

PRELIMINARY SITE PLAN AND COVER SHEET GREEN VALLEY COMMERCIAL

OWNER/DEVELOPER:

KINDA PETROLEUM, INC.
3940 CAMBRIDGE ROAD
CAMERON PARK, CA 95672
TEL: (425) 526-5375
CONTACT: KEVIN KHINDA

ENGINEER:

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ARCHITECT:

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LANDSCAPE ARCHITECT:

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CONSTRUCTION NOTES:

1. PROPERTY LINE, TYPICAL. REFER TO ALTA/NGPS LAND TITLE SURVEY.
2. PROPOSED QUICK QUICK CARWASH AS NOTED. REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
3. PROPOSED CONVENIENCE STORE AND QUICK-SERVE RESTAURANT.
4. PROPOSED MCDONALD'S RESTAURANT.
5. PROPOSED UNDERGROUND STORAGE TANK LOCATION.
6. PROPOSED FUEL ISLAND LOCATION WITH OVERHEAD CANOPY.
7. PROPOSED LOCATION OF MULTI-PRODUCT DISPENSER (MPD).
8. PROPOSED SOLID WASTE ENCLOSURE, TYPICAL OF 3, REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
9. PROPOSED ASPHALT PAVING, TYPICAL.
10. PROPOSED CONCRETE PAVING, TYPICAL.
11. PROPOSED CONCRETE BARRIER CURB, TYPICAL.
12. PROPOSED CONCRETE CURB AND GUTTER.
13. PROPOSED CONCRETE SIDEWALK, WIDTH VARIES, TYPICAL.
14. PROPOSED ADA COMPLIANT PARKING SPACE.
15. PROPOSED ADA COMPLIANT CURB RAMP, TYPICAL.
16. PROPOSED ACCESSIBLE ROUTE THROUGH THE SITE AND CONNECTIONS TO THE PUBLIC RIGHT-OF-WAY, TYPICAL.

CONSTRUCTION NOTES (CONT.):

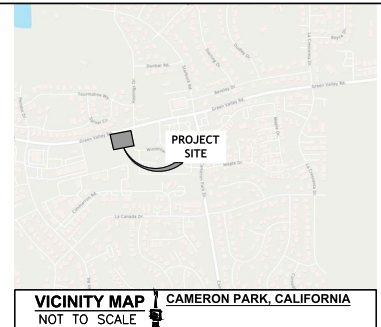
17. PROPOSED LANDSCAPING AREA, REFER TO LANDSCAPE PLANS FOR ADDITIONAL INFORMATION, TYPICAL.
18. PROPOSED SITE LIGHTING, TYPICAL. REFER TO PHOTOMETRIC PLAN FOR LIGHTING CALCULATIONS.
19. PROPOSED VACUUM SPACES (ONE ACCESSIBLE).
20. PROPOSED SIGN.
21. EXISTING BARRIER CURB TO REMAIN.
22. PROPOSED LOCATION OF STORMWATER BIORETENTION FACILITY/DETENTION BASIN. REFER TO SHEET POM FOR MORE INFORMATION.
23. INSTALL MONUMENT SIGN.
24. APPROXIMATE SAWCUT LIMITS, TYPICAL.
25. PROPOSED PARKING SPACES, WITH ASSOCIATED PAVEMENT STRIPING, TYPICAL.
26. PROPOSED DRIVEWAY.
27. PROPOSED LEFT-HAND MERGE LANE, WITH ASSOCIATED DIRECTIONAL PAVEMENT MARKINGS.
28. LOCATION OF TRANSFORMER PAD.
29. PROPOSED DOG WASH STATION.
30. PROPOSED VACUUM AND EQUIPMENT ENCLOSURE.
31. PROPOSED RETAINING WALL.

CONSTRUCTION NOTES (CONT.):

32. NOT USED.
33. PROPOSED STAMPED CONCRETE TO MATCH WEST ACCESS TO EXISTING SHOPPING CENTER.
34. PROPOSED AIR/WATER UNIT.
35. PROPOSED EV CHARGING STALLS.
36. PROPOSED ABOVE GROUND PROPANE TANK FOR GAS SERVICE TO QSR.
37. PROPOSED ABOVE GROUND PROPANE TANK FOR CUSTOMER USE.
38. PROPOSED CONCRETE VALLEY GUTTER PER COUNTY STANDARDS.
39. PROPOSED CONCRETE VALLEY GUTTER.
40. EXISTING TREE TO BE REMOVED.
41. EXISTING ALLOWED DRIVEWAY ACCESS. ADJUST TO PROPOSED DRIVEWAY LOCATION WITH FINAL MAP SUBMITTAL.
42. PROPOSED CMU WALL, WALL TO MATCH HEIGHT OF EXISTING WALL.
43. EXISTING CMU WALL.
44. PROPOSED BIKE RACK.
45. PROPOSED TRAFFIC SIGNALS AND ASSOCIATED PAVEMENT STRIPING.

CML SHEET INDEX

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PHOTOMETRIC PLAN



PROJECT DATA:

LOCATION: 3060 GREEN VALLEY ROAD
CAMERON PARK, CA 95682
APN: 116-301-014-000 (149,367 SF/3.43 ACRES)

BUILDING SETBACKS:

FRONT: 10'
REAR: 5'
SIDE YARD: 0'
STREET SETBACK: 10'

PARKING REQUIREMENTS:

VEHICLE FUEL SALES: 3 PER SERVICE BAY PLUS 1 PER 400 SF OFFICE/RETAIL ADA

REQUIRED SPACES:
3 * (0 SERVICE BAYS) = 0
1 * (0 SF OFFICE/RETAIL) = 0

CONVENIENCE STORE: 1 PER 200 SF OF AUA PLUS 1 PER CHECK STAND PLUS 1 PER 600 SF STORAGE AREA

REQUIRED SPACES:
1 * (2,413/200) = 12.1 = 13 SPACES
1 * (3 CHECK STANDS) = 3 SPACES
1 * (1,135/600) = 1.9 = 2 SPACES

QSR:

1 PER 250 SF OF GROSS FLOOR AREA

REQUIRED SPACES:
1 * (1,459/250) = 5.8 = 6 SPACES

PROVIDED SPACES:
12 FUELING SPACES + 4 EV STALLS + 9 STANDARD STALLS (1 ADA) = 25 SPACES

CARWASH:

2 PER WASHING STALL, DRIVE THROUGH STALLS MAY UTILIZE STACKING AREAS WITH A LENGTH OF 24 FEET AS PARKING SPACES

REQUIRED SPACES:
2 * (1) = 2 SPACES

PROVIDED SPACES:
3 STANDARD STALLS (1 ADA)

FAST-FOOD RESTAURANT: 1 PER 250 SF OF GROSS FLOOR AREA (GFA), 1 RV SPACE FOR EVERY 20 PARKING SPACES.

WHEN OUTDOOR SEATING IS PROVIDED, THE FIRST 300 SF OF OUTSIDE USE AREA (OUA) EXEMPT FROM PARKING REQUIREMENTS.

REQUIRED SPACES:
1 * (3694/250) = 14.8 = 15 SPACES

PROVIDED SPACES:
15 STANDARD STALLS + 4 EV STALLS = 22 SPACES PROVIDED

NUMBER OF PARKING SPACES IN ISOLATED PARKING AREA

BUILDING CONSTRUCTION AND CLASSIFICATION:
BUILDING HEIGHT: 1 STORY, ±32'-0"

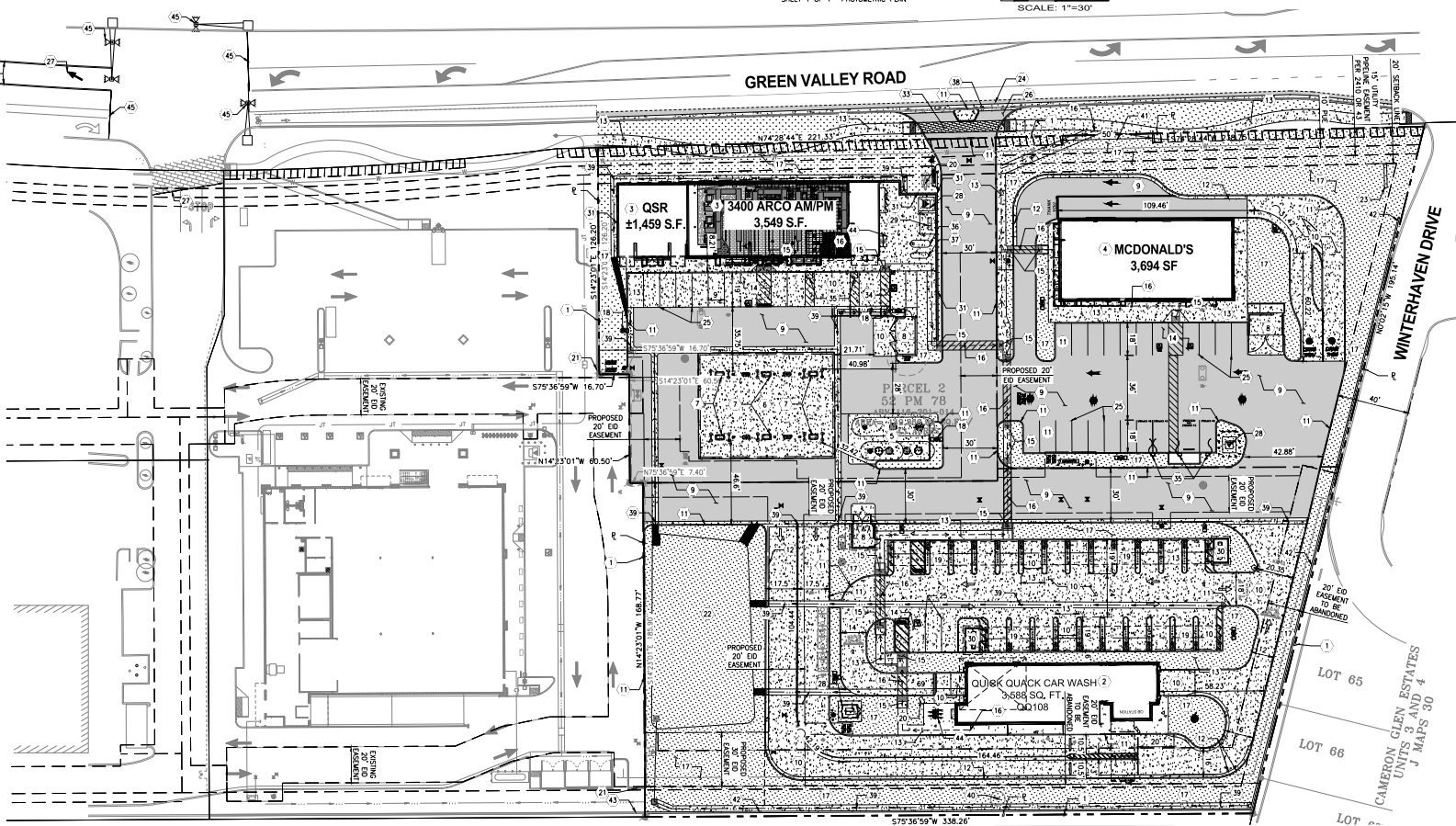
OCCUPANCY GROUP: M (RETAIL)

TYPE OF CONSTRUCTION: V-B

SPRINKLERS REQUIRED:
ARC C-STORE AND QUICK-SERVE RESTAURANT: YES
MCDONALD'S RESTAURANT: YES
QUICK QUICK CARWASH: NO

FLOOD ZONE:
BY GEOGRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED IN ZONE "X" OF THE FLOOD INSURANCE MAP, COMMUNITY PANEL NO. 0601700725E, WHICH BEARS AN EFFECTIVE DATE OF 09/26/2008 AND PANEL NO. 0601700725E, WHICH BEARS AN EFFECTIVE DATE OF 09/26/2008 AND IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA. AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

ZONE "X" - AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD AND PROTECTED BY LEVEE FROM 100-YEAR FLOOD.



For: PRELIMINARY SITE PLAN AND COVER SHEET
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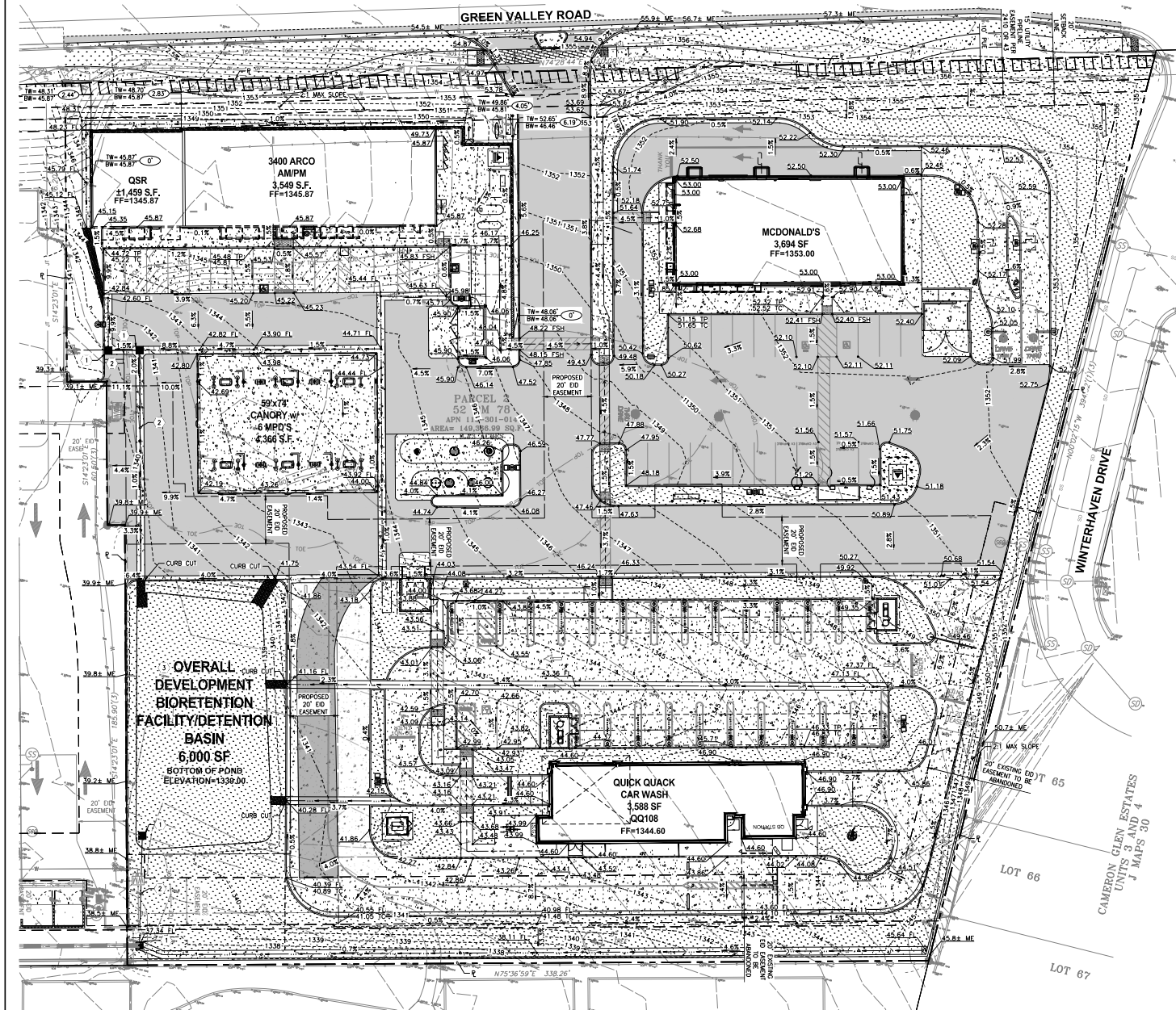
Scale: Horizontal 1" = 30', Vertical N/A
Designed: JLB, Draw: JLB, Checked: JLB, Approved: JLB, Date: 8/27/23

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Job Number: 22837
Street: PSP

PRELIMINARY GRADING AND DRAINAGE PLAN GREEN VALLEY COMMERCIAL



STORM DRAIN CONSTRUCTION NOTES:

1. INSTALL 24" CATCH BASIN.
2. PROPOSED 12" PVC STORM DRAIN LINE.
3. LOCATION OF STORMWATER BIOTRETMENT FACILITY/DETENTION BASIN.

GRADING NOTES:

1. ALL GRADING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THE CURRENT CITY ORDINANCE AND STANDARD PLANS. THE GRADING IS SUBJECT TO THE OBSERVATION AND APPROVAL OF THE PUBLIC WORKS DEPARTMENT.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL PROPOSED GRADES IN RELATIONSHIP TO SURVEYED BASIS OF ELEVATION.
3. ALL EXISTING UTILITY STRUCTURES AND ASSOCIATED LIDS THAT FALL WITHIN THE AREA OF WORK SHALL BE ADJUSTED TO FINISHED GRADE ELEVATIONS. CONTRACTOR SHALL CONFIRM THE FEASIBILITY OF ADJUSTING EXISTING UTILITY STRUCTURE LIDS TO FINISHED GRADE PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
4. CONTRACTOR TO PROTECT AND MAINTAIN EROSION CONTROL FACILITIES DURING GRADING OPERATIONS.
5. CONTRACTOR TO OBTAIN ANY NECESSARY RIGHT-OF-WAY PERMITS IF REQUIRED FOR WORK SHOWN ON PLANS.
6. CONTRACTOR SHALL MATCH EXISTING ELEVATIONS AT ALL SAWCUT LOCATIONS.
7. ALL SPOT ELEVATIONS SHOWN ARE TO FINISH SURFACE (TOP OF ASPHALT OR TOP OF CONCRETE PAVEMENT, NOT TOP OF CURB/SIDEWALK) UNLESS OTHERWISE NOTED.
8. ALL SPOT ELEVATIONS SHOWN HAVE BEEN "TRUNCATED" TO INCREASE VISUAL CLARITY. ALL ELEVATIONS SHOWN ARE PLUS 100', E.G.

STANDARD ELEVATION: 1350.64
TRUNCATED ELEVATION: 50.64
BW - BOTTOM OF EXPOSED WALL
FF - FINISHED FLOOR
FL - FLOWLINE
GRD - GROUND
TC - TOP OF CURB/SIDEWALK
TW - TOP OF WALL
TP - TOP OF PAVING
ME - MATCH EXISTING

GENERAL NOTES:

1. ALL STRUCTURE ELEVATIONS SHOWN ARE TO CENTER OF STRUCTURE AT FINISH SURFACE (TOP OF ASPHALT OR TOP OF CONCRETE PAVEMENT, NOT TOP OF CURB/SIDEWALK) UNLESS OTHERWISE NOTED.
2. ALL STORM DRAINAGE STRUCTURES EXPOSED TO TRAFFIC SHALL BE RATED FOR HS-20 TRAFFIC LOADING INCLUDING STRUCTURE, LID, ORATE, ETC.
3. ALL UTILITY STRUCTURES WITH LIDS EXPOSED TO PEDESTRIAN TRAFFIC SHALL BE BE SLIP RESISTANT IN ACCORDANCE WITH ACCESSIBILITY REQUIREMENTS.
4. ALL STORM DRAIN DENOTED AS PVC SHALL CONFORM TO ASTM D3034 SDR 26.
5. ALL DUCTILE IRON PIPE SHALL BE CLASS 52 CONFORMING TO AWWA C151.
6. ALL TRENCHING SHALL CONFORM TO THE SPECIFICATIONS OUTLINED IN EL DORADO COUNTY STANDARD PLANS.
7. ALL STORM PIPING INSTALLED WITH LESS THAN 2 FEET OF COVER SHALL BE BACKFILLED WITH A CONTROLLED DENSITY FILL (SLURRY).

ESTIMATED EARTHWORK QUANTITIES:

CUT: 6,000 CY
FILL: 1,000 CY
NET: 5,000 CY <EXPORT>
AREA TO BE DISTURBED = 3.56 ACRES

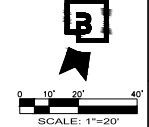
- THESE ESTIMATED EARTHWORK QUANTITIES ARE APPROXIMATE AND DO NOT ACCOUNT FOR CLEARING AND GRUBBING, OVER-EXCAVATION, TRENCHING, ETC. AS REQUIRED.
- THE CONTRACTOR IS RESPONSIBLE TO VERIFY EXISTING SITE CONDITIONS AND CALCULATE THEIR OWN EARTH WORK QUANTITIES FOR THE PROJECT PRIOR TO BID

WALL NOTES:

1. ALL WALL ELEVATIONS ARE APPROXIMATE. CONTRACTOR TO FIELD VERIFY ALL TOP OF WALL ELEVATIONS, WALL STEPS, BOTTOM OF EXPOSED WALL AND TOP OF FOOTING ELEVATIONS PRIOR TO CONSTRUCTION.

WALL DESIGN DRAWINGS TO BE PREPARED WITH CONSTRUCTION DOCUMENTS.

TOP OF WALL
DIFFERENCE FROM TOP OF WALL TO BOTTOM OF EXPOSED FACE
BOTTOM OF WALL AT EXPOSED FACE



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Approved: JLB
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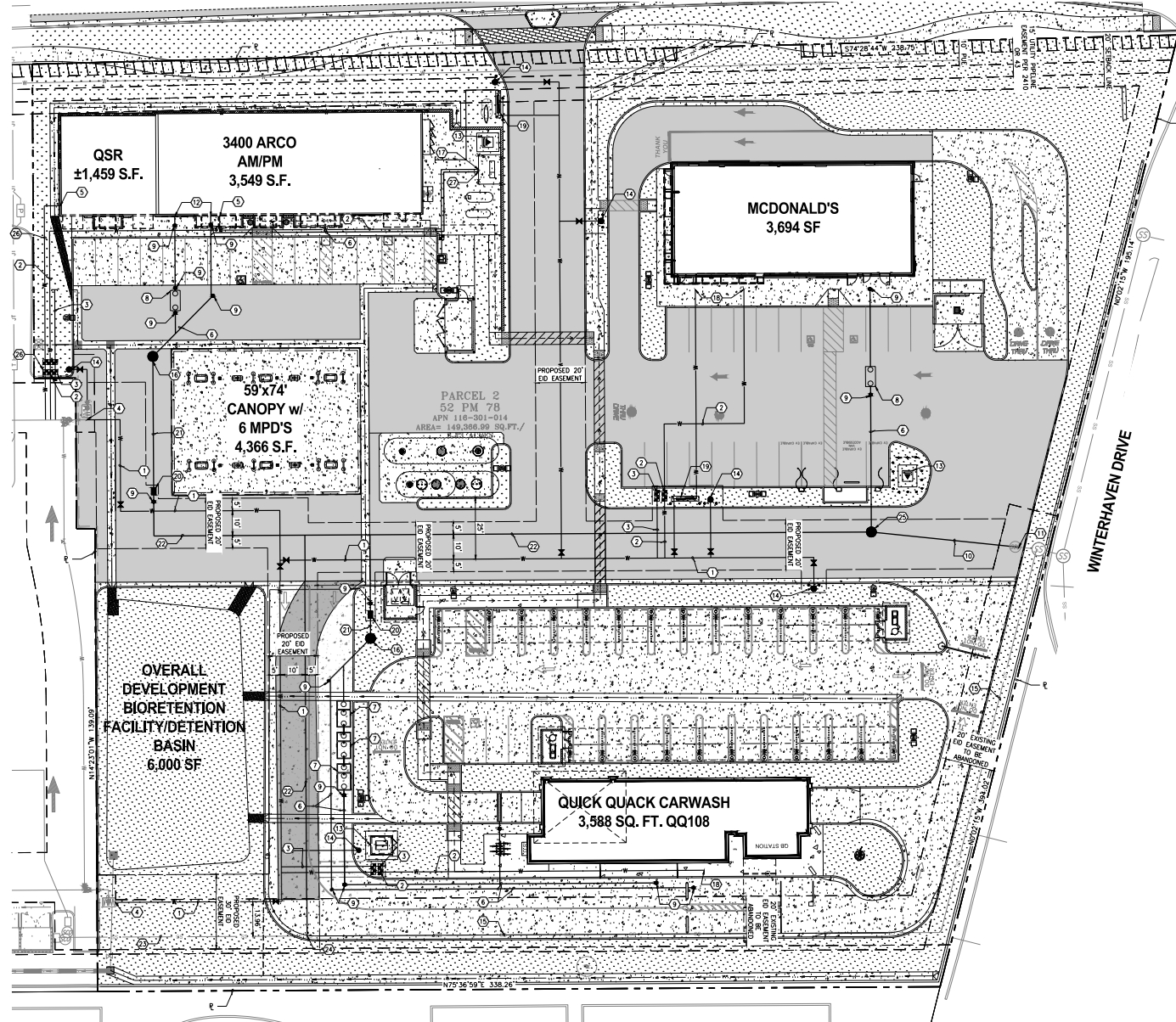


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PRELIMINARY UTILITY PLAN GREEN VALLEY COMMERCIAL

GREEN VALLEY ROAD



KEYED NOTES:

1. PROPOSED 8" EID WATER MAIN.
2. PROPOSED 2" DOMESTIC WATER SERVICE WITH REDUCED PRESSURE BACKFLOW ASSEMBLY.
3. PROPOSED 1" IRRIGATION SERVICE WITH REDUCED PRESSURE BACKFLOW ASSEMBLY.
4. PROPOSED POINT OF CONNECTION TO EXISTING 8" WATER MAIN.
5. PROPOSED LOCATION OF WATER SERVICE CONNECTION TO BUILDING.
6. PROPOSED PRIVATE 8" SANITARY SEWER SERVICE.
7. PROPOSED RECLAIM VAULTS.
8. PROPOSED GREASE INTERCEPTOR.
9. PROPOSED SANITARY SEWER CLEANOUT, TYPICAL.
10. PROPOSED 6" EID GRAVITY SEWER MAIN.
11. PROPOSED SANITARY SEWER POINT OF CONNECTION TO EXISTING SANITARY SEWER MAIN.
12. PROPOSED LOCATION OF SANITARY SEWER SERVICE CONNECTION TO BUILDING.
13. PROPOSED TRANSFORMER AND PAD, CONNECTION TO PRIMARY POWER TO BE COORDINATED WITH PURVEYOR AT TIME OF CONSTRUCTION DOCUMENT PREPARATION.
14. PROPOSED FIRE HYDRANT.
15. EXISTING EID SEWER FORCE MAIN TO BE ABANDONED.
16. NEW PRIVATE SANITARY SEWER LIFT STATION.
17. PROPOSED WATER CONNECTION TO DOG WASH STATION.
18. STUB WATER LINE TO WITHIN 5' OF BUILDING.
19. INSTALL 6" REDUCED PRESSURE PRINCIPAL DETECTOR ASSEMBLY WITH FIRE DEPARTMENT CONNECTION FOR PRIVATE FIRE SERVICE.
20. PROPOSED 2" PRIVATE PUMPED SEWER SERVICE TO FORCE MAIN PER EID STANDARDS.
21. PROPOSED 2" PRIVATE SANITARY SEWER.
22. PROPOSED 4" EID SANITARY SEWER FORCE MAIN.
23. EXISTING 4" SANITARY SEWER FORCE MAIN TO REMAIN.
24. CONNECT TO EXISTING 4" SANITARY SEWER FORCE MAIN.
25. PROPOSED 48" SANITARY SEWER MANHOLE.
26. PROPOSED 1" DOMESTIC WATER SERVICE WITH REDUCED PRESSURE BACKFLOW ASSEMBLY.
27. PROPOSED SANITARY SEWER CONNECTION TO DOG WASH STATION.



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CAMERON PARK, CALIFORNIA 95672



Scale: Horizontal 1" = 20'
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Checked: JLB
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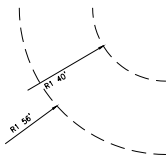


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PRELIMINARY FIRE TRUCK TURNING PLAN GREEN VALLEY COMMERCIAL

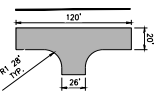
LEGEND

FIRE DEPARTMENT TURNING
RADI AND PATH OF TRAVEL



DENOTES FIRE ACCESS ROUTE
DENOTES FIRE ACCESS ROUTE
WITH ABILITY TO BACK UP

FIRE DEPARTMENT CONNECTION
FIRE HYDRANT LOCATION
CONTINUOUS STRIPING PER STD.
#B-004
HAMMERHEAD PER CFC 2022
(APPENDIX D)



PAVEMENTS TRAFFIC INDEX

ASPHALT PAVEMENTS - TRAFFIC INDEX 7.0

SECTION PROPERTIES:

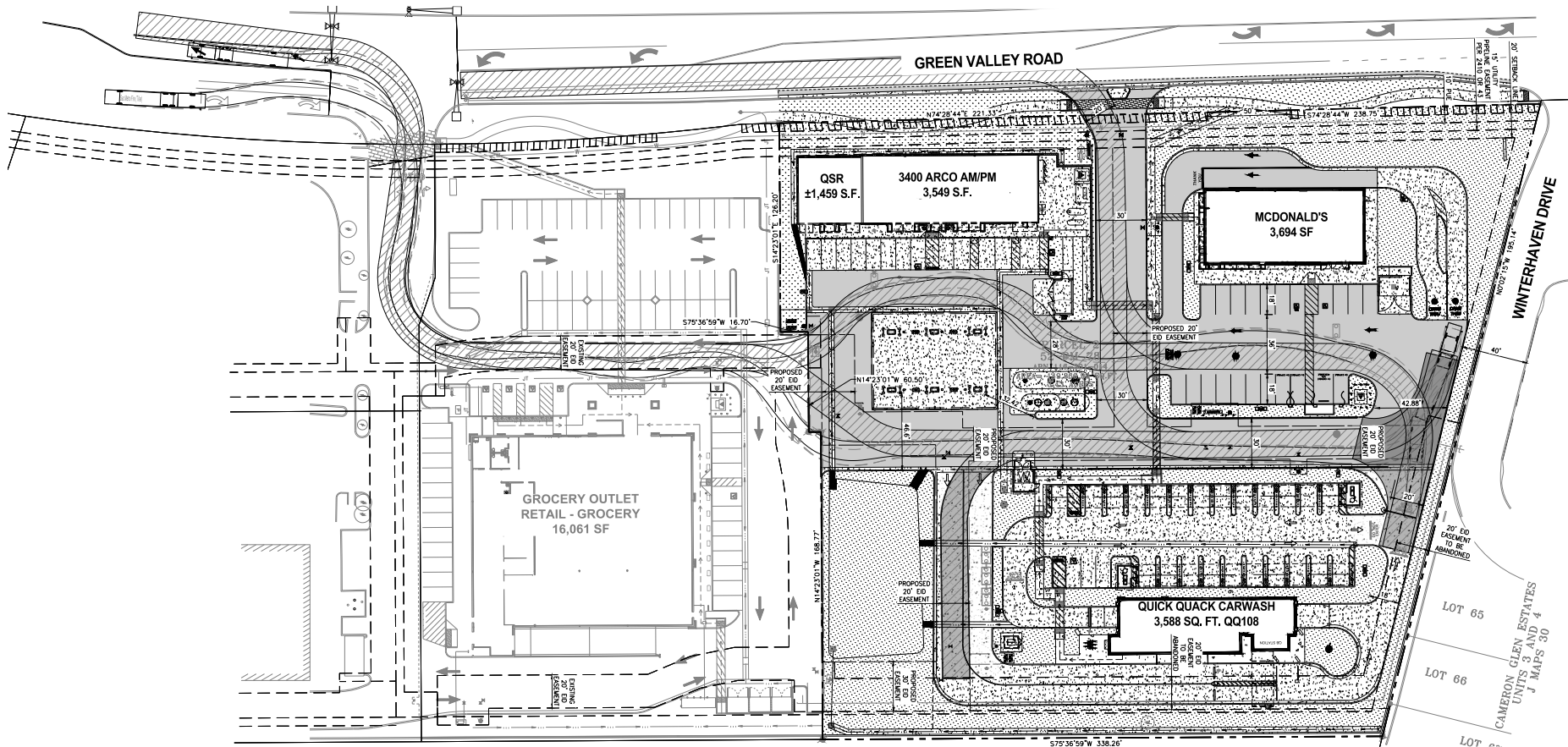
4" ASPHALT CONCRETE
12.5" CLASS II AGGREGATE BASE
12 INCHES OF PREPARED SUBGRADE

CONCRETE PAVEMENTS - TRAFFIC INDEX 7.0

SECTION PROPERTIES:

6.5" PORTLAND CEMENT CONCRETE
4.0" CLASS II AGGREGATE BASE
12 INCHES OF PREPARED SUBGRADE

* TRAFFIC INDEX 7.0 IS RATED FOR MEDIUM AND
HEAVY DUTY TRAFFIC.



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CAMERON PARK, CALIFORNIA 95672



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Approved: JLB
Date: 11/27/24

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