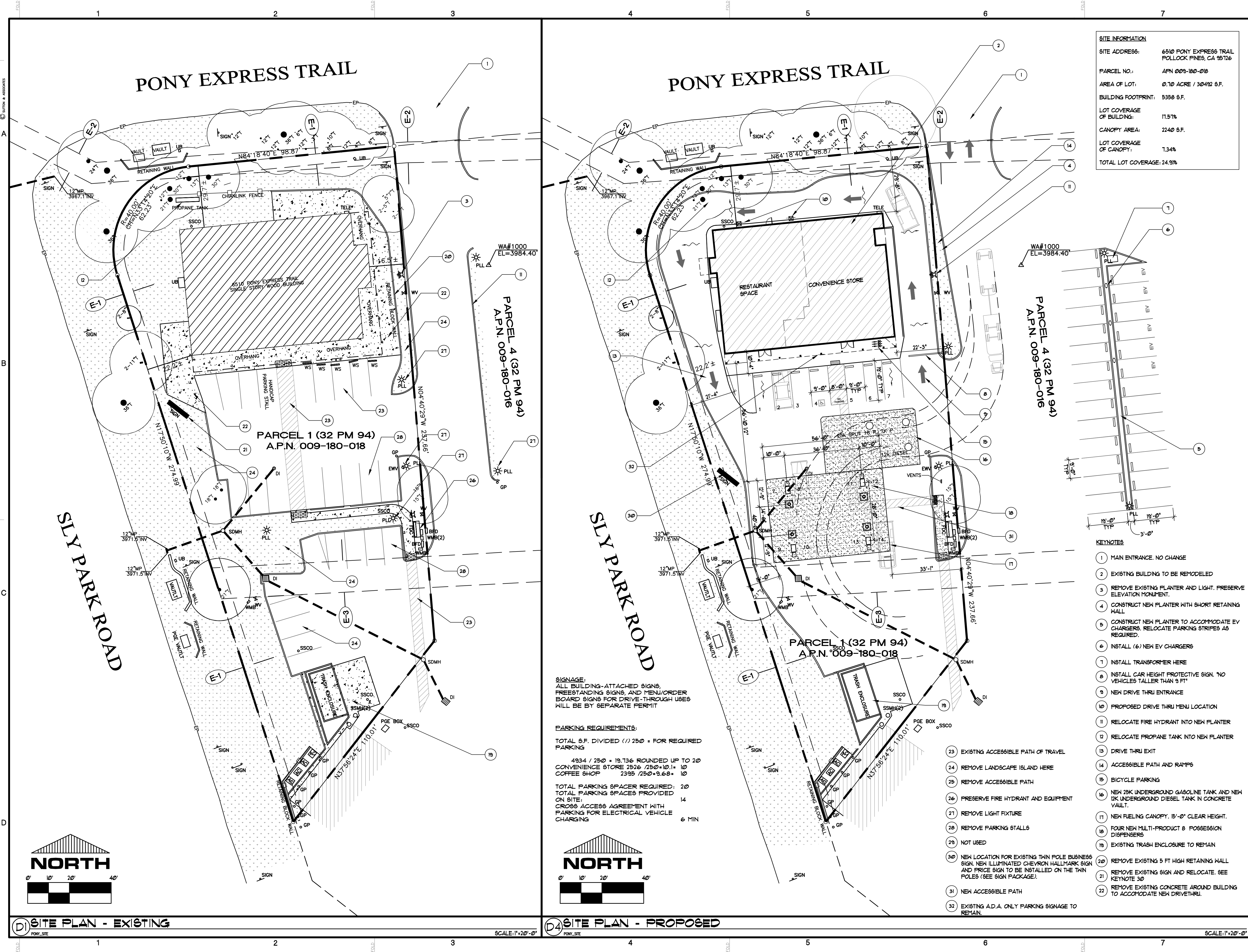




SITE INFORMATION	
SITE ADDRESS:	6510 PONY EXPRESS TRAIL POLLOCK PINES, CA 95726
PARCEL NO.:	APN 009-180-018
AREA OF LOT:	0.10 ACRE / 30492 S.F.
BUILDING FOOTPRINT:	5358 S.F.
LOT COVERAGE OF BUILDING:	17.57%
CANOPY AREA:	2240 S.F.
LOT COVERAGE OF CANOPY:	7.34%
TOTAL LOT COVERAGE:	24.91%

SUTTON & ASSOCIATES, INC.
ENVIRONMENTAL DESIGN PLANNING

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PHONE (916) 476-3911
suttonarch@yahoo.com

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PONY EXPRESS TRAIL

6510 PONY EXPRESS TRAIL
POLLOCK PINES, CA 95726

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CONTACT: STEVE SUTTON

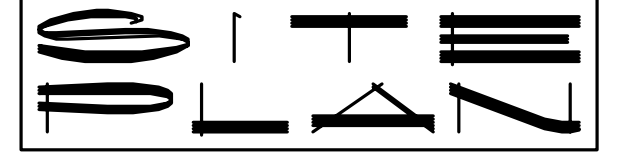
REVISION		BY
1	3/25/2025 DRS-0003 (EL DORADO COUNTY PLANNING)	DER

DATE:	SEPTEMBER 20, 2024
DRAWN BY:	SDS
JOB NO:	2435

SHEET

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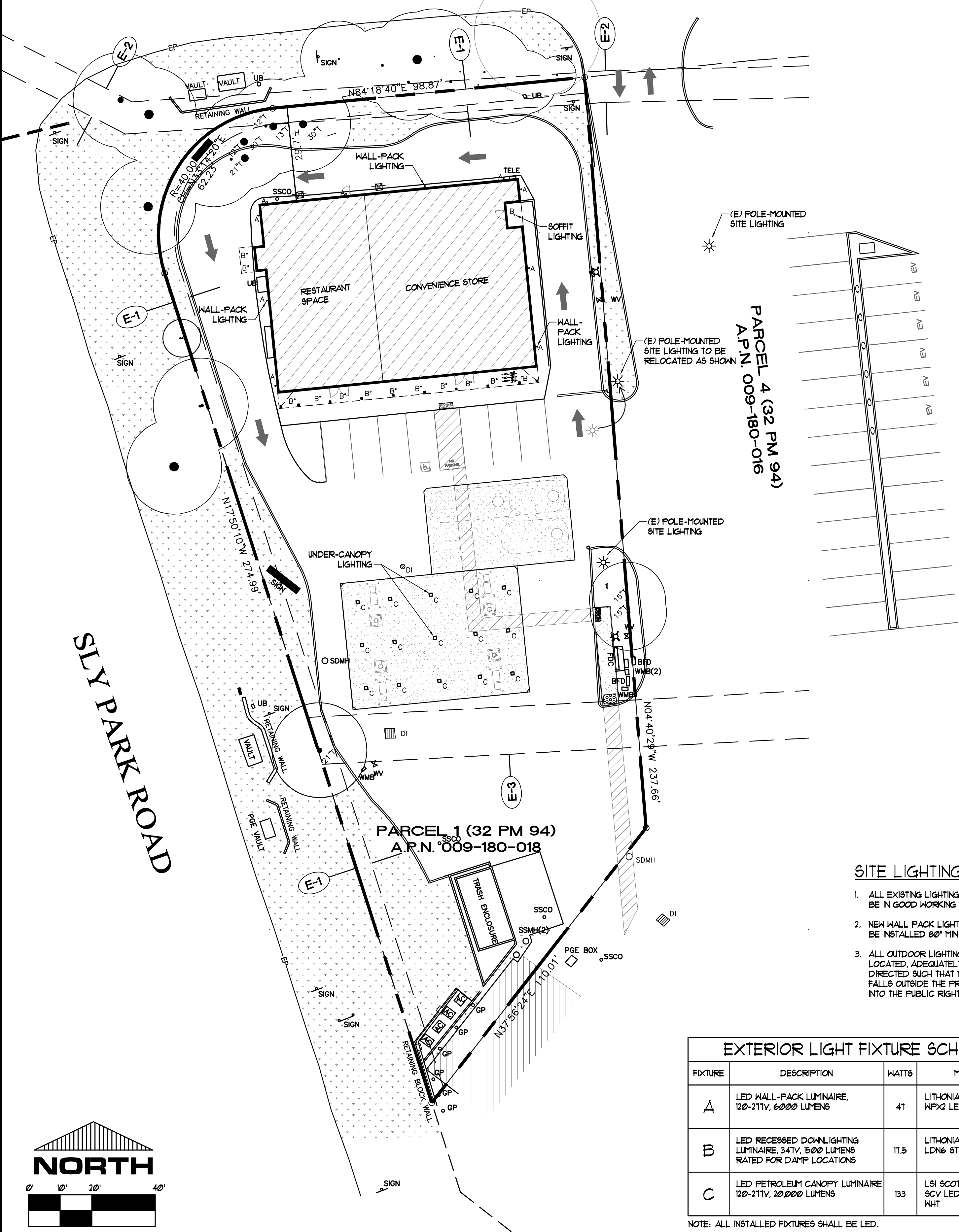
- KEYNOTES
- 1 MAIN ENTRANCE. NO CHANGE
 - 2 EXISTING BUILDING TO BE REMODELED
 - 3 REMOVE EXISTING PLANTER AND LIGHT. PRESERVE ELEVATION MONUMENT
 - 4 CONSTRUCT NEW PLANTER WITH SHORT RETAINING WALL
 - 5 CONSTRUCT NEW PLANTER TO ACCOMMODATE EV CHARGERS. RELOCATE PARKING STRIPES AS REQUIRED.
 - 6 INSTALL (6) NEW EV CHARGERS
 - 7 INSTALL TRANSFORMER HERE
 - 8 INSTALL CAR HEIGHT PROTECTIVE SIGN. "NO VEHICLES TALLER THAN 9 FT"
 - 9 NEW DRIVE THRU ENTRANCE
 - 10 PROPOSED DRIVE THRU MENU LOCATION
 - 11 RELOCATE FIRE HYDRANT INTO NEW PLANTER
 - 12 RELOCATE PROPANE TANK INTO NEW PLANTER
 - 13 DRIVE THRU EXIT
 - 14 ACCESSIBLE PATH AND RAMPS
 - 15 BICYCLE PARKING
 - 16 NEW 25K UNDERGROUND GASOLINE TANK AND NEW 15K UNDERGROUND DIESEL TANK IN CONCRETE VAULT.
 - 17 NEW FUELING CANOPY. 15'-0" CLEAR HEIGHT.
 - 18 FOUR NEW MULTI-PRODUCT 8 POSSESSION DISPENSERS
 - 19 EXISTING TRASH ENCLOSURE TO REMAIN
 - 20 REMOVE EXISTING 5 FT HIGH RETAINING WALL
 - 21 REMOVE EXISTING SIGN AND RELOCATE. SEE KEYNOTE 30
 - 22 REMOVE EXISTING CONCRETE AROUND BUILDING TO ACCOMMODATE NEW DRIVE THRU.
- 23 EXISTING ACCESSIBLE PATH OF TRAVEL
 - 24 REMOVE LANDSCAPE ISLAND HERE
 - 25 REMOVE ACCESSIBLE PATH
 - 26 PRESERVE FIRE HYDRANT AND EQUIPMENT
 - 27 REMOVE LIGHT FIXTURE
 - 28 REMOVE PARKING STALLS
 - 29 NOT USED
 - 30 NEW LOCATION FOR EXISTING THIN POLE BUSINESS SIGN. NEW ILLUMINATED CHEVRON HALLMARK SIGN AND PRICE SIGN TO BE INSTALLED ON THE THIN POLES (SEE SIGN PACKAGE).
 - 31 NEW ACCESSIBLE PATH
 - 32 EXISTING A.D.A. ONLY PARKING SIGNAGE TO REMAIN.

SIGNAGE:
ALL BUILDING-ATTACHED SIGNS,
FREESTANDING SIGNS, AND MENU/ORDER
BOARD SIGNS FOR DRIVE-THROUGH USES
WILL BE BY SEPARATE PERMIT

PARKING REQUIREMENTS:
TOTAL S.F. DIVIDED (//) 250 = FOR REQUIRED PARKING
 $4934 / 250 = 19.736$ ROUNDED UP TO 20
CONVENIENCE STORE 2526 / 250 = 10.11 10
COFFEE SHOP 2395 / 250 = 9.58 10
TOTAL PARKING SPACES REQUIRED: 20
TOTAL PARKING SPACES PROVIDED ON SITE: 14
CROSS ACCESS AGREEMENT WITH PARKING FOR ELECTRICAL VEHICLE CHARGING 6 MIN

PONY EXPRESS TRAIL

SLY PARK ROAD



SITE LIGHTING NOTES

1. ALL EXISTING LIGHTING TO BE VERIFIED TO BE IN GOOD WORKING ORDER.
2. NEW WALL PACK LIGHT FIXTURES SHALL BE INSTALLED 80" MIN ABOVE SIDEWALKS.
3. ALL OUTDOOR LIGHTING SHALL BE LOCATED, ADEQUATELY SHIELDED, AND DIRECTED SUCH THAT NO DIRECT LIGHT FALLS OUTSIDE THE PROPERTY LINE OR INTO THE PUBLIC RIGHT-OF-WAY.

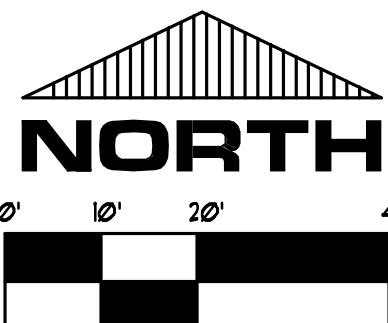
PARCEL 4 (32 PM 94)
A.P.N. 009-180-016

PARCEL 1 (32 PM 94)
A.P.N. 009-180-018

EXTERIOR LIGHT FIXTURE SCHEDULE

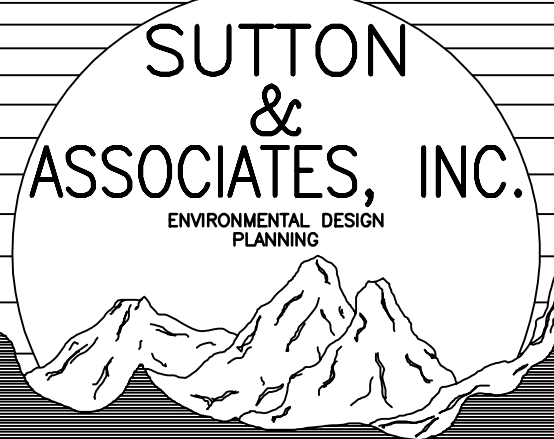
FIXTURE	DESCRIPTION	WATTS	MFR / MODEL
A	LED WALL-PACK LUMINAIRE, 120-21TV, 6000 LUMENS	41	LITHONIA LIGHTING / WFX2 LED
B	LED RECESSED DOWNLIGHTING LUMINAIRE, 34TV, 1500 LUMENS RATED FOR DAMP LOCATIONS	11.5	LITHONIA LIGHTING / LDN6 STATIC WHITE LED
C	LED PETROLEUM CANOPY LUMINAIRE 120-21TV, 20,000 LUMENS	133	LSI SCOTTSDALE VERTEX / SCV LED 20L 9C UNV DIM 50 WHI

NOTE: ALL INSTALLED FIXTURES SHALL BE LED.



D4 SITE LIGHTING PLAN

SCALE: 1"=20'-0"



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CONTACT: STEVE SUTTON

REVISION	BY
1 3/25/2025 DER-0003 (EL DORADO COUNTY PLANNING)	DER

DATE: MARCH 26, 2025
DRAWN BY: DER
JOB NO: 2435

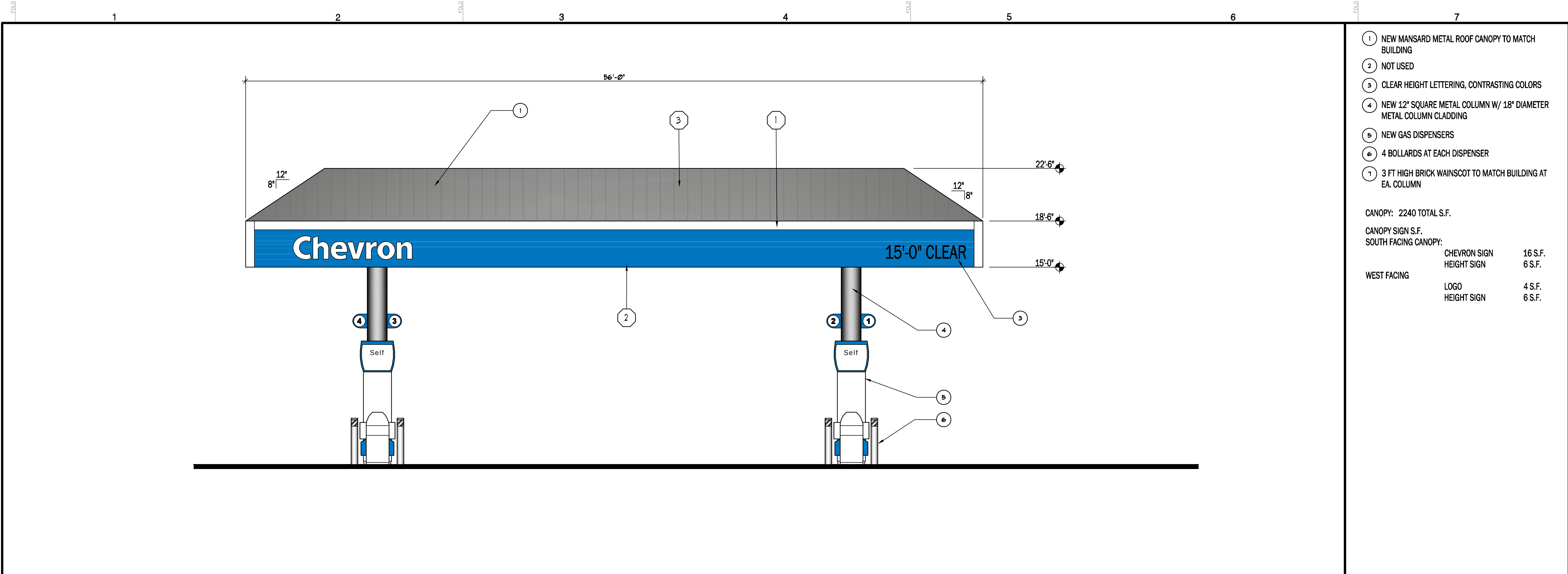
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OF _____ SHEETS

LIGHTING PLAN

SCALE: N/A

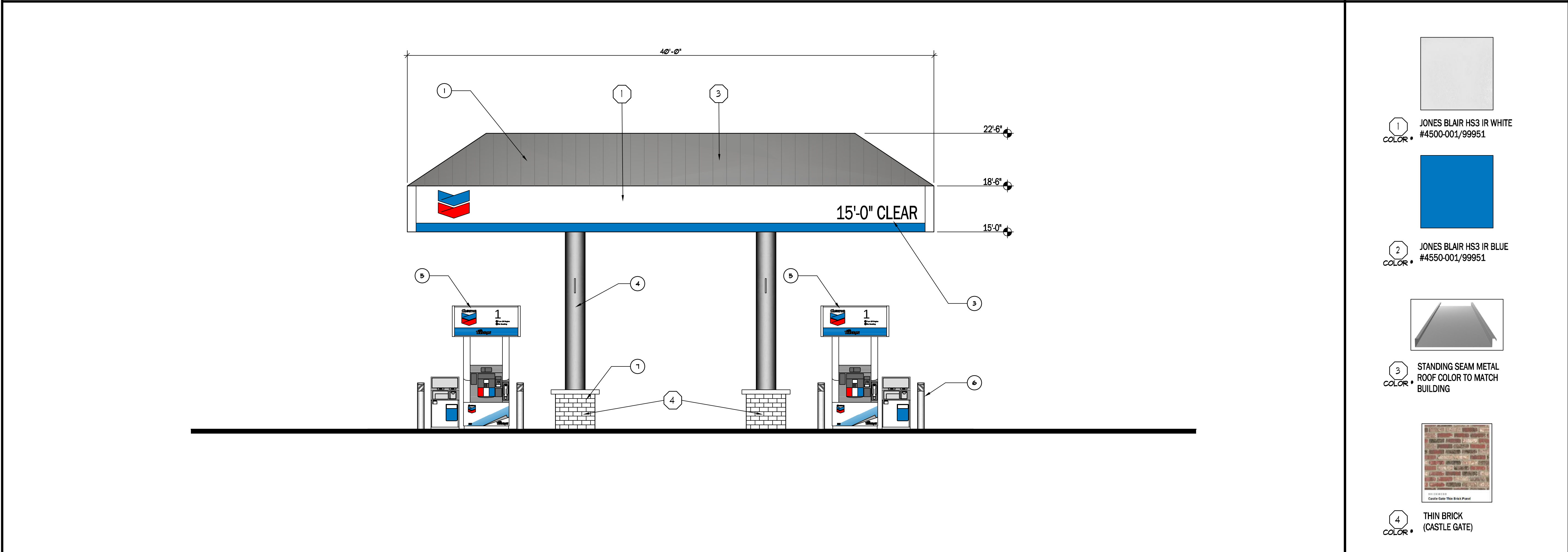


CANOPY PLAN



B) NORTH AND SOUTH CANOPY ELEVATIONS

B) CANOPY KEYNOTES



D) EAST AND WEST CANOPY ELEVATION

D) CANOPY COLORS

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PONY EXPRESS STATION

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POLLOCK PINES, CA 95725

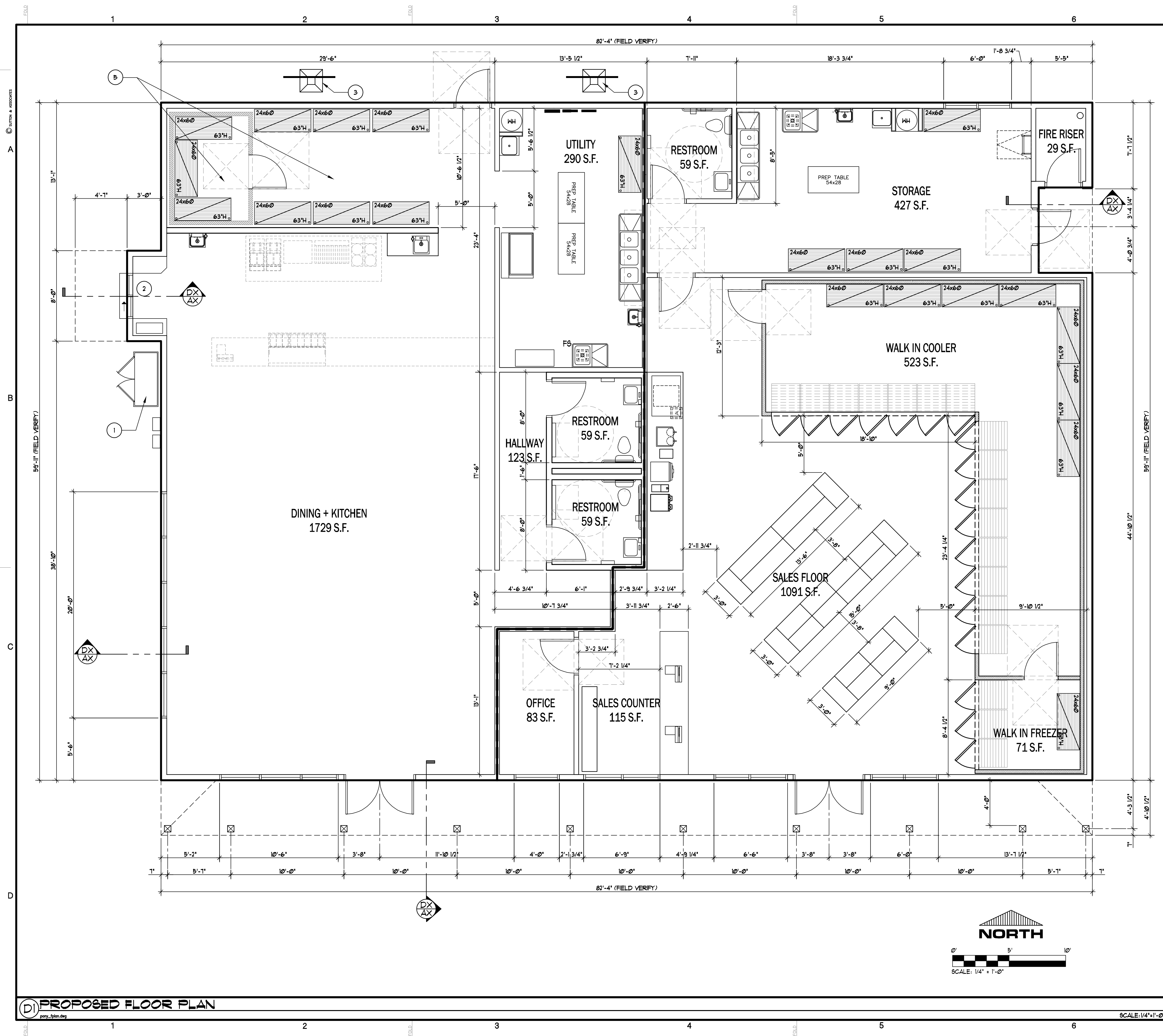
AGENT: SUTTON & ASSOCIATES, INC.
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CANOPY
ELEVATIONS



PROPOSED FLOOR PLAN SUMMARY

THIS FLOOR PLAN DIVIDES AN EXISTING BUILDING TO HOUSE BOTH A CONVENIENCE STORE AND RESTAURANT WITH AN OPTIONAL DRIVE-THRU. THIS FLOOR PLAN IS NOT FINAL AND REQUIRES OWNER INPUT. THE RESTAURANT SPACE IS DESIGNED TO BE FLEXIBLE AND ACCOMMODATE A VARIETY OF RESTAURANT LAYOUTS. SQUARE FOOTAGES LISTED ON THIS PLAN REFLECT AREAS WITHIN WALLS.

1. EXISTING ELECTRICAL EQUIPMENT
2. PROPOSED DRIVE-THRU WINDOW LOCATION
3. PROPOSED LED DRIVE-THRU SIGN LOCATIONS
4. NOT USED
5. PLAUSIBLE RESTAURANT STORAGE. LAYOUT TO BE DETERMINED BY NEW TENANT. SQUARE FOOTAGE INTENTIONALLY NOT LISTED.

ROOM AREAS
NOTE: AREAS REFLECT SPACE WITHIN INTERIOR WALLS.

STARBUCKS ROOM AREAS

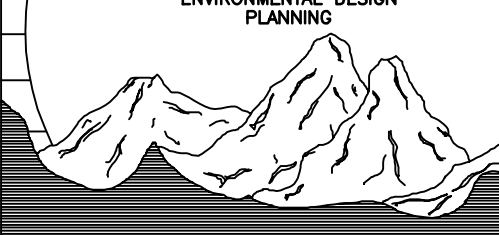
DINING + KITCHEN	1729 S.F.	
HALLWAY	123 S.F.	
RESTROOM	59 S.F.	
RESTROOM	59 S.F.	
UTILITY	290 S.F.	
TOTAL	2260 S.F.	2395 S.F.

CONVENIENCE STORE AREAS

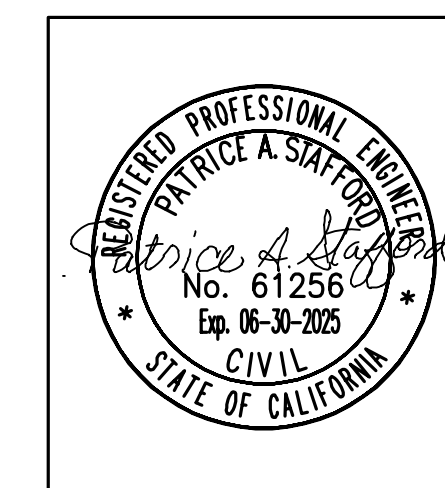
SALES COUNTER	115 S.F.	
SALES FLOOR	1019 S.F.	
WALK-IN COOLER	523 S.F.	
WALK-IN FREEZER	71 S.F.	
STORAGE	421 S.F.	
RESTROOM	59 S.F.	
OFFICE	83 S.F.	
FIRE RISER	29 S.F. NOT IN S.F.	
TOTAL	2291 S.F.	2533 S.F.

B1 FLOOR PLAN NOTES
PONY_FPLAN.DWG SC

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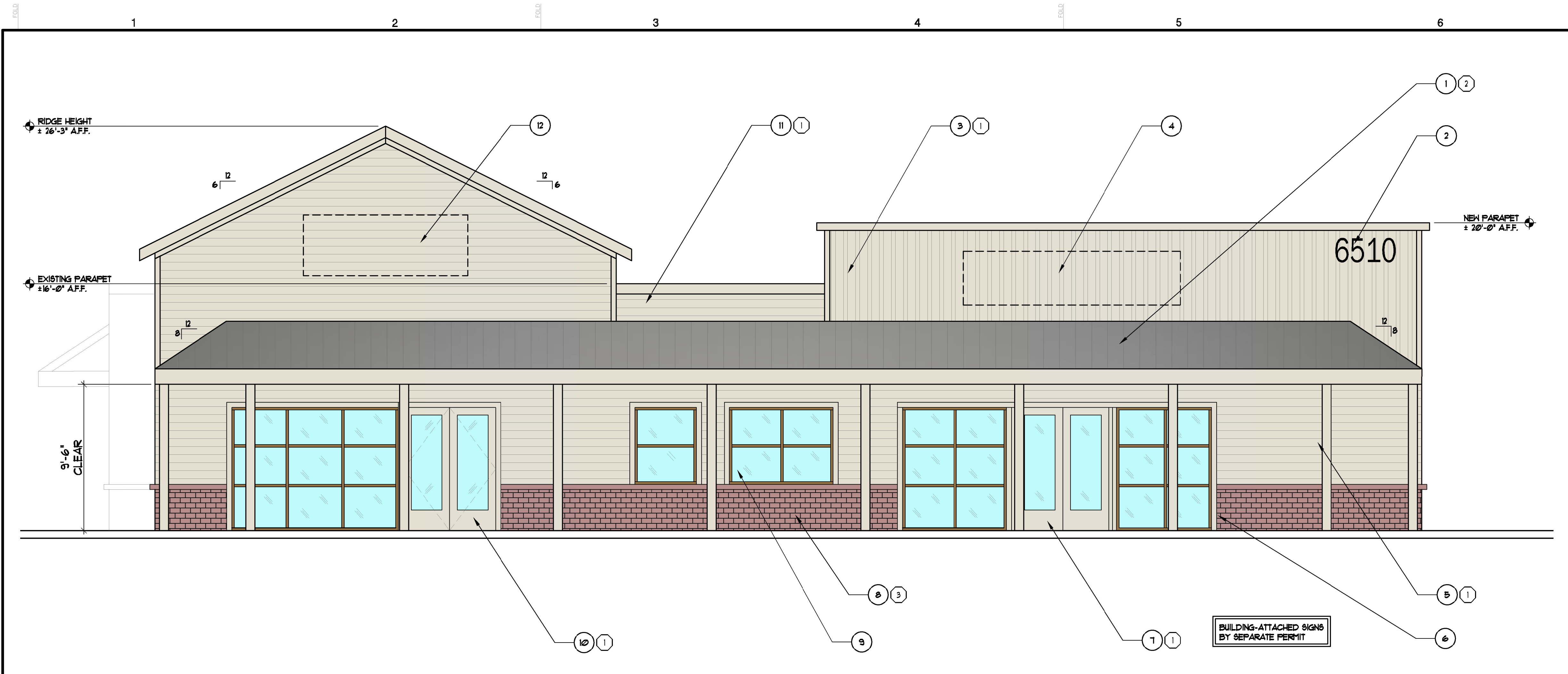
PHONE: (916) 416-3911 FAX: (916) 416-3825
CONTACT: STEVE SUTTON

[illegible]

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JOB NO:	2435

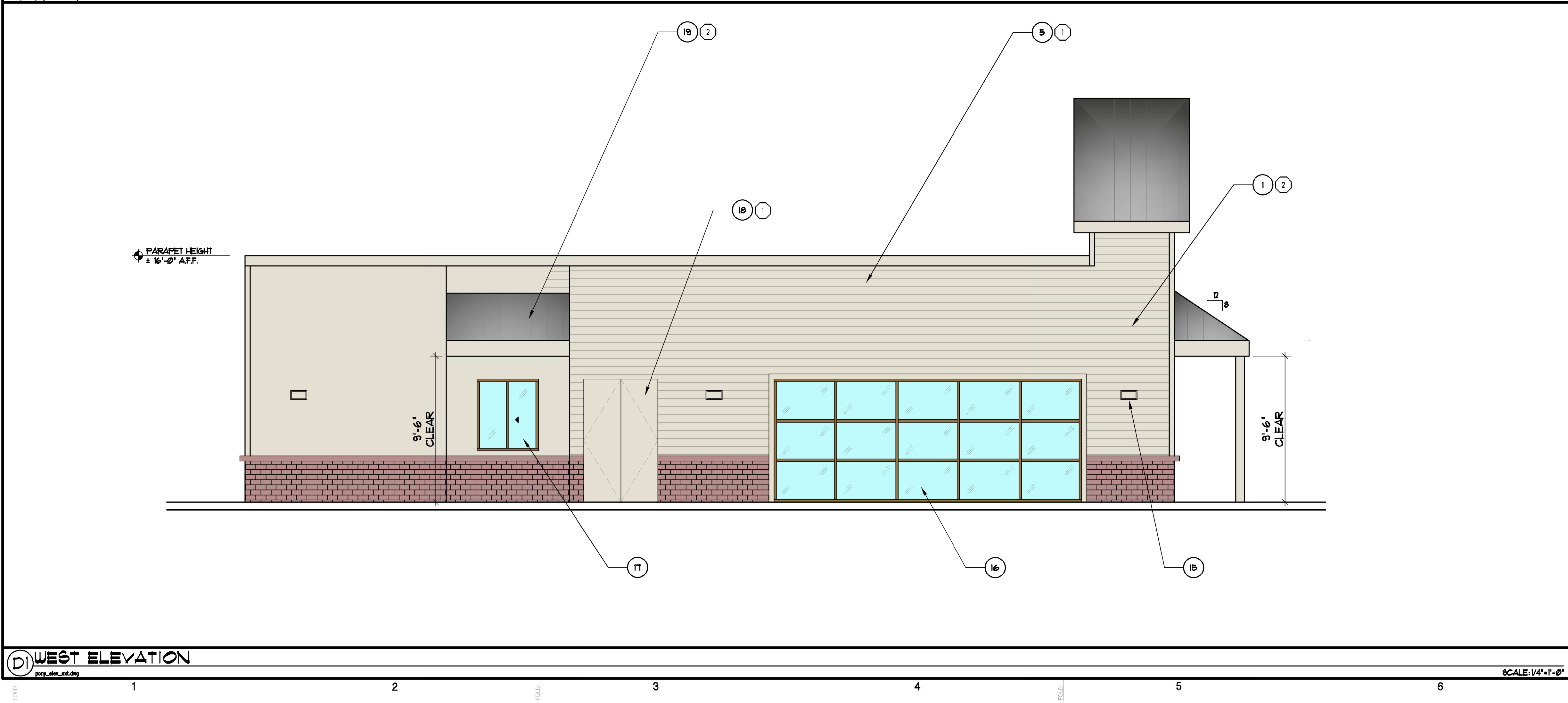
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PROPOSED FLOOR PLAN

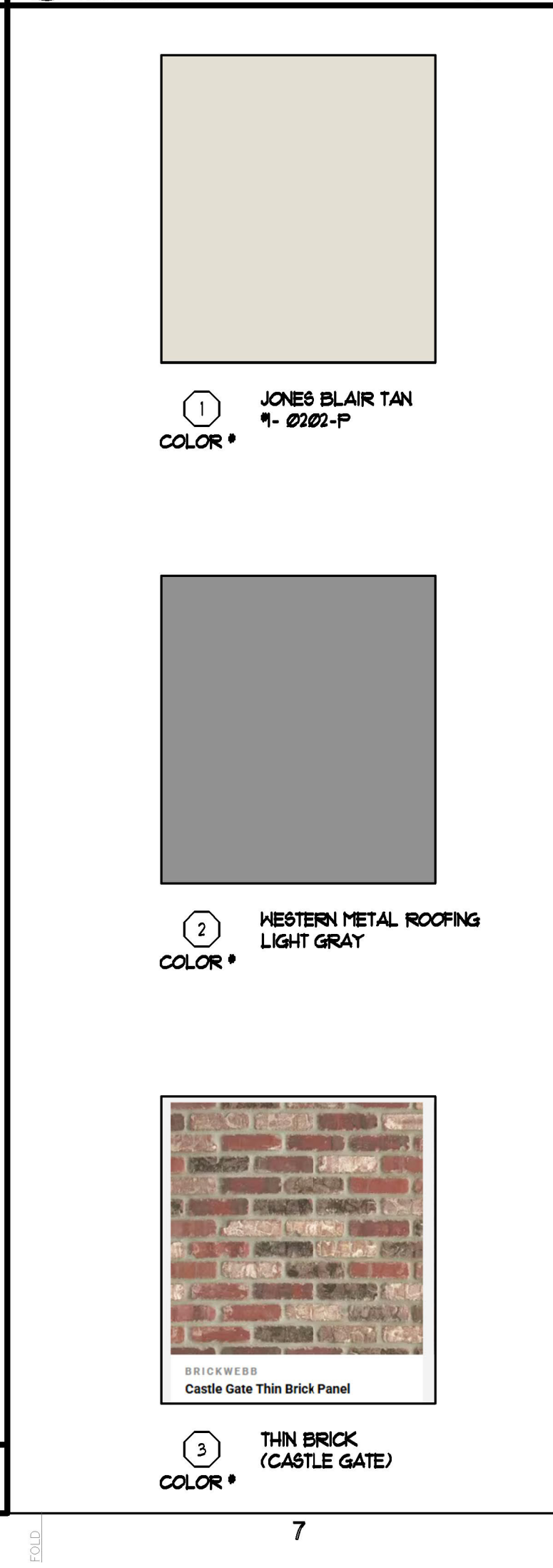


(B) SOUTH ELEVATION

(B) ELEVATION KEYNOTES

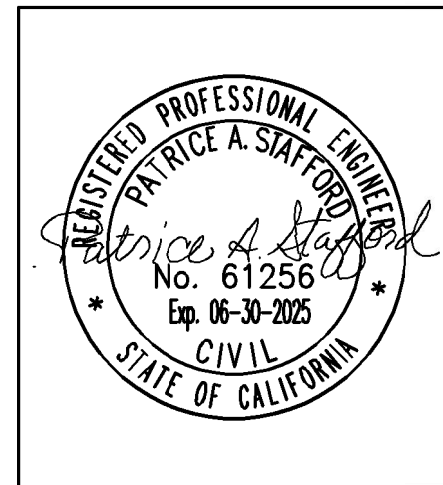


(D) WEST ELEVATION



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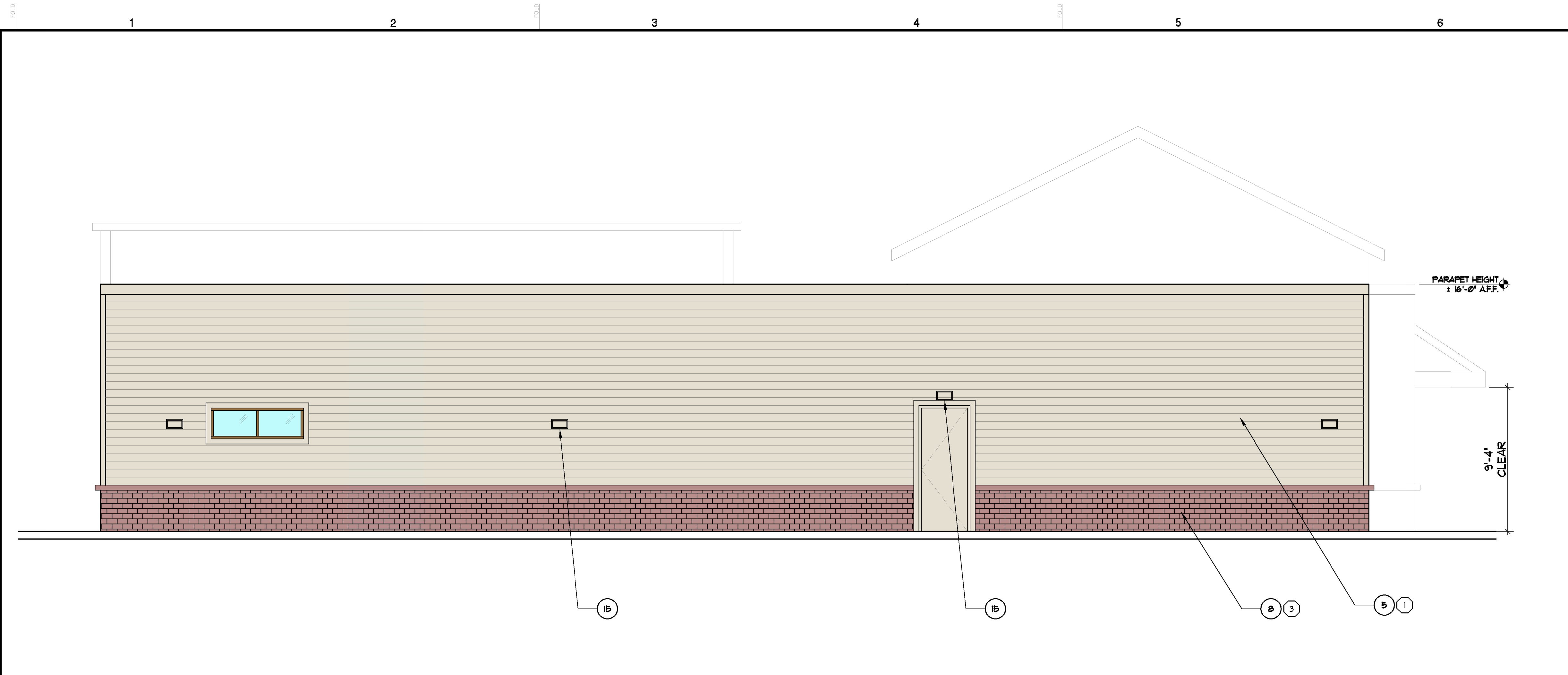
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DRAWN BY: MEM
JOB NO: 2435

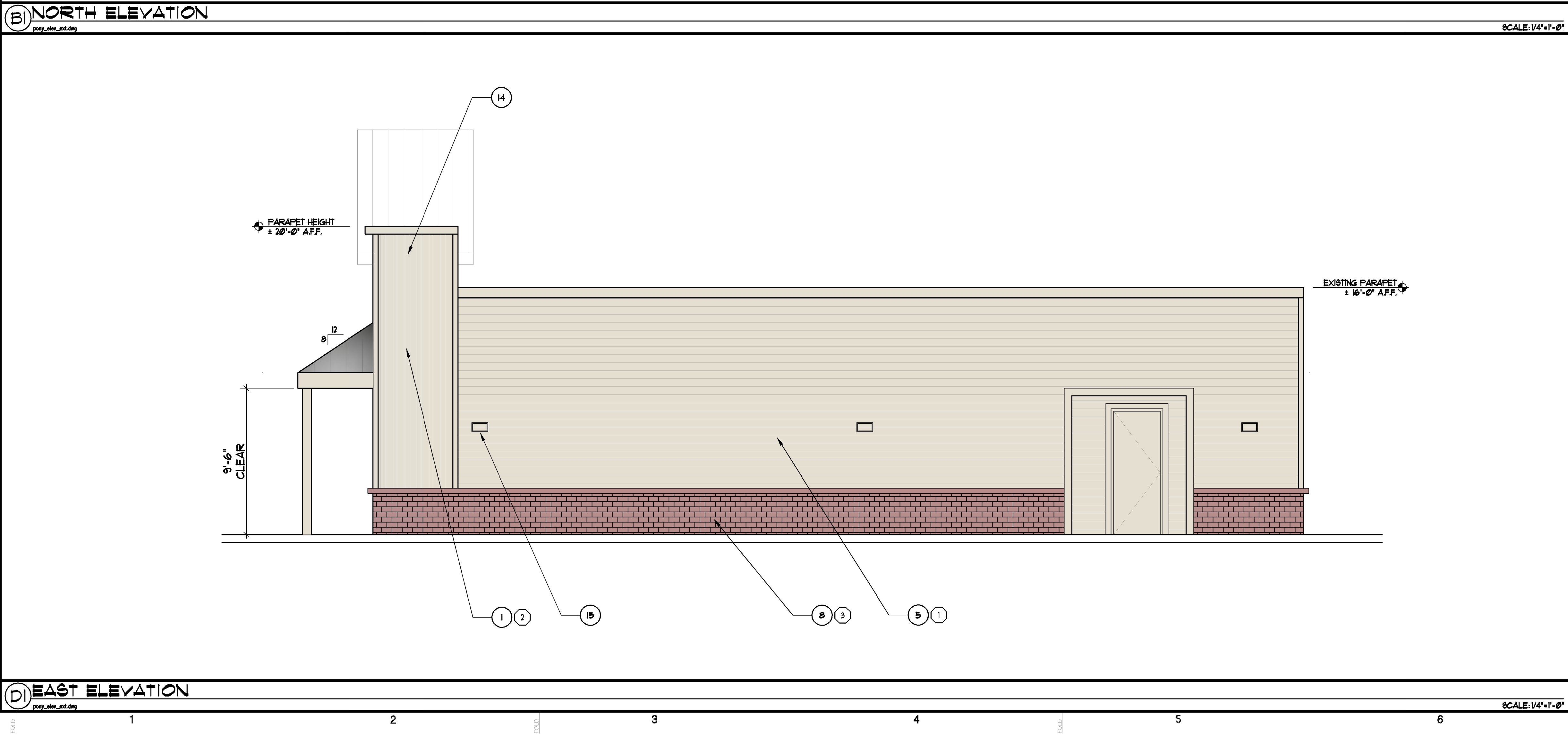
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BUILDING ELEVATIONS

SUTTON & ASSOCIATES



- PROPOSED DRAFT ELEVATION REQUIRING OWNER TEAM REVIEW. COLORS AND FINAL MATERIALS STILL TO BE DETERMINED.
- 1 NEW PORCH WITH METAL ROOF AT BUILDING FRONT. PORCH WRAPS AROUND FOR AESTHETICS.
 - 2 BACK LIT ADDRESS SIGN. SAN SERIF FONT. 12 INCHES TALL OR GREATER.
 - 3 CORRUGATED METAL SIDING AT NEW PARAPET ABOVE CONVENIENCE STORE.
 - 4 SIGNAGE ILLUMINATED AND CENTERED ABOVE CONVENIENCE STORE ENTRANCE.
 - 5 HORIZONTAL CEMENT BOARD SIDING
 - 6 TIMBER POSTS WHERE INDICATED
 - 7 CONVENIENCE STORE ENTRANCE
 - 8 BRICK FACADE WHERE INDICATED
 - 9 WINDOWS AT SALES COUNTER
 - 10 RESTAURANT ENTRANCE
 - 11 ORIGINAL PARAPET
 - 12 NEW RESTAURANT SIGNAGE
 - 13 ROOF BEYOND
 - 14 NEW PARAPET WRAPS AROUND CORNER
 - 15 WALL-PACK LIGHT FIXTURE
 - 16 PROPOSED RESTAURANT WINDOWS
 - 17 DRIVE THRU WINDOW
 - 18 EXISTING POWER PANEL



(B) ELEVATION KEYNOTES
PONY_FPLAN.DWG

SCALE: N/A

1 JONES BLAIR TAN
COLOR * 11- 0702-P

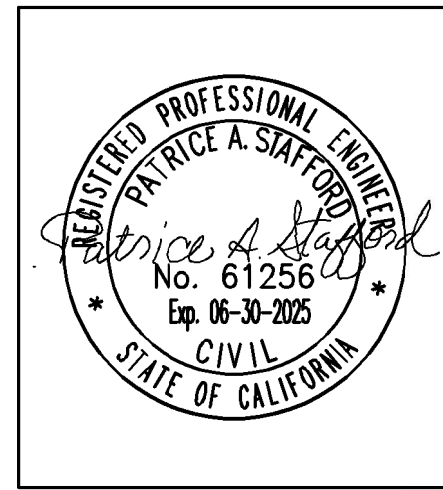
2 WESTERN METAL ROOFING
COLOR * LIGHT GRAY

3 THIN BRICK
(CASTLE GATE)
COLOR *

BRICKWORK
Castle Gate Thin Brick Panel

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PHONE: (916) 476-3911 FAX: (916) 476-3825
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BUILDING ELEVATIONS